



CITY OF ALAMO HEIGHTS

COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting January 20, 2026 – 5:30 P.M.

Take notice that a regular Architectural Review Board meeting of the City of Alamo Heights will be held on **Tuesday, January 20, 2026, at 5:30 P.M.** in the City Council Chamber, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects with may come before it.

Case No. 1011F – 518 Austin Hwy

Request of Chase Thalman, applicant, representing Robert Schaezler, owner, for the final review of the proposed redesign to the existing commercial use structure located at 518 Austin Hwy under Chapter 2 Administration for Architectural Review.

Chapter 5 of the Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB's recommendation for all demolition/final design review applications. Please check the ARB posted results on the City's website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online* (www.alamoheightstx.gov/departments/planning-and-development-services/public-notices) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Garrett Pringle, Planner, (gpringle@alamoheightstx.gov), Tyler Brewer, Senior Planner, (tbrewer@alamoheightstx.gov), or Lety Hernandez, Director, (lhernandez@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.

NOTE:
 MODIFICATIONS TO THE PLAN AND ELEVATIONS
 ARE SOMETIMES NECESSARY DUE TO JOB SITE
 CONDITIONS AND OWNER PREFERENCES.



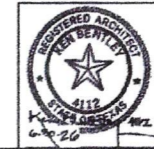
SW 9587 - Mushroom
 - Wall
 Exterior



SW 6990 - Caviar
 - Trim + Doors
 Exterior



FRONT ELEVATION - NEW
 1/4" = 1'-0"



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 515 AUSTIN HWY, SAN ANTONIO, TX
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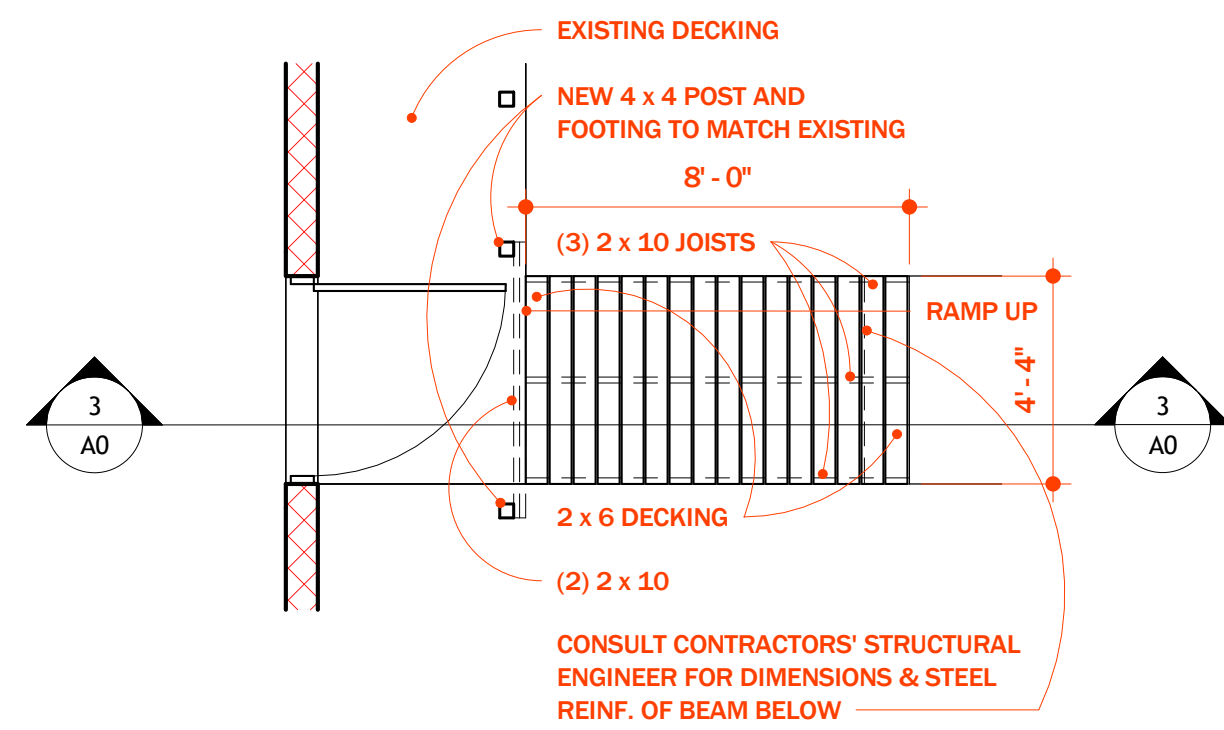
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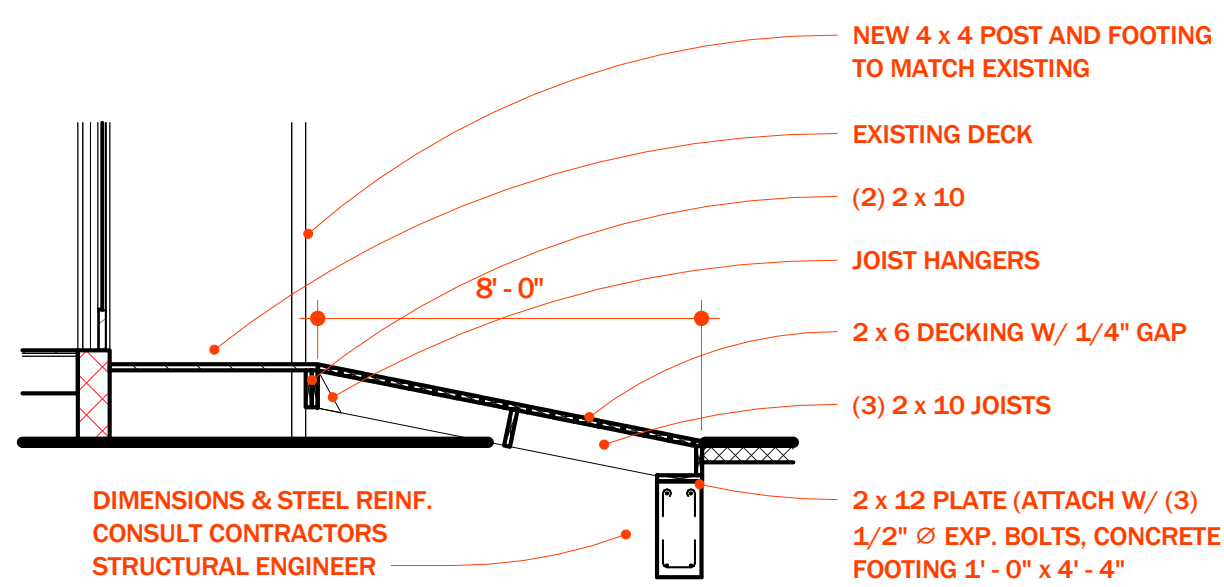
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K. CHARLES & CO. GENERAL NOTES

1. SITE WORK
 - A. CONTRACTOR TO REFER TO DEMOLITION PLAN SHEET A2 FOR AREAS OF ASPHALT PAVING, CONCRETE, SALTILLO TILE, DECK AND BROKEN WHEEL STOPS TO BE REMOVED.
 - B. CONTRACTOR TO GRIND LEVEL ALL UNEVEN CONCRETE PAVED AREAS, UPON COMPLETION, PAINT ENTIRE CONCRETE AREA WITH SHERWIN WILLIAMS "PRO PARK" BLACK, RE-STRIPE ACCORDING TO PARKING PLAN.
 - C. ALL REMAINING ASPHALT AREAS TO BE RE-SURFACED, SEALED, AND STRIPED ACCORDING TO PARKING PLAN.
 - D. CURVING EMPLOYEE WALKWAY TO BE GRADED PROPERLY FOR DRAINAGE, INSTALL A 4" COMPACTED BASE, COVER WITH CRUSHED GRANITE.
 - E. AREAS DESIGNATED PLANTING TO HAVE CONCRETE, ASPHALT AND ALL BASE MATERIAL REMOVED.
2. BUILDING EXTERIOR
 - A. REPAIR ALL STUCCO CRACKS AND IRREGULAR AREAS. PAINT BUILDING WALLS, WINDOWS, TRIM, FASCIA ETC., ACCORDING TO OWNERS SELECTIONS. MINIMUM 2 COATS ON ALL SURFACES.
 - B. NEW CADAR WOOD FENCE TO HAVE 2 COATS OF "OLYMPIC" SEMI-TRANSPARENT STAIN.
3. INTERIOR
 - A. REFER TO SHEET A2 FOR INTERIOR DEMOLITION.
 - B. CONTRACTOR TO IDENTIFY AND REPAIR FLOOR AREAS INDICATING STRUCTURAL FAILURE.
 - C. REFER TO ROOM FINISH SCHEDULE FOR FLOORING, WALL MATERIALS, FINISHES AND CEILING HEIGHTS.
 - D. ALL INTERIOR PAINTING TYPE AND COLOR TO BE SELECTED BY OWNER.
 - E. WOOD FLOORING STAIN AS SELECTED BY OWNER.
 - F. INTERIOR DOOR TYPE, FINISH AND HARDWARE AS SELECTED BY OWNER.
 - G. ALL CABINETS, COUNTERTOPS, APPLIANCES, PLUMBING FIXTURES, ACCESSORIES AND HARDWARE TO BE SELECTED BY OWNER.
 - H. ALL REMAINING INTERIOR WALLS TO BE REPAIRED AS REQUIRED AND PAINTED ACCORDING TO OWNERS INSTRUCTIONS.
 - I. ALL ELECTRICAL, HVAC AND PLUMBING SYSTEMS TO COMPLY WITH CURRENT CITY OF ALAMO HEIGHTS AND SAN ANTONIO CODES.
 - J. TWO NEW MINI-SPLIT HVAC SYSTEMS TO BE SELECTED BY OWNER.
 - K. HOT WATER HEATER SIZE AND BRAND SELECTED BY OWNER.
 - L. RELOCATION OF STEEL COLUMN, FOOTING, AND REQUIRED STRUCTURAL BEAM REVISION TO BE PROVIDED BY STRUCTURAL ENGINEER HIRED BY CONTRACTOR.
4. REVISIONS TO ARCHITECTS PLANS WITHOUT ARCHITECTS APPROVAL RELIEVES ARCHITECT OF ANY RESPONSIBILITY OF REVISED ITEMS.

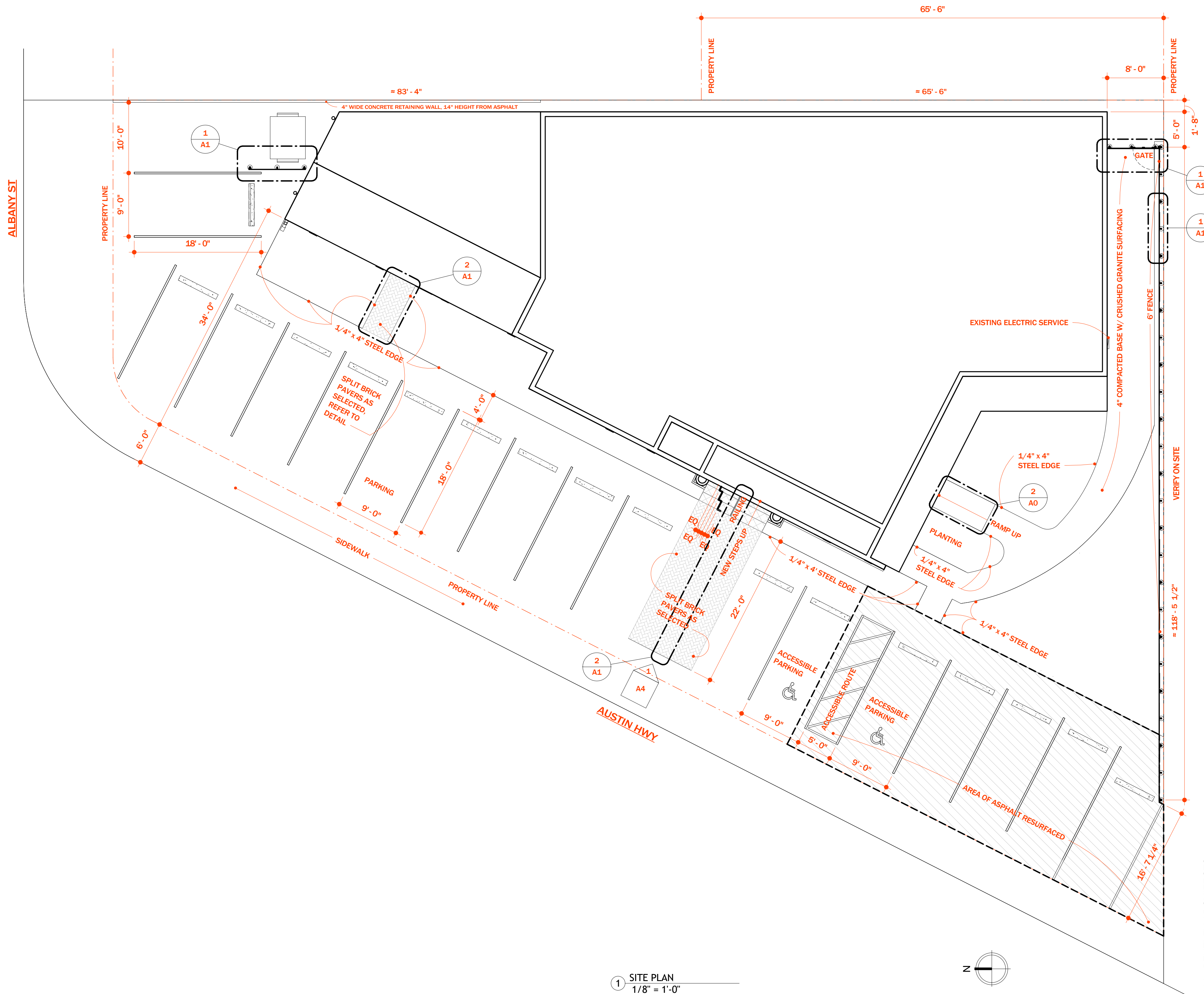


2 NEW RAMP - PLAN
 1/4" = 1'-0"

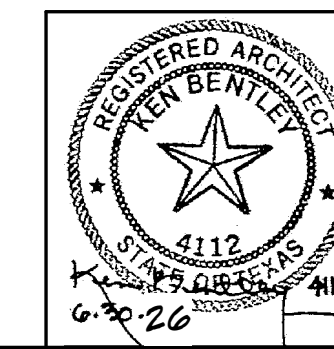


3 NEW RAMP - SECTION
 1/4" = 1'-0"

NOTE: ALL WOOD TO BE TREATED



1 SITE PLAN
 1/8" = 1'-0"



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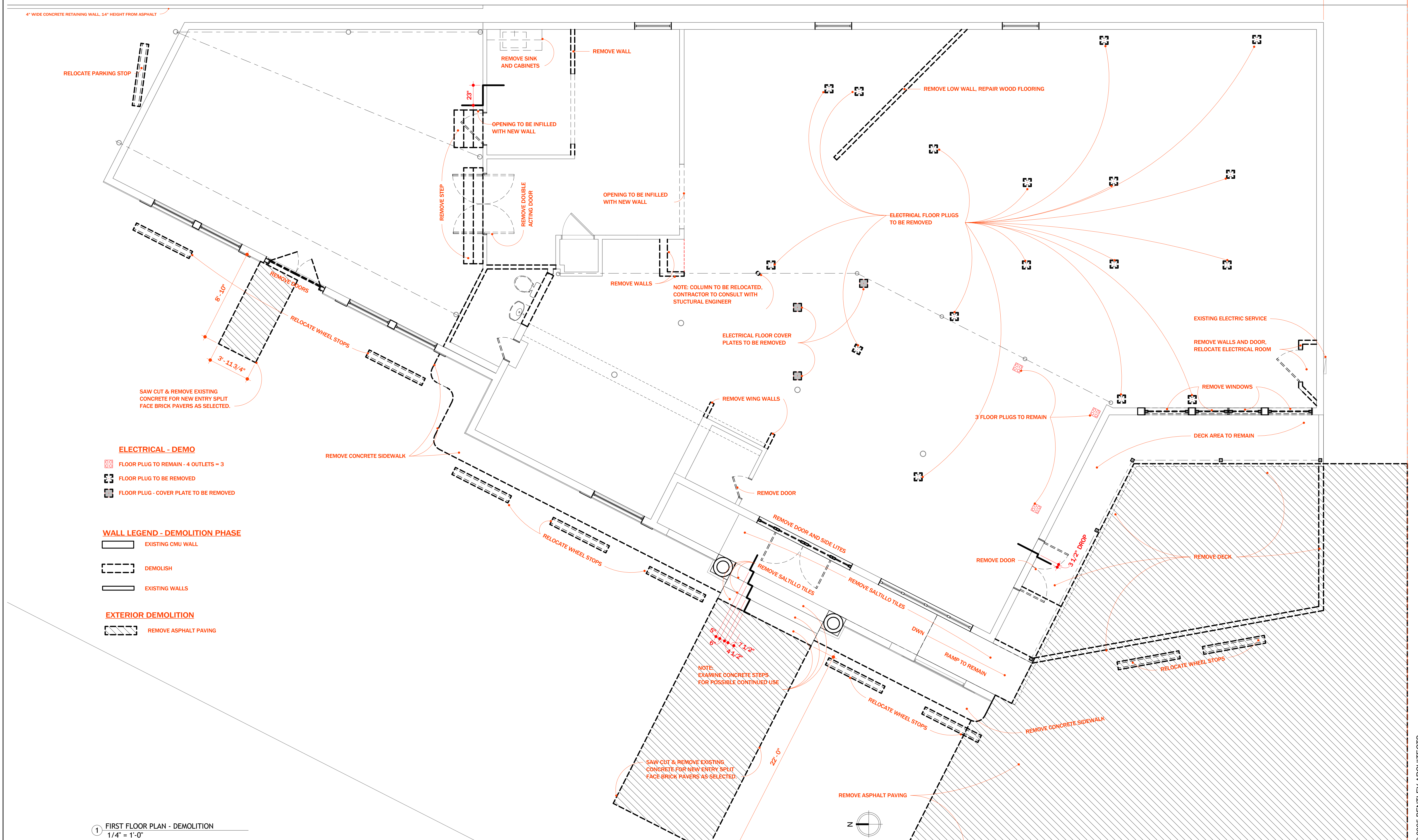
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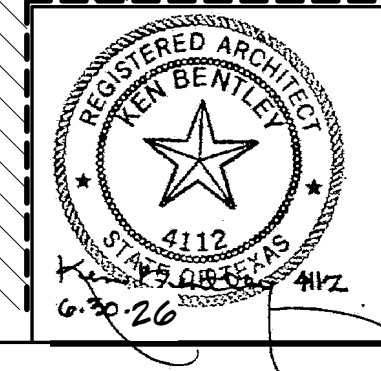


- ELECTRICAL - DEMO**
- FLOOR PLUG TO REMAIN - 4 OUTLETS = 3
 - FLOOR PLUG TO BE REMOVED
 - FLOOR PLUG - COVER PLATE TO BE REMOVED

- WALL LEGEND - DEMOLITION PHASE**
- EXISTING CMU WALL
 - DEMOLISH
 - EXISTING WALLS

- EXTERIOR DEMOLITION**
- REMOVE ASPHALT PAVING

1 FIRST FLOOR PLAN - DEMOLITION
 1/4" = 1'-0"



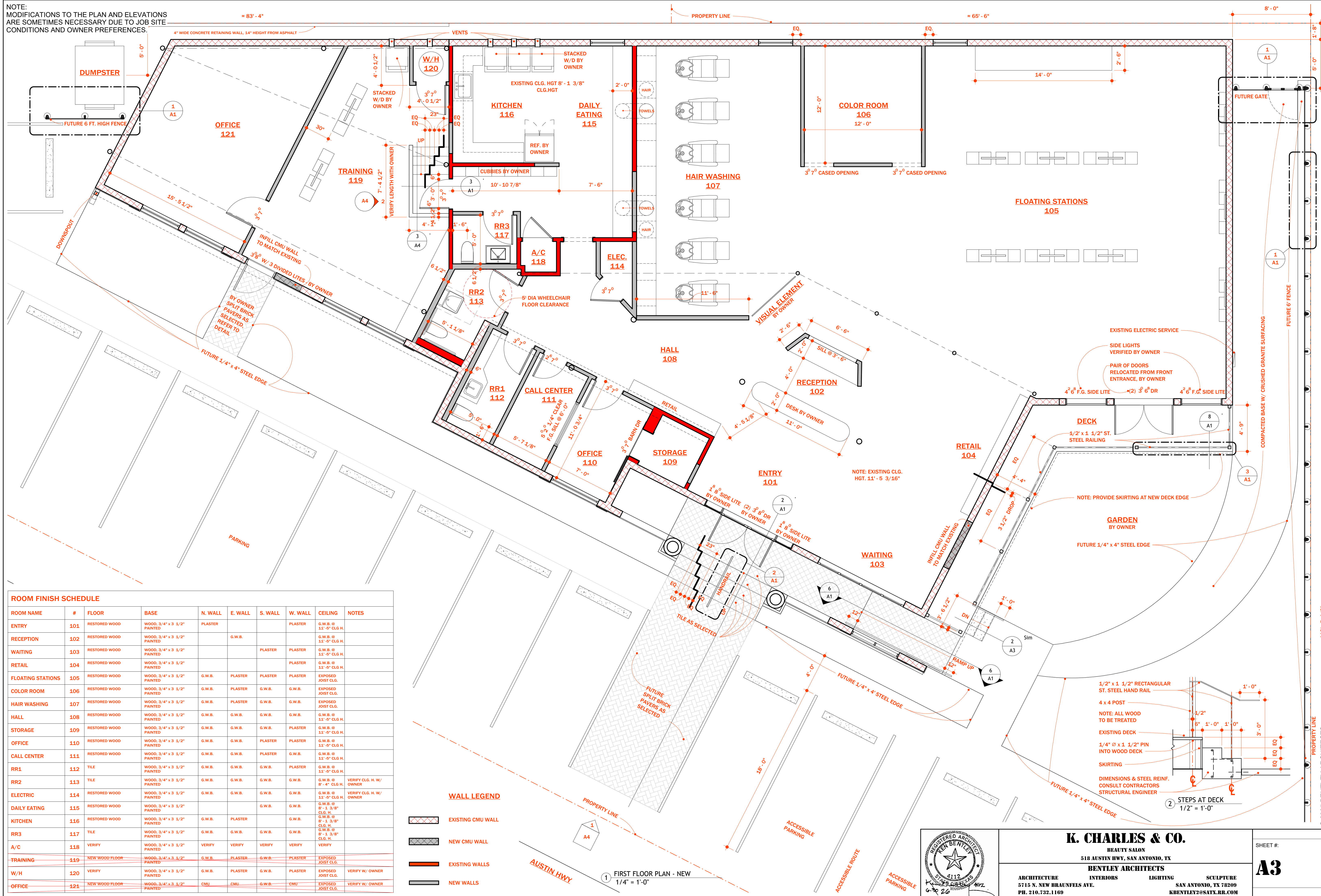
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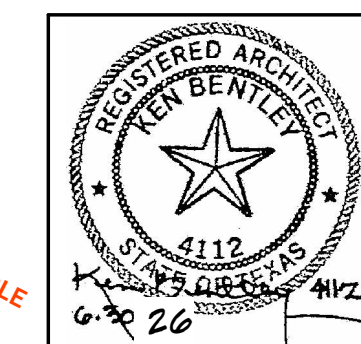
ROOM FINISH SCHEDULE

ROOM NAME	#	FLOOR	BASE	N. WALL	E. WALL	S. WALL	W. WALL	CEILING	NOTES
ENTRY	101	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	PLASTER			PLASTER	G.W.B. @ 11'-5" CLG. H.	
RECEPTION	102	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED		G.W.B.			G.W.B. @ 11'-5" CLG. H.	
WAITING	103	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED			PLASTER	PLASTER	G.W.B. @ 11'-5" CLG. H.	
RETAIL	104	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED				PLASTER	G.W.B. @ 11'-5" CLG. H.	
FLOATING STATIONS	105	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	PLASTER	PLASTER	PLASTER	EXPOSED JOIST CLG.	
COLOR ROOM	106	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	PLASTER	G.W.B.	G.W.B.	EXPOSED JOIST CLG.	
HAIR WASHING	107	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	PLASTER	G.W.B.	G.W.B.	EXPOSED JOIST CLG.	
HALL	108	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	G.W.B.	G.W.B.	G.W.B.	G.W.B. @ 11'-5" CLG. H.	
STORAGE	109	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	G.W.B.	G.W.B.	PLASTER	G.W.B. @ 11'-5" CLG. H.	
OFFICE	110	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	G.W.B.	PLASTER	PLASTER	G.W.B. @ 11'-5" CLG. H.	
CALL CENTER	111	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	G.W.B.	PLASTER	G.W.B.	G.W.B. @ 11'-5" CLG. H.	
RR1	112	TILE	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	G.W.B.	G.W.B.	PLASTER	G.W.B. @ 11'-5" CLG. H.	
RR2	113	TILE	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	G.W.B.	G.W.B.	G.W.B.	G.W.B. @ 8'-4" CLG. H.	VERIFY CLG. H. W/ OWNER
ELECTRIC	114	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	G.W.B.	G.W.B.	G.W.B.	G.W.B. @ 11'-5" CLG. H.	VERIFY CLG. H. W/ OWNER
DAILY EATING	115	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED				G.W.B.	G.W.B. @ 8'-1 3/8" CLG. H.	
KITCHEN	116	RESTORED WOOD	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	PLASTER		G.W.B.	G.W.B. @ 8'-1 3/8" CLG. H.	
RR3	117	TILE	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	G.W.B.	G.W.B.	G.W.B.	G.W.B. @ 8'-1 3/8" CLG. H.	
A/C	118	VERIFY	WOOD, 3/4" x 3 1/2" PAINTED	VERIFY	VERIFY	VERIFY	VERIFY	VERIFY	
TRAINING	119	NEW WOOD FLOOR	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	PLASTER	G.W.B.	PLASTER	EXPOSED JOIST CLG.	
W/H	120	VERIFY	WOOD, 3/4" x 3 1/2" PAINTED	G.W.B.	PLASTER	G.W.B.	PLASTER	EXPOSED JOIST CLG.	VERIFY W. OWNER
OFFICE	121	NEW WOOD FLOOR	WOOD, 3/4" x 3 1/2" PAINTED	CMU	CMU	G.W.B.	CMU	EXPOSED JOIST CLG.	VERIFY W. OWNER

WALL LEGEND

- EXISTING CMU WALL
- NEW CMU WALL
- EXISTING WALLS
- NEW WALLS

1 FIRST FLOOR PLAN - NEW
 1/4" = 1'-0"



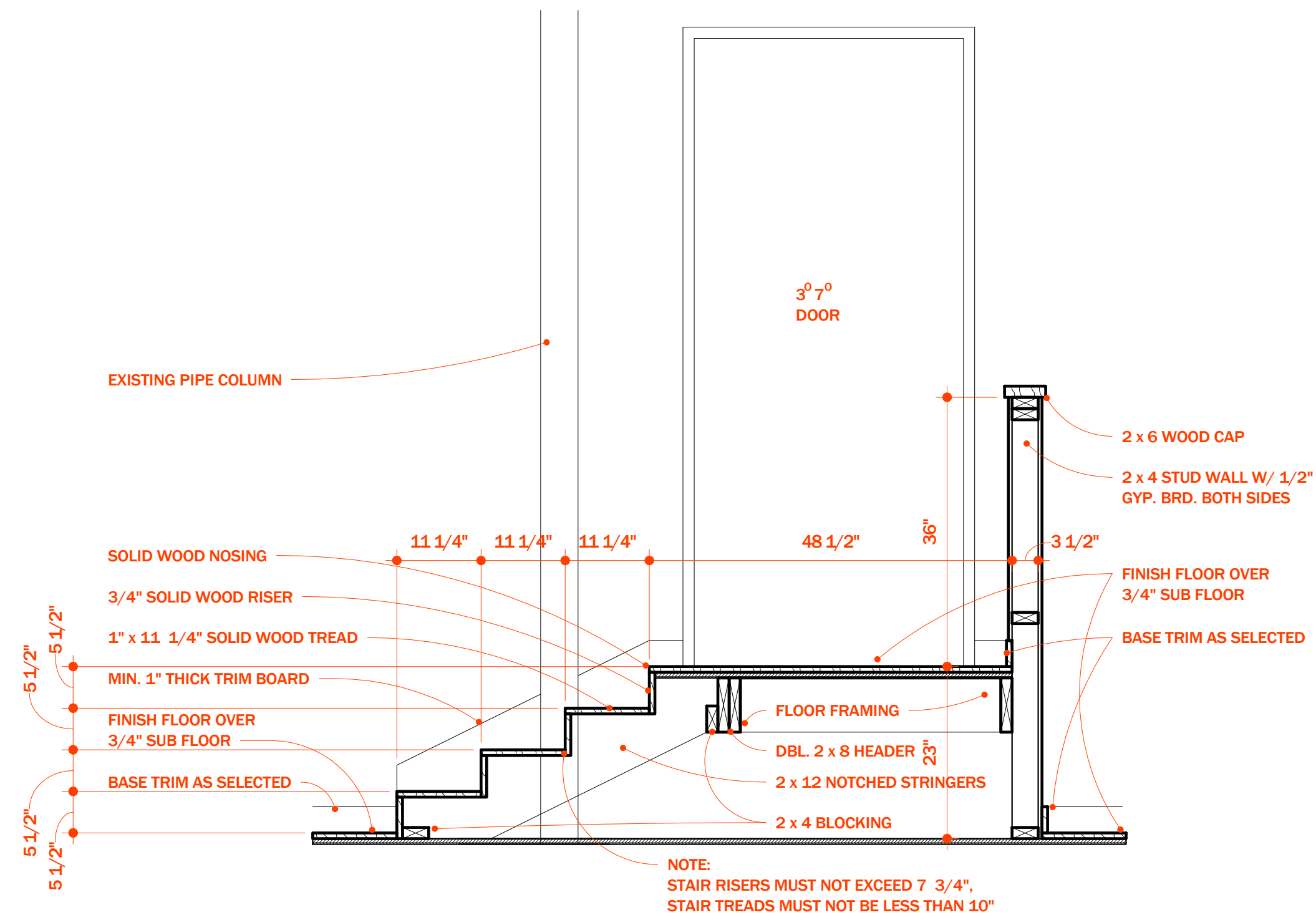
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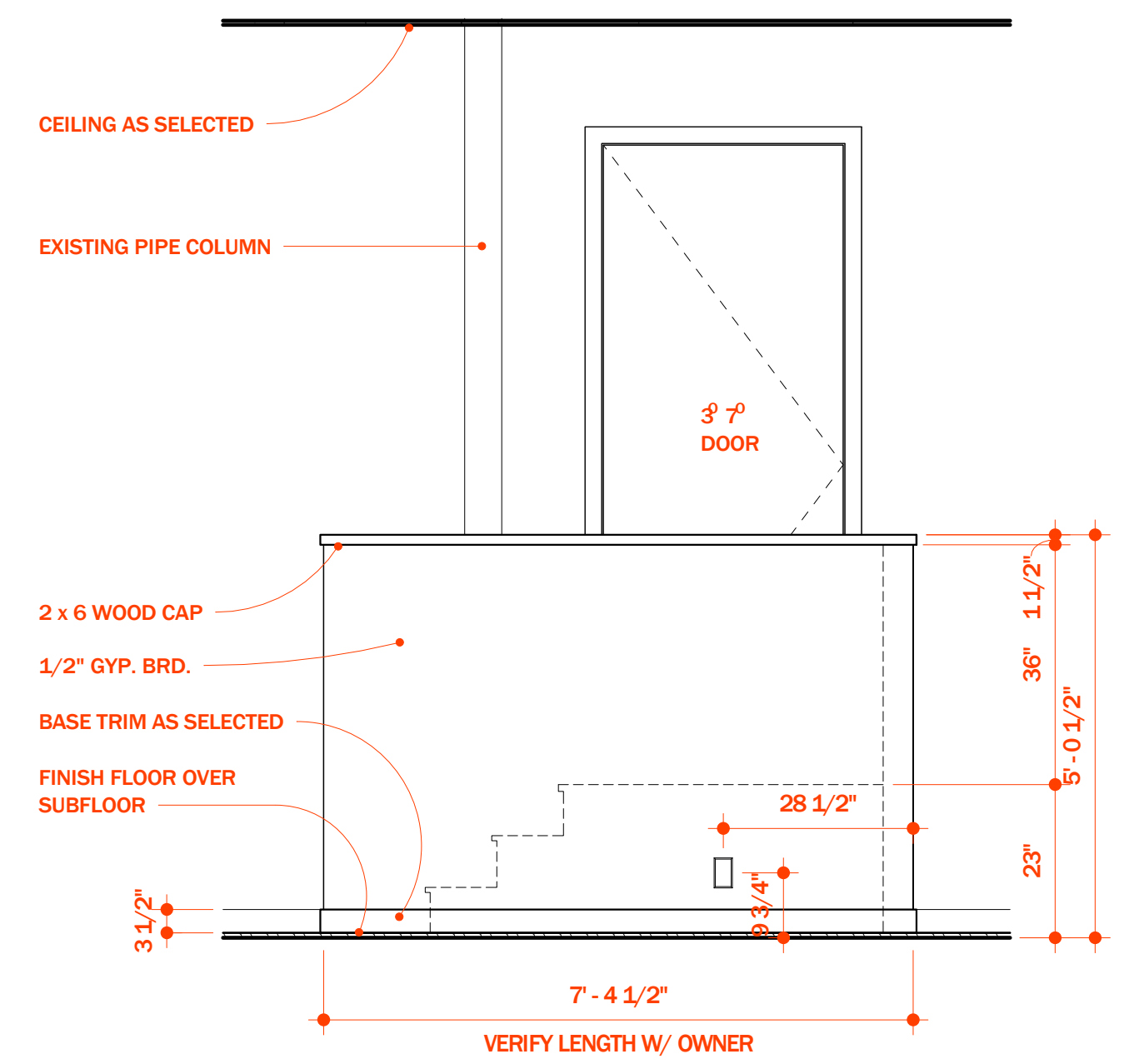
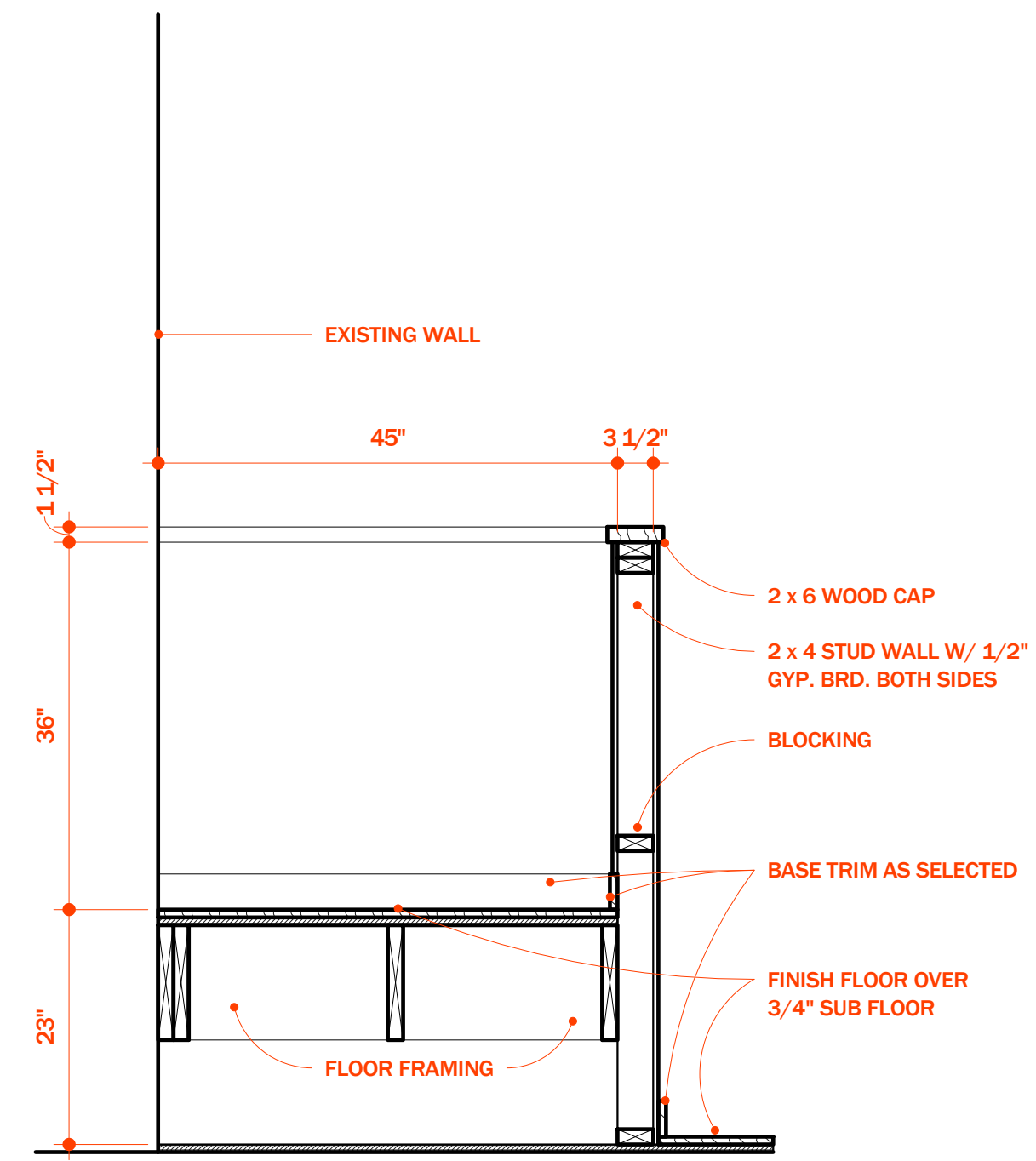
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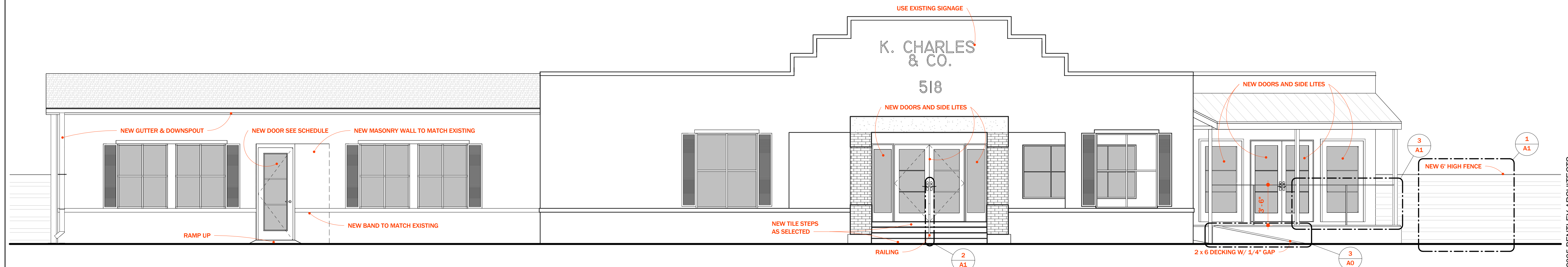
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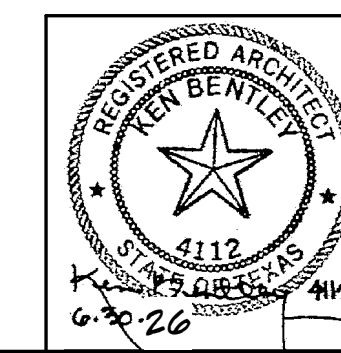
③ STAIR / DESK WALL DETAILS
 3/4" = 1'-0"



② STAIR / DESK WALL
 1/2" = 1'-0"



① FRONT ELEVATION - NEW
 1/4" = 1'-0"



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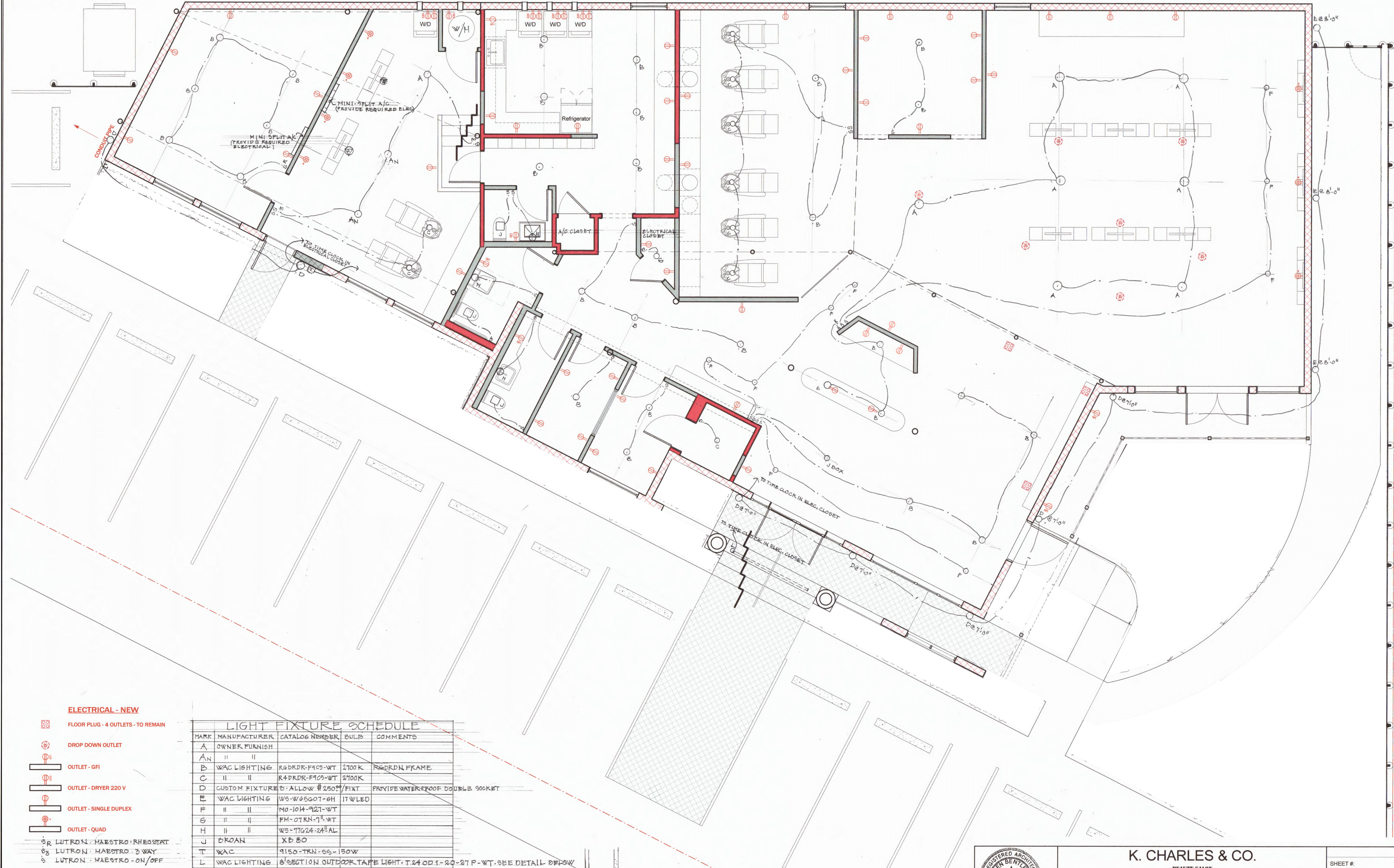
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ELECTRICAL - NEW

- FLOOR PLUG - 4 OUTLETS - TO REMAIN
- DROP DOWN OUTLET
- OUTLET - GFI
- OUTLET - DRYER 220 V
- OUTLET - SINGLE DUPLEX
- OUTLET - QUAD

- LUTRON - MAESTRO - RHEOSTAT
- LUTRON - MAESTRO - 3 WAY
- LUTRON - MAESTRO - ON/OFF

1 FIRST FLOOR PLAN - ELECTRICAL / LIGHTING
 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE				
MARK	MANUFACTURER	CATALOG NUMBER	BULB	COMMENTS
A	OWNER FURNISH			
AN	"	"	"	"
B	WAC LIGHTING	R6DRDR-F905-WT	2700K	R6DRDN FRAME
C	"	R4DRDR-F905-WT	2700K	
D	CUSTOM FIXTURE	8" ALLOW #250	FIXT	PROVIDE WATER-PROOF DOUBLE SOCKET
E	WAC LIGHTING	WS-W65007-6H	17W LED	
F	"	MO-104-921-WT		
G	"	FM-07KN-7L-WT		
H	"	WS-17G24-24" AL		
J	BRON	XD 50		
T	WAC	9150-TRN-05-150W		
L	WAC LIGHTING	6" SECTION OUTDOOR TAPE LIGHT T.24 OD 1-20-27 P-WT		SEE DETAIL BELOW

EXISTING STUCCO BEAM
 CUT 3/4" WIDE X 8" LONG SLOT
 IN STUCCO DRILL HEADER
 FOR WIRING



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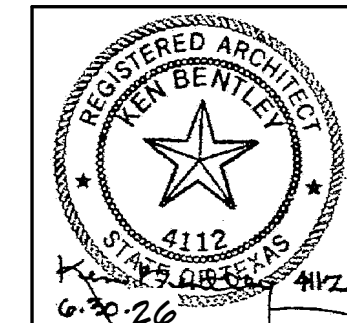
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1 FIRST FLOOR PLAN - MEP
1/4" = 1'-0"

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MEP

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