

CITY OF ALAMO HEIGHTS



Request for Proposal (RFP)
for
General Construction for the Alamo Heights Pool
Pocket Park

Addendum 1

October 31, 2025

The City of Alamo Heights is issuing this Addendum 1 to the General Construction for the Alamo Heights Pool Pocket Park Request for Proposals (RFP) released on October 22, 2025.

Answers to Questions Received

Q1. Please update Civcast to reflect the correct bid due date. It shows bids are due today 10/22, whereas the project manual states 12/4.

A1. Project page on civcastusa has been updated to reflect the bid due date of December 4, 2025 at 2 p.m. CST.

Q2. It's evident this solicitation is to establish a guaranteed maximum price. My question: is the evaluation criteria (ref. Section 2.6) based on an estimate, based on the drawings dated 10/8/2025, or the fees listed in Section 2.5? If an estimate is to be completed for the submission, can we add "Pre-Construction Services" value to Exhibit III [Pricing Workbook]?

A2. The Project Cost to be evaluated under Section 2.6 will correspond to the bid cost reflected in pricing workbook. The pricing workbook, *Exhibit III - Pricing Workbook v2*, has been updated to add Pre-Construction Services under Soft Costs category and uploaded to the Project page on civcastusa.com, replacing *Exhibit III - Pricing Workbook*.

Q3. Will Alamo Heights conduct a public bid opening?

A3. Yes, a public bid opening will take place on Thursday, December 4, 2025 at 2:00 pm CST in the City Council Chamber, located at 6116 Broadway, San Antonio, TX 78209.

Q4. There is no irrigation plan included in Exhibit I. The irrigation meter is mentioned on sheet C6 and the specs call for new irrigation, but we haven't found anything beyond that. I know we will come up with other questions, but irrigation is the most pressing since the material take-off does require more time.

A4. The irrigation specifications have been added to *Exhibit I – Design Package & 100% CD v2* and uploaded to the to the Project page on civcastusa.com, replacing *Exhibit I – Design Package & 100% CD*. Full details on the changes to the design package can be found in the Revision Narrative on the following page of this document.

Q5. Sheet C6 shows the location of the irrigation meter, and the specifications call for new irrigation. Will the irrigation plans be provided, or will the contractor design the irrigation system?

A5. The irrigation specifications have been added to *Exhibit I – Design Package & 100% CD v2* and uploaded to the to the Project page on civcastusa.com, replacing *Exhibit I – Design Package & 100% CD*. Full details on the changes to the design package can be found in the Revision Narrative on the following page of this document.



FORD POWELL CARSON

Revision Narrative – Addendum 01

 **Date:** 10/31/2025
 **RE:** Alamo Heights Pool Pocket Park
– ADDENDUM 01
 **Prepared By:** Mark Henderson, RA

List of Drawing Revisions – Addendum 01

Sheet G001 DRAWING INDEX, SYMBOLS, PROJECT INFORMATION

- Revised sheet index to include the following sheets which were not included in the original bid documents:
 - LI1.0 – IRRIGATION NOTES AND LEGEND
 - LI1.1 – IRRIGATION PLAN
 - LI2.1 – IRRIGATION DETAILS
 - LI2.1 – IRRIGATION DETAILS
- Revised sheet index to include the following sheets which were already included in the original bid documents but not listed in the index:
 - A910 – SPECIFICATIONS
 - A911 - SPECIFICATIONS
 - A912 - SPECIFICATIONS
 - A913 - SPECIFICATIONS
 - MEPD1.2 – MECHANICAL AND PLUMBING SITE PLAN - DEMOLITION

List of Specification Revisions

N/A

End of Change Narrative

CITY OF ALAMO HEIGHTS



Request for Proposal (RFP)
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Pocket Park

Addendum 2

November 6, 2025

The City of Alamo Heights is issuing this Addendum 2 to the General Construction for the Alamo Heights Pool Pocket Park Request for Proposals (RFP) released on October 22, 2025.

Answers to Questions Received

Q1. *Is there a site visit set up for this project?*

A1. Yes, the City has scheduled a joint pre-bid site visit on **Thursday, November 13, 2025 at 10:00 AM**. The meeting will be held at 250 Viesca, San Antonio, TX 78209 in the existing parking lot north of the Alamo Heights neighborhood pool.

Q2. *Will there be a prebid for this project?*

A2. Yes, the City has scheduled a joint pre-bid site visit on **Thursday, November 13, 2025 at 10:00 AM**. The meeting will be held at 250 Viesca, San Antonio, TX 78209 in the existing parking lot north of the Alamo Heights neighborhood pool.

Q3. *I wanted to reach out and see if there was going to be a Pre-Bid Meeting for the Alamo Heights – Pool Pocket Park. Also, I wanted to confirm that the bid date is still Thursday, 12/4 at 2 pm.*

A3. Yes, the City has scheduled a joint pre-bid site visit on **Thursday, November 13, 2025 at 10:00 AM**. The meeting will be held at 250 Viesca, San Antonio, TX 78209 in the existing parking lot north of the Alamo Heights neighborhood pool.

Q4. *Is there a copy of the CAD file for the dimensions of the custom metal gate? Assuming it is the pattern shown in the prints?*

A4. Yes, the CAD file is saved in the documents section of the project's website (civcastusa.com).

Q5. *Exhibit II – Pricing Workbook shows 09 Lighting. Is this specifically for “lighting package”, only? Or is it supposed to be all electrical besides 04 Pavilion and 05 Restrooms that are broken out separately?*

A5. The pricing for 09 Lighting should apply to all lighting and electrical work not specifically included in 04 Pavillion and 05 Restroom.

CITY OF ALAMO HEIGHTS



Request for Proposal (RFP)
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Pocket Park

Addendum 3

November 12, 2025

The City of Alamo Heights is issuing this Addendum 2 to the General Construction for the Alamo Heights Pool Pocket Park Request for Proposals (RFP) released on October 22, 2025. Bids are due on December 4, 2025 at 2 p.m. CST.

Answers to Questions Received

Q1. Will pool be open during construction? If yes, is access provided, how will the public get from the parking lot to the entry?

A1. Yes, the pool may be open during construction. The current plan is to be closed in January and February, partially open on weekends in March and April, and open 7 days a week beginning in May.

If open, the public will likely enter the main pool entrance at Viesca, traveling around any construction.

Q2. We understand CPS Overhead Electrical line removal will be paid for by owner directly. Will CPS responsibility also include removal of the poles?

A2. Yes.

Q3. C1.1 "E. Refrigerator to be relocated (coordinate with cooler manufacturer)." Who is the cooler manufacturer?

A3. The food and beverage Vendor contracts with the same licensed, insured contractor, Fidel Martinez, that builds and installs all coolers at Vendor's establishments. The contractor is available to relocate cooler.

Q4. C1.1 "E. Refrigerator to be relocated (coordinate with cooler manufacturer)." S2.01 does not show a new concrete slab at the new location. If one is required, please provide details.

A4. Pending manufacturer recommendations, but the new slab does not need to be specifically engineered. A 4" slab at 2,500lbs capacity would suffice with 2" rigid insulation below slab for insulation.

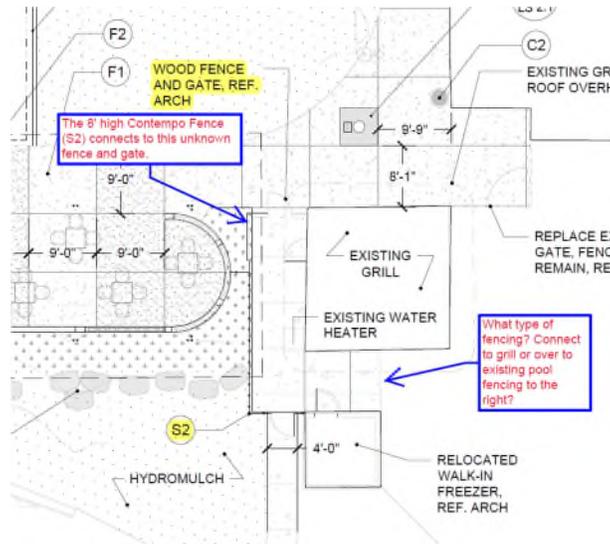
Q5. Section 07 21 29 Sprayed Insulation. Paragraph 2.01.A "Cavity Cellulosic Fiber Sprayed Insulation (closed-cell)." Is it spray foam (closed cell) or is it sprayed cellulosic fiber?

A5. Please provide closed-cell spray foam insulation.

Q6. Existing Building Fascia: A320 #8 shows the existing fascia extended to hide the metal conduit on the roof. A501 #1 shows the detail. Neither plan shows how far the fascia continues or how it ends. Does it end at the southwest corner of the existing building or does it go around the corner?

A6. The fascia ends at the southwest corner of the existing kitchen building. At that location the conduit is to be routed (on the exterior of the building) underground and re-surface adjacent to the existing food service building (on the exterior). The conduit serves an electrical panel in the food service building. Sheet E1.1 keynote #9 calls for the new underground conduit with pull string. Conduit pathway is to be provided by contractor while electrical service to the food service building is to be relocated by other.

Q7. Fencing: LS1.1—The fencing and gate connecting to the relocated walk-in freezer is noted as S2—8' high Contempo fencing with a 3' gate. The Contempo fencing connects to an unknown fence and gate. Should this match the capped & painted privacy fence that will be installed on the other side of the existing grill? What type of fencing will enclose the freezer on the east side of the concrete area? Or should it connect from the side of the freezer over to the existing pool fence to give a larger storage area?



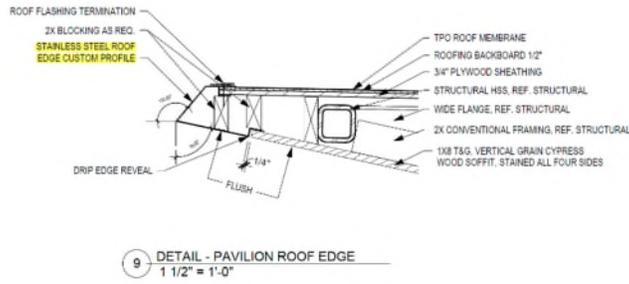
A7. The unknown fencing will closely match the 2x2 wood screen installed at the pavilion but it will be painted at this location instead of a stain. 2x2 wood fence shall be installed at 8' A.F.F. with 2" gaps between each 2x2 member. Horizontal painted steel pipes (3) will support the 2x2 fence along with vertical steel pipes at regular intervals. At this time, no additional fencing (to the east) is needed to enclose the walk-in as one already exists and will remain.

Q8. LP1.1 – The brick planters around the trees near the front of the building will be removed. The dirt level is much higher than the surrounding concrete. The planting plan shows the millstones around approximately 2 sides and planting under the trees. Are we to slope the dirt down to concrete level? We are concerned tree roots could be exposed and possible erosion.



A8. The plans are showing walls to remain at the 2 sides of each tree well where the existing sidewalk is staying in the same location. The other two sides of each tree will have additional planting space for what is there today, and the soil should be sloped to meet grade.

Q9. On the shade structure, is there a detail for the "Stainless Steel Roof Edge Custom Profile?" It is referenced on A501 #9.



A9. Correct, reference A501 #9 for the custom steel edge profile.

CITY OF ALAMO HEIGHTS



Request for Proposal (RFP)
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Addendum 4

November 20, 2025

The City of Alamo Heights is issuing this Addendum 4 to the General Construction for the Alamo Heights Pool Pocket Park Request for Proposals (RFP) released on October 22, 2025. Bids are due on December 4, 2025 at 2 p.m. CST.

Answers to Questions Received

Q1. *Will building permit fees be waived for this project?*

A1. Yes. While building permit fees will be waived, all contractors, both general contractors and tradesmen, will be required to obtain their respective contractor registrations with Alamo Heights. The annual contractor registration fees – \$100 for General Contractors and \$25 for tradesmen – will not be waived.

Q2. *Will the City provide the new water irrigation meter at no cost?*

A2. Yes.

Q3. *Is construction fencing required?*

A3. Yes, it is required. There are specifications and civil drawings dictating requirements.

Q4. *The RFP calls for errors and omissions liability insurance. Is that to be provided by the general contractor?*

A4. Yes, it should be provided by the general contractor.

Q5. *What is the anticipated construction timeline?*

A5. The contractor is expected to work with the pool operator on the timing of construction. The pool will remain open during the park construction. It is hopeful that most of substantial completion is achieved by the time the pool is open full-time for swimming in May. There will be a brief pool closure in January and February 2026, and open on the weekends in March 2026.

Q6. *Is it possible to turn in the hard copies of the RFP response at a later date but still turn in the digital copies at the posted date and time?*

A6. No. Both the paper and digital RFP response must be submitted prior to December 4, 2025 at 2pm CST deadline for the response to be considered.

Q7. *What is the paving color/finish in the restrooms?*

A7. The floor finish inside of the 2 restroom is to be sealed concrete with top cast concrete being used in the vestibule. The interior walls of the restrooms are to be painted CMU & Brick. The walls of the existing pool structure will be painted by other. That paint scheme is TBD, but not in scope.

Q8. *Who is to remove the utility poles shown on the plans? The contractor, CPS, or a combination of the two?*

A8. In favor of timing and construction phasing, we are requesting that the contractor remove the utility pole with approval and in coordination with CPS.

Q9. *It appears there is a typo in RFP, which requests that the architect carry the liability insurance on the project. Was this intended to say that the contractor carries the liability insurance?*

A9. Yes, the RFP misidentified the architect as carrying the liability insurance on the project. This is false. The general contractor should carry the liability insurance on the construction project.

Q10. Can City please provide the contact for the cooler relocation?

A10. The contractor is Fidel Martinez and can be contacted at 210-772-5321.

Q11. On Sheet E1.1 in the pool area there are several WP GFCI receptacles marked "Keyed Note 2" Keyed note 2 says to coordinate EXACT location with landscape architect. Can you provide these locations and mounting details?

A11. The locations of the GFCI's can be found on Sheets LS 1.1 and E 1.1.

Q12. Will there be an area for a laydown yard and office trailer?

A12. Yes. There are multiple City-owned parking lots in the pool area. City will work with contractor and area stakeholders on the exact location.

Q13. The Request for Proposal document Section 2.4.3 notes items carried by the owner which includes COAH Permitting and Impact Fees. Please confirm that the contractor is not responsible for obtaining or paying for any permits on this project. If required, please clarify.

A13. Permits will be obtained from the City for documentation purposes. Permitting and Impact Fees will be waived. While building permit fees will be waived, all contractors, both general contractors and tradesmen, will be required to obtain their respective contractor registrations with Alamo Heights. The annual contractor registration fees – \$100 for General Contractors and \$25 for tradesmen – will not be waived.

Q14. Can you provide the contact information for the company needed to relocate the cooler on sheet C1.1?

A14. The contractor is Fidel Martinez and can be contacted at 210-772-5321.

Q15. Please confirm whether this project is tax exempt?

A15. Yes.

Q16. Several of the Civil sheets show areas of pavement with striping, however, none of the plans clearly indicate the limits of striping required versus existing. C1.1 appears to indicate removal of all existing striping. Is the contractor to stripe all areas that are shown on C2 as part of the scope? If not, please clarify striping limits.

A16. Remove all striping in the parking lot directly adjacent to the north of the pool structure. The contractor is to stripe all areas that are shown on C2 minus the single row of existing parking spots to remain on the east side of the pool structure front Viesca. Refer to sheet A001 for a limit of construction.

Q17. From RFP 3D – is "errors and omissions liability insurance" meant for GC?

A17. Yes.

Q18. 5/LS2.1 – M4, should this be S4?

A18. Correct, this sheet has been updated for the addendum.

Q19. 3/LS2.1 – believe its incorrectly called out? Should the tree grate be S3?

A19. Correct, this sheet has been updated for the addendum.

Q20. 2/LS2.1 – believe its incorrectly called out on an S3?

A20. Correct, this sheet has been updated for the addendum.

Q21. LC1.1 – in ground slide noted as P3... should this be P4?

A21. Correct, this sheet has been updated for the addendum.

Q22. LC1.1 – Synthetic Lawn noted as P4... should this be P5?

A22. Correct, this sheet has been updated for the addendum.

Q23. LC1.2 – Engineered Wood Fibar noted at P5... should this be P6?

A23. Correct, this sheet has been updated for the addendum.

Q24. LC1.1 – Notes 4/LS2.2 where should be 2/LS2.2?

A24. Correct, this sheet (LS 1.1) has been updated for the addendum.

Q25. Please clarify location of “Nature Play Climber” and “Log Stepper”.

A25. Nature Play Climber is called out as detail 4/LS 2.2 on Sheet LS 1.1 and Log Steppers are called out as detail 1/ LS 2.2 and material P1 note on Sheet LS 1.1.

Q26. Will a copy of the sign-in sheet from the site visit be provided?

A26. Yes, document is included as Exhibit 1 on the addendum. Email addresses have been redacted in accordance with the Texas Public Information Act.

Q27. Please provide relocated cooler foundation preparation details. And confirm who will move the cooler, is this the scope of the owner. GC to coordinate with manufacturer as required?

A27. The cooler will be moved by the GC with coordination by the cooler contractor. The contractor is Fidel Martinez and can be contacted at 210-772-5321.

Q28. At site walk discussed removing existing overhead electrical conduit feeding from existing Kitchen to existing Food Service and bring underground. Per Sheet E1.1 note 9 states provide empty conduit with pull string only and note 3 states existing overhead conduit to remain. Please advise.

A28. Overhead conduit will remain with a new empty conduit being provided (per E1.1) to facilitate the removal of the overhead conduit and electrical service rerouting by other.

Q29. On floor plan A401, the Room Finish Schedule has Sealed Concrete for the 2 restroom floors, Top Cast for the Restroom Vestibule and for the Pavilion floor Sealed Concrete, Top Cast. When I look at the Material Finish Schedule for the Floor Finishes it shows F1 polish concrete finish. The F2 finish seems to be for the landscaping concrete and F3 is not a floor finish. There is no mention of Sealed Concrete or Top Cast. Polish Concrete and Sealed Concrete are 2 different floor finishes. If want a Sealed finish, would there be a topical sealer or a penetrating sealer? What is Top Cast?

- A29. Please provide a sealed concrete floor at both restrooms using a penetrating sealer. A Top Cast finish is provided by using a retardant chemical to provide exposed aggregate finish in lieu of sandblasting.
- Q30. Please provide information pertaining to planting Plan LP 1.1. There is a plant in the bottom planter bed, above the area marked Native Seed Hydro Mulch, that is identified as PAH but is not on the planting details legend on LP 2.1. Please advise.**
- A30. PAH has been added to the Plant List on sheet LP 2.1.
- Q31. There is a ribbon curb edger to be flush with the ground (as shown on site work details on sheet # 5 LS2.2) which separates the artificial turf on one side from the Bermuda Sod and on the other side it separates the artificial turf from the mulched planter bed. This is shown on site work plan LS 1.1. Is this correct? The issue would be mulch spilling over onto the artificial turf with no steel edging in place to hold it to the planter bed. Suggest installing steel edging on the planter bed side to hold the mulch.**
- A31. The flush concrete curb is acting as the edger between materials and a steel edge will not be required.
- Q32. On the same plan (LS 1.1) there is a ribbon curb separating the Bermuda Sod from the Kiddie mulch and playground area. Then there is a dotted line that is marked as #4 on LS 2.1 that is running parallel to the 4" Contempo Fence. I would suggest installing steel edging on outside of fence to hold planter bed mulch from spilling through fence and into kiddie mulch and play area. The ribbon curb outlines the playground area that runs parallel to the ribbon curb that hugs the sod. Is this correct? Can you please help us identify if you would like to have steel edging installed in any of these areas of separation that mentioned.**
- A32. The playground mulch and planting area mulch have a similar appearance, and the fencing will provide separation. A continuous flush curb can be discussed during construction but is not part of the project at this time. No steel edging will be required.
- Q33. On the Custom Metal Gate Design, we are interpreting the plan to be a solid piece of metal with the interconnecting circles/bubbles applied to the face of the metal. What are the specifications on the metal? Is a powder coat finish? What size/type of material are the circles fabricated from? Are they the same color or a variety? Are the bubbles on both sides of the gate?**
- A33. Specification 05 70 00 Decorative Metals on sheet A912 lists the requirements for the metal gate. The base metal is to be A992 steel (or similar), ½" thick sheets minimum. The finish is to be powder coated. Both gates will be painted the same color which is listed on sheet A401 (see steel gates). The bubbles will be on both sides of the gate as they are single sheets of metal.
- Q34. On the stainless steel roof edge profile on A501 #9, what gauge of stainless steel is specified?**
- A34. 16 gauge brushed stainless steel (type 304 or 316).
- Q35. Is Electrical Panel "A" a new or an existing panel? If existing is this to be relocated?**
- A35. Sheet MEP1.2, keynote #13 calls out panel "A" as an existing panel to remain.
- Q36. For the Parking Lot Lighting and the Aero lights, which bulb option is required. If LED, what lumens and temperature?**

- A36. This light fixture is being changed in this addendum. Please refer to sheet LC1.1 for the new model number. The poles lights will be LED with a minimum of 5000K color temperature.
- Q37. For Lighting, please provide detail or model numbers for fixture R1E.**
- A37. Refer to sheet A102.1 for model number of fixture type R1. R1E indicates an emergency fixture.
- Q38. For Sheet E1.1 note 9, where does the 4" conduit routed alongside of the food service building and underground need to end?**
- A38. The 4" conduit is to be routed down the exterior face of the existing kitchen, ran underground and rise on the exterior of the food service building as indicated.
- Q39. For Sheet E1.1 note 9, do we need to provide a box for this? If so, what type?**
- A39. Please provide a 90deg 'LB' to turn the conduit down the face of the wall.
- Q40. Our team is bidding on the Pool Pocket Park project and just saw you are hosting a site visit [on Thursday, November 13, 2025 at 10am]. Is this site visit mandatory?**
- A40. No. The site visit was voluntary.

City of Alamo Heights
 2025 Pool Pocket Park Pre-Bid Meeting
 November 13, 2025 @ 10:00 AM
 SIGN-IN SHEET

NAME	ORGANIZATION	PHONE	EMAIL	SIGN IN IF IN ATTENDANCE
Michael Losoya	Waterman Construction	832-229-4219	[REDACTED]	<i>[Signature]</i>
Mark Henderson	Ford Powell Carson	988 237 4505	[REDACTED]	<i>Mark H</i>
Phil Laney	COAH	210-833-2241	planey@alamoheightstx.gov	<i>Planey</i>
Frank Orta	COAH			
Buddy Kuhn	COAH			
JJ Strum	GeoFill	210 831-7659	[REDACTED]	<i>JJ</i>
Lorenzo Hernandez	Geofill Construction	210-995-5355	[REDACTED]	<i>[Signature]</i>
ARNOLD FORTUNE	AX ELECTRIC	830-285-5207	[REDACTED]	<i>[Signature]</i>
ROSS LOEFFLER	KOPLOW	210 826-8888	[REDACTED]	<i>[Signature]</i>
MARIE METCALFE	TOWER ELECTRIC	210 559-4448	[REDACTED]	<i>[Signature]</i>
David Shea	Koplow	210 300 7405	[REDACTED]	<i>[Signature]</i>
Randy Pohde	RL Pohde GC	210-649-3130	[REDACTED]	<i>[Signature]</i>
Codi Herchenberg	Pilmak	210-739 4865	[REDACTED]	<i>Codi Herchenberg</i>
Bill George	GW Mitchell	210-849-2149	[REDACTED]	<i>[Signature]</i>
KEITH BRADY	AGAVE DS	210 365 4009	[REDACTED]	<i>[Signature]</i>
Amy Schoemaker	Agave DS	915-491-5904	[REDACTED]	<i>[Signature]</i>

