



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
Tuesday, August 18, 2020 – 5:30 P.M.

In accordance with order of the Office of the Governor issued March 16, 2020, where he temporary suspended certain provisions of the Texas Open Meetings Act, take notice that a regular meeting scheduled **at 5:30 p.m. on Tuesday, August 18, 2020** will be conducted by telephone conference in order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”), to slow the spread of the Coronavirus (COVID-19), to consider and act upon any lawful subjects which may come before it. **There will be no public access to Alamo Heights Council Chamber.**

INSTRUCTIONS FOR TELECONFERENCE: The public toll-free dial-in number to participate in the telephonic meeting is 800-717-4201 and enter access number 3446107#.

Case No. 809 F – 5945 Broadway

Request of Lyndsay A. Thorn, Architect, of ThornGraves Architects, PLLC, applicant, to modify the existing exterior and color of the commercial structure at the property located at 5945 Broadway under Chapter 2 Administration for Architectural Review.

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB’s recommendation for all demolition/final design review applications. Please check the ARB posted results on the City’s website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online* (<http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/>) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Brenda Jimenez (bjimenez@alamoheightstx.gov), Lety Hernandez (lhernandez@alamoheightstx.gov), or Nina Shealey (nshealey@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case. Please note that plans will not be available online for all case types and floor plans will not be available online.

Lyndsay Thorn, AIA
ThornGraves Architects, PLLC
105 Montclair Ave.
Alamo Heights, TX 78209

August 6, 2020

Chairman and Board Members of the Architectural Review Board of Alamo Heights,

We propose the following alterations to 5945 Broadway.

Firstly, the installation of a new permanent sign to be face-lit using existing landscape lighting. The sign is to be a 6'-0" x 4'-1 1/2" x 6" metal framed box sign with a white acrylic face to receive a red and blue vinyl logo application. The metal frame is to be painted light gray and have a minimal 2" border on the front face of the sign. The sign is to be supported by a concrete base footing.

Secondly, we propose changing the colors of the existing façades. The current façade is a drab olive green with rust accents. The proposed façade colors are Van Deusen Blue for the main body of the building, China Red for the doors and attic vents, and Hazy Skies (a light off-white color) for the trim. Please see the provided elevations for reference.

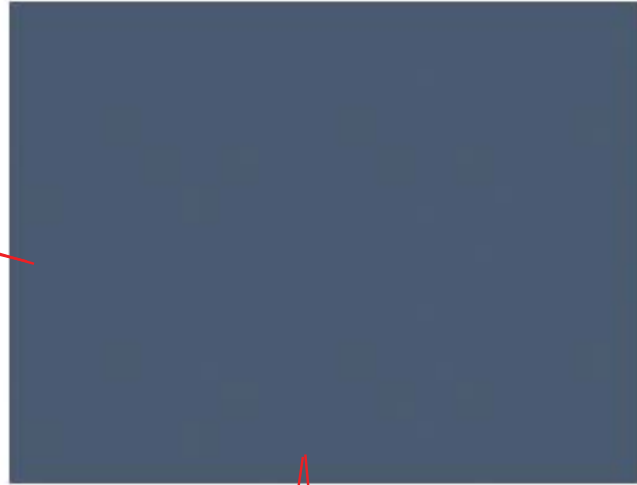
Thank you for your consideration,



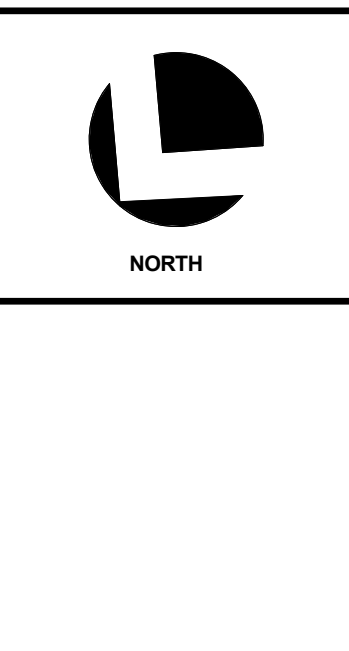
Lyndsay A. Thorn
BSc., (Hons) BArch., (M.Arch.US), AIA, Architect
Principal
ThornGraves Architects, PLLC



5945 Broadway
Proposed Exterior Color: Van Deusen Blue



PROJECT INFORMATION KING & COUNTRY 5945 BROADWAY, SAN ANTONIO, TX 78209 TDLR: TABS2020020443	DESIGN TEAM ARCHITECTS THORN-GRAVES ARCHITECTS 105 MONTCLAIR AVE SAN ANTONIO, TX 78209 TEL: 210.222.0184	WRITTEN DESCRIPTION OF WORK INTERIOR RENOVATION AND EXTERIOR MAINTENANCE. ADDITION OF ACCESSIBLE RAMP AND ENTRANCE. EXTENSION OF EXISTING PORCH. ALLOWANCES ALLOW \$ _____ FOR _____	ADD ALTERNATES PROVIDE LINE ITEM ENTRY FOR DEMOLITION AND REMOVAL OF TWO EXISTING "PORTABLE" STRUCTURES FROM SITE.	OWNER SUPPLIED AND INSTALLED (OSI) NOTE: THE FOLLOWING ITEMS ARE NOT PROVIDED BY THE GENERAL CONTRACTOR, BUT REQUIRE COORDINATION FOR PRODUCT REQUIREMENTS AND INSTALLATION METHODS. 1. OFFICE COPIERS, PRINTERS, SCANNERS AND MISC. OFFICE EQUIPMENT, UNLESS OTHERWISE NOTED. 2. FILING EQUIPMENT 3. VENDING MACHINES
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GENERAL NOTES

GENERAL

- WHILE THE ARCHITECT SHALL ENDEAVOR TO MAKE REASONABLE AND PRUDENT ASSUMPTIONS DURING THE COURSE OF THE DESIGN PROCESS, UNDESIRABLE CONDITIONS MAY EXIST. SUCH CONDITIONS INCLUDE, BUT ARE NOT LIMITED TO, UNUSUAL SUBSURFACE OR OTHERWISE CONCEALED PHYSICAL CONDITIONS. UNLESS YOU MAKE SPECIFIC BE ENCOUNTERED THAT ARE MATERIALLY DIFFERENT, THE GENERAL CONTRACTOR SHALL NOTIFY THE CLIENT AND ARCHITECT OF ANY SUCH CONDITIONS IMMEDIATELY UPON DISCOVERY. CHANGE IN SCOPE OF WORK AND TIME REQUIRED TO COMPLETE THE PROJECT.
- GENERAL CONTRACTOR SHALL REPORT ANY CONFLICTS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR REVIEW & CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- THIS SET OF DOCUMENTS IS CONSIDERED A "DESIGN-BUILD" - BUILDER'S SET OF DRAWINGS, INCLUDING ALL NECESSARY MEP SYSTEMS. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE BUILDING IN CONFORMANCE WITH GOVERNING CODES, FINISHED, CLEANED, AND READY FOR OCCUPANCY, UNLESS OTHERWISE INDICATED (SUCH AS "NOC" OR "BY OWNER"). CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT.
- GENERAL CONTRACTOR SHALL COORDINATE WORK AMONG ALL TRADES, AND SHALL COORDINATE THE ENGINEERING OF HVAC, LIGHTING, AND PLUMBING SYSTEMS BY LICENSED VENDORS.
- GENERAL CONTRACTOR SHALL TAKE RESPONSIBILITY OF FAMILIARIZING HIMSELF/HERSELF WITH THE BUILDING AND SITE. ADDITIONAL COSTS RESULTING FROM THE CONTRACTOR'S FAILURE TO DO SO SHALL BE PAID FOR BY THE CONTRACTOR.
- VERIFY EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON PLAN PRIOR TO BEGINNING WORK. EACH SUBCONTRACTOR SHALL VERIFY THE DIMENSIONS AND CONDITIONS OF COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF CONDITIONS. REPORT ANY DISCREPANCIES TO THE OWNER/ARCHITECT FOR RESOLUTION.
- ALL CHANGES AND MODIFICATIONS TO THE SCOPE OF WORK SHALL BE SUBMITTED TO THE ARCHITECT AS A CHANGE ORDER FOR APPROVAL BY THE OWNER PRIOR TO COMMENCEMENT OF THAT PORTION OF WORK.
- PRODUCTS: MEANS NEW MATERIAL, MACHINERY, COMPONENTS, EQUIPMENT, FIXTURES, AND SYSTEMS FORMING THE WORK, BUT DOES NOT INCLUDE MACHINERY AND EQUIPMENT USED FOR PREPARATION, FABRICATION, CONVEYING AND ERECTION OF THE WORK. PRODUCTS MAY ALSO INCLUDE EXISTING MATERIALS OR COMPONENTS REQUIRED FOR REUSE.
- FURNISH TO SUPPLY AND DELIVER, UNLOAD, INSPECT FOR DAMAGE.
- INSTALL TO UNPACK, ASSEMBLE, ERECT, APPLY, PLACE FINISH, CURE, PROTECT, CLEAN, AND MAKE READY FOR USE.
- PROVIDE TO FURNISH AND INSTALL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING INSURANCE TO PROTECT THE PUBLIC AND PERSONNEL FROM INJURY. INSURANCE SHALL BE PROTECT AND HOLD HARMLESS THE OWNER, OWNER'S ARCHITECT, ARCHITECTS REPRESENTATIVE, AND CONSULTANTS FROM ANY LIABILITY DUE TO PROPERTY DAMAGE OR INJURY UNTIL THE OWNER HAS TAKEN POSSESSION OF THE BUILDING.
- GENERAL CONTRACTOR TO NOTIFY OWNER IN WRITING OF ANY VALUE ENGINEERED ITEMS INCLUDED IN BID, AND OF ANY ITEMS OMITTED FROM BID.
- GENERAL CONTRACTOR TO COORDINATE TIMES OF OPERATION, CONSTRUCTION ACCESS & SITE DELIVERY WITH OWNER AND ARCHITECT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL WORK TO BE READY FOR OCCUPANCY BY CLIENT, PRIOR TO ISSUANCE OF SUBSTANTIAL COMPLETION.

PROCESS METHODS, SUBMITTALS AND DOCUMENTS

- ALTERNATES AND SUBSTITUTIONS ARE TO BE CLEARLY IDENTIFIED AS SUCH, WHEN PROPOSED AND SUBMITTED BY THE GENERAL CONTRACTOR AND WILL BE REVIEWED, ACCEPTED OR REJECTED AT THE CLIENT'S OPTION.
- SHOP DRAWINGS (WHEN APPLICABLE) ARE REQUIRED FOR ARCHITECTS REVIEW FOR THE FOLLOWING: ALL EXTERIOR & INTERIOR WINDOWS AND STOREFRONTS, ALL FINISH MATERIALS, ALL LIGHT FIXTURES, HVAC SYSTEMS, CABINETRY LOCATIONS AND TRUSS SYSTEMS. ADDITIONAL SHOP DRAWINGS MAY BE REQUIRED BY OTHER TRADES: REFER TO CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL, AS REQUIRED.

PERMITS, FEES, SURVEYS

- CONTRACTOR SHALL OBTAIN A BUILDING PERMIT PRIOR TO BEGINNING WORK. HVAC, PLUMBING, ELECTRICAL AND SPECIALTY PERMITS SHALL BE THE RESPONSIBILITY OF SUBCONTRACTOR. ALL PERMIT FEES ARE TO BE INCLUDED IN BID AMOUNT.
- ALL PERMITTING APPLICATIONS TO BE SUBMITTED TO THE CITY, COUNTY, OR ENTITY GOVERNING THE PERMITTING PROCESS AT THE TIME OF PERMIT APPLICATION.
- CLIENT WILL RETAIN, AT THEIR EXPENSE, INSPECTORS ACCEPTABLE TO CITY AUTHORITIES WHERE INDEPENDENT INSPECTIONS ARE REQUIRED. GENERAL CONTRACTOR SHALL COORDINATE AND FACILITATE INSPECTIONS ON A TIMELY BASIS, AS NOT TO DELAY THE PROGRESS OF WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING REQUIRED INSPECTIONS WITH GOVERNMENT REVIEWING AGENCIES AND JURISDICTIONS.
- GENERAL CONTRACTOR SHALL POST IN A CENTRAL LOCATION, CLEARLY VISIBLE, ALL PULLED PERMITS.
- GENERAL CONTRACTOR IS TO REVIEW ALL CODE ANALYSIS INFORMATION PROVIDED. ALL NEW WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES. SHOULD A DISCREPANCY BE NOTED BY THE GENERAL CONTRACTOR, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING.

EXISTING CONDITIONS

- ALL TRASH & EXCESS BUILDING MATERIAL SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR UNLESS OTHERWISE INDICATED.
- ALL ROUGH OPENINGS CREATED THROUGH NEW WORK SHALL BE SECURED DURING NON-WORKING HOURS. REPAIR OR REPLACEMENT OF DAMAGE TO OWNERS' PROPERTY DUE TO CONTRACTOR NEGLIGENCE NOT INCLUDED. SECURING SITE SHALL BE PAID FOR BY THE CONTRACTOR.

UTILITIES

- GENERAL CONTRACTOR TO SITE VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO START OF FOUNDATION WHERE NEW ELECTRICAL GENERATOR FOUNDATION IS REQUIRED.
- ALL NEW AND EXISTING UTILITIES SHALL BE RAISED ACCORDING TO LATEST APPLICABLE CODES AND SITE CONDITIONS.
- CHECK VALVES AND BACK FLOW PREVENTION DEVICES SHALL BE INSTALLED ON SANITARY SEWER AND POTABLE WATER LINES, RESPECTIVELY, PER APPLICABLE CODES AND REGULATIONS.
- OBTAIN LICENSED VENDOR TO INSTALL SEWER LINES AND CONNECTIONS TO MEET ALL STATE AND LOCAL CODES.

FOUNDATION

- STRUCTURAL ELEMENTS TO BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AUTHORIZED TO DO WORK IN THE AREA OF CONSTRUCTION. REFER TO STRUCTURAL ENGINEER DRAWINGS. THIS WORK TO BE COORDINATED WITH ELECTRICAL ENGINEER AND SUBCONTRACTOR RETAINED BY G.C.

ROUGH OPENINGS

- COORDINATE ROUGH OPENING DIMENSIONS FOR DOOR AND WINDOW OPENINGS WITH REQUIREMENTS FOR OPENINGS BY DOOR AND WINDOW MANUFACTURERS. SELECTION OF DOOR AND WINDOW MANUFACTURERS IS SUBJECT TO ARCHITECT'S AND OWNERS' APPROVAL.
- PROVIDE BLOCKING AT ALL CABINET LOCATIONS. VERIFY WALL CABINET HEIGHTS PRIOR TO INSTALLATION OF BLOCKING.
- PROVIDE BLOCKING AT ALL TOILET LOCATIONS FOR HIC HANDRAIL GRAB-BARS AND ACCESSORIES.
- PROVIDE BLOCKING AT ALL MIRROR LOCATIONS.

CONCRETE/SLABWORK

- PROVIDE LIGHT BROOM FINISH ON EXTERIOR CONCRETE PADS & WALKWAYS.
- ALL WALKWAYS SHALL HAVE CONTROL JOINTS EVERY 6' MAX. (2' PREFERRED) WITH EXPANSION JOINTS EVERY 30' MAX. (2' PREFERRED).

WINDOWS & DOORS

- UNLESS OTHERWISE NOTED ON PLANS, DOORS SHALL BE INSTALLED 4" FROM ADJACENT WALL TO HINGE SIDE OF DOOR.
- SUBMIT SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL.
- REFER TO PLANS FOR STOREFRONT, WINDOWS AND DOOR SIZES.
- PROVIDE DOOR HARDWARE THROUGHOUT. REFER TO HARDWARE SCHEDULE AND SPECIFICATIONS.
- PROVIDE PRE-HUNG DOORS WITH THREE BUTT HINGES AT ALL INTERIOR DOOR LOCATIONS (REFER TO PLANS FOR SIZE AND SWING OF DOOR).
- PROVIDE TASTRAKES AT ALL PAIR OF DOORS.
- PROVIDE DOOR STOPS AT ALL DOOR LOCATIONS.
- PROVIDE EXTERIOR WINDOW AND DOOR TRIM AS RECOMMENDED BY THE MANUFACTURER.
- INTERIOR DOORS - REFER TO ARCHITECT DOOR SCHEDULE.
- ALL WINDOWS AND DOORS THROUGHOUT SHALL COMPLY WITH APPLICABLE CODES REGARDING EMERGENCY ENTRY AND EGRESS.

PLUMBING - REFER TO M.E.P. DRAWINGS

HEATING - REFER TO M.E.P. DRAWINGS

ELECTRICAL AND LIGHT FIXTURE - REFER TO M.E.P. DRAWINGS

INSULATION

- PROVIDE INSULATION AS REQUIRED ON PLANS AND PROJECT MANUAL. SOUND ATTENTION BARRIER AT ALL PARTITIONS AS INDICATED ON FLOOR PLANS - SEE WALL TYPES.

WATER

- PROVIDE ELECTRICAL INSTANT HOT WATER HEATERS TO MEET ALL CITY AND LOCAL CODES.
- PROVIDE VACUUM BREAKER DEVICE ON ALL HOSE BIBS.

DRYWALL

- PROVIDE 3/4" GREENBOARD AT ALL "WET" AND UTILITY "DRIP DRY" LOCATIONS.
- PROVIDE 5/8" GYPSUM WALLBOARD AT ALL LOCATIONS. TAPE AND FLOAT ALL JOINTS.

CABINETS

- PROVIDE STAIN GRADE CABINETS WHERE INDICATED ON PLANS.
- PROVIDE FRONT PANELS TO BE SELECTED BY ARCHITECT. CONCEALED HINGES, FULL EXTENSION GLEDES, ADJUSTABLE SHELVES, BLIND CORNERS, AND COMMERCIAL GRADE HARDWARE.
- SUBMIT SHOP DRAWINGS FOR APPROVAL BY CLIENT AND ARCHITECT FOR ALL CABINET AND COUNTER LOCATIONS, PRIOR TO MANUFACTURE AND INSTALL. CORROBORATE DIMENSIONS ON SITE.

MILLWORK

- SUBMIT SHOP DRAWINGS FOR ALL REQUIRED MILLWORK.
- ALL EXPOSED SURFACES TO RECEIVE PLASTIC LAMINATE.

PAINTING

- TAPE, FLOAT, AND LIGHT TEXTURE ALL INTERIOR WALLS AND GYP. BD CEILINGS - TEXTURE TO BE SELECTED BY ARCHITECT. PROVIDE SAMPLES TO CLIENT FOR APPROVAL BEFORE INSTALL.
- PROVIDE ONE COAT PRIMER AND TWO COATS PAINT AT ALL LOCATIONS TO BE PAINTED.
- PROVIDE FLAT LATEX AT WALL AND CEILING LOCATIONS. REFER TO ROOM FINISH SCHEDULE - ALL NEW AND EXISTING STEEL ERECTED DURING CONSTRUCTION TO BE REPAIR AND PAINTED.

CLEANING

- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL NEW WORK. TO BE READY FOR OCCUPANCY BY OWNER, PRIOR TO ISSUANCE OF SUBSTANTIAL COMPLETION CERTIFICATION.

FLOORING

- PREPARE ALL FLOOR SUBSTRATE FOR NEW MATERIAL INSTALL, REFER TO PLANS FOR MATERIAL TO BE INSTALLED. FINAL SELECTIONS BY CLIENT AND ARCHITECT.

BRICKS & PAVERS

WORKING IN SAN ANTONIO

- ALLOWABLE WORKING HOURS: MONDAY THRU FRIDAY 7AM - 6PM
- ALL BUILDING PERMITS MUST BE POSTED ON THE JOB IN ORDER TO GET REQUIRED INSPECTIONS.
- CALL AT LEAST 24 HOURS IN ADVANCE FOR INSPECTIONS, UNLESS YOU MAKE SPECIFIC ARRANGEMENTS WITH THE INDIVIDUAL INSPECTOR.
- WHEN CALLING INTO THE OFFICE FOR INSPECTIONS, PLEASE HAVE THE PERMIT NUMBER TO GIVE THE OFFICE.
- CONTRACTOR MUST USE CONSTRUCTION EQUIPMENT AND VEHICLES WHICH CAN TRANSVERSE THE CITY STREETS TO THE SITE LOCATION WITHOUT DAMAGE TO STREETS AND TREES.
- CLEAN THE SITE OF RUBBISH, DEBRIS, AND TRASH, INCLUDING FOOD/DIRTY WRAPPERS AND CONTAINERS, DAILY.
- CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED AND PLACED 50 AS NOT TO DANGER THE PUBLIC, THE WORKERS, OR THE ADJOINING PROPERTY FOR THE DURATION OF THE PROJECT.
- WASTE MATERIALS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY OR DAMAGES TO PERSONS, ADJOINING PROPERTIES, AND PUBLIC RIGHTS-OF-WAY.
- TOILET FACILITIES SHALL BE PROVIDED FOR CONSTRUCTION WORKERS AND SUCH FACILITIES OF THE NON-SEWER TYPE SHALL CONFORM TO ANSI Z4.3.
- PROVIDE TEMPORARY CONSTRUCTION OFFICE ON-SITE.
- QUESTIONS, CALL CITY ENGINEER'S OFFICE.

REQ'D SPECIAL INSPECTIONS

ORDINANCE NO. 157 (EXTRACT) SEC. 5-308 REQUIRED INSPECTIONS.

(A) REQUIRED INSPECTIONS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING, BUT THE ABSENCE OF A PARTICULAR INSPECTION IN NO WAY RELIEVES THE CONTRACTOR FROM SECURING FOR OR PROVIDING SUCH INSPECTIONS OR APPROPRIATE SUPERVISION.

(B) BUILDING PERMIT

- FOOTING OR FOUNDATION
- CONCRETE SLAB OR UNDER-FLOOR
- FRAMING - AFTER ELECTRICAL/PLUMBING/GAS/MECHANICAL ROUGH-IN
- INSULATION (SEE ALSO ITEM (H))
- FIRE-RESISTANCE
- ROOFING
- FINAL

(C) SITE CLEAN-UP

- PROVIDED AND APPROVED PLANS WERE FOLLOWED
- EQUIPMENT, APPLIANCES, AND FIXTURES PROPERLY PLACED AND CONNECTED
- CONSTRUCTION COMPLETES WITH BOARD OF ADJUSTMENT VARIANCES
- VERIFY OVERALL COMPLIANCE WITH THE APPROPRIATE BUILDING CODE AS ADOPTED BY THE CITY AND EN IN FORCE AT THE TIME OF THE BUILDING PERMIT.

(D) ELECTRICAL

- METER LOOP
- UNDERGROUND (IF NEEDED)
- ROUGH-IN
- FINAL
- I.O.P.S. - TEMPORARY TO PERMANENT SERVICE

(E) GAS

- TEST NEW INSTALLATIONS

(F) MECHANICAL

- ROUGH-IN
- FINAL
- TEST AND BALANCE NEW INSTALLATIONS

(G) PLUMBING (INCLUDES SEWER)

- UNDERGROUND (IF NEEDED)
- ROUGH-IN
- TOP OUT
- FINAL
- BACKFLOW PREVENTION ASSEMBLY
- TEST (HYDROSTATIC OR CODE-ALLOWED EQUIVALENT)
- NEW INSTALLATIONS
- PARTS OF EXISTING INSTALLATION WHICH HAVE BEEN ALTERED, EXTENDED, RENOVATED, OR REPAIRED SHALL BE TESTED.

(H) FIRE AND LIFE SAFETY CODE

- INSPECTIONS BY THE CITY FIRE INSPECTOR SHALL BE PER THE APPROPRIATE INTERNATIONAL FIRE CODE AND LIFE SAFETY CODE AT THE TIME OF INSPECTION.

(I) ENERGY CONSERVATION CODE

- INSULATION AND CORRECT R-VALUES (SEE ALSO ITEM (B)(4))
- PROPER SIGH AND U VALUES FOR GLAZING (SEE ALSO ITEM (B)(4))
- DESIGNED SEER FOR HVAC (SEE ALSO ITEM (B)(4))
- COMPLY WITH IECC DIRECTIVES (SEE ALSO ITEM (B)(4))

CODE ANALYSIS

GOVERNING CODES
TO THE BEST KNOWLEDGE OF THE ARCHITECT AND CONSULTANTS ENGINEERS, THE DRAWINGS AND SPECIFICATIONS MEET THE FOLLOWING:

THE DESIGN IS IN ACCORDANCE WITH THE CITY OF SAN ANTONIO, TEXAS UDC AND ADOPTED CODES, ZONING ORDINANCE AND LOCAL AMENDMENTS: 2019 EDITIONS OF THE INTERNATIONAL CODES, AS THEY MAY BE AMENDED BY THE CITY OF SAN ANTONIO, TEXAS.

SUMMARY OF CODE ANALYSIS
PROPOSED SCOPE OF WORK IS FOR RENOVATION FOR 5945 BROADWAY
CODE ANALYSIS WAS PERFORMED FOR B OCCUPANCY.

CONSTRUCTION TYPE: TYPE_VB

ZONING
JURISDICTION: CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.
UNITED STATES OF AMERICA
SITE ADDRESS: 5945 BROADWAY, SAN ANTONIO, TX 78209
ZONING CLASS: B-1

CALCULATIONS
USE AND OCCUPANCY CLASSIFICATION: B (IBC 2015).
OCCUPANT LOAD (IBC 2018, TABLE 1004.1.2) CALCULATED TOTAL = $\frac{12}{12}$

TOTAL BLDG AREA = 1995.9 SF / B OCCUPANCY 10
BUSINESS (100 GROSS) 890.5 SF
ACCESSORY (300 GR-OSS) 606.4 SF

MINIMUM NUMBER OF EXITS REQUIRED (1005 & 1021): SHALL NOT BE LESS THAN TOTAL OCCUPANT LOAD SERVED BY MEANS OF EGRESS MULTIPLIED BY 0.3 IN. PER OCCUPANT FOR STAIRWAYS AND BY 0.2 IN. PER OCCUPANT FOR OTHER EGRESS COMPONENTS
 $12 \times 0.2 = 2.4$ IN. REQUIRED EGRESS WIDTH / 96 IN. TOTAL EGRESS WIDTH PROVIDED

PLUMBING SYSTEMS (2902.1)
FIXTURES: WC REQUIRED = $\frac{1}{1}$ PROVIDED
LV. REQUIRED = $\frac{1}{1}$ PROVIDED
UNISEX: BOTTLED WATER AVAILABLE ON REQUEST
DRINKING FOUNTAIN: 1 PER 100 = $\frac{1}{1}$ REQUIRED / 0 PROVIDED
(COMBO HILO ADA UNIT)

PARKING
EXISTING PARKING: 6 TOTAL SPACES (1 ACCESSIBLE SPACE)
1595.9 SF BLDG / (300 GROSS SF BUILDING / 1 PARKING SPACE) = 6 PARKING SPACES

CEILING HEIGHTS
1. UNDERGROUND (IF NEEDED)
2. ROUGH-IN
3. TOP OUT
4. FINAL
5. BACKFLOW PREVENTION ASSEMBLY
6. TEST (HYDROSTATIC OR CODE-ALLOWED EQUIVALENT)

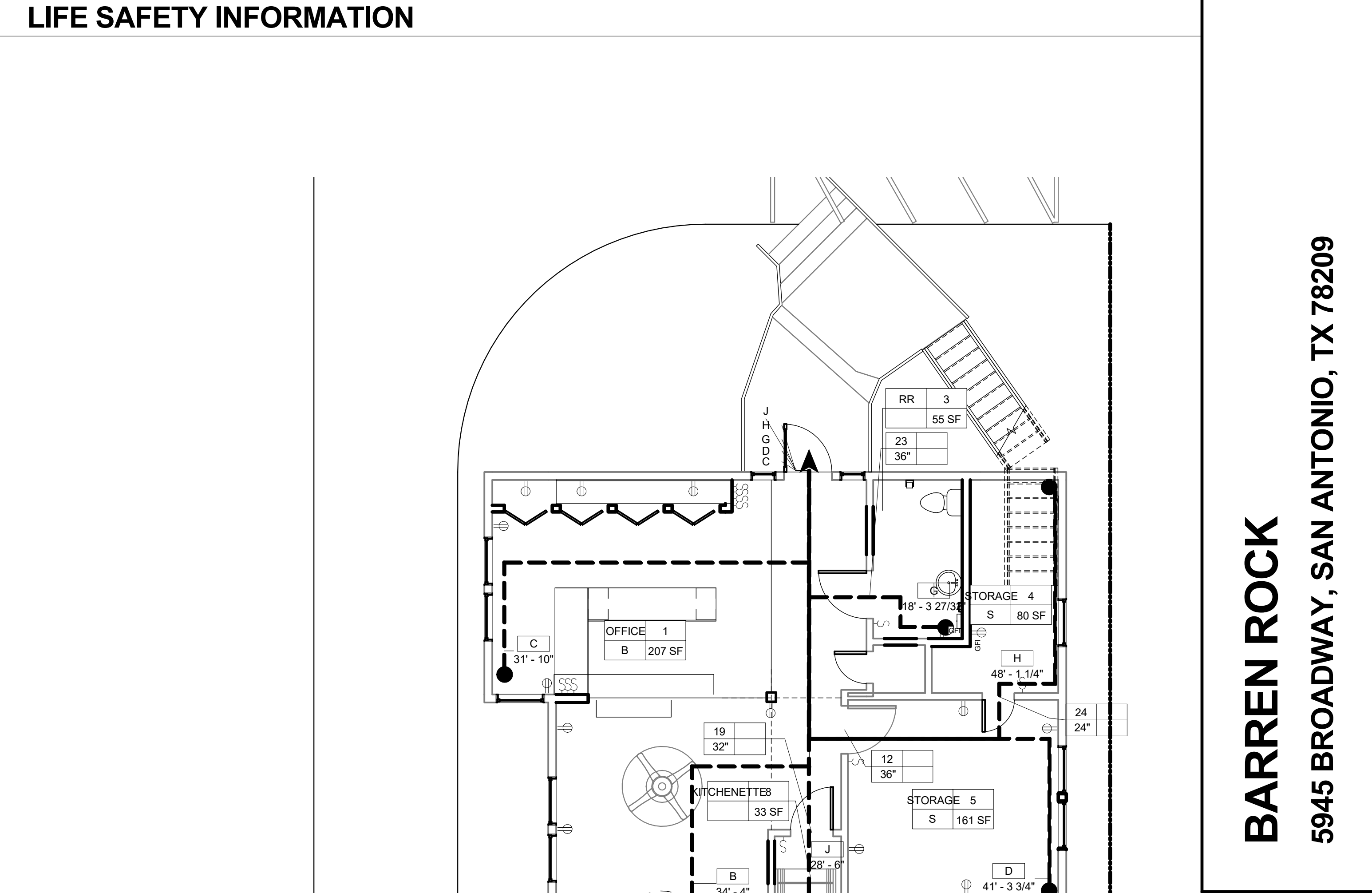
EMERGENCY EXITS
THERE ARE NO BARRS, GRILLES, OR GRATES SCHEDULED TO BE INSTALLED OVER THE WINDOWS.
PANIC HARDWARE STD. INSTALL FOR DOORS AS INDICATED ON PLAN - REFER TO HARDWARE SCHEDULE.

ELECTRICAL
ALL OUTLETS IN FOOD PREPARATION AREAS AND BATHROOMS WILL BE GROUND FAULT CIRCUIT INTERRUPTER RATED AND LABELED.

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SHEET INDEX

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Sheet Number	Sheet Name
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LS1.1	LIFE SAFETY AND CODE INFORMATION
A0.1	SITE PLAN & SITE DETAILS
A0.1D	DEMO PLANS
A2.1	FLOOR PLANS
A3.1	EXTERIOR ELEVATIONS
A4.1	SECTIONS & DETAILS
A5.1	DETAILS
A6.1	DOOR & WINDOW SCHEDULE


CONSTRUCTION OBSERVATION

THE GENERAL CONTRACTOR IS REQUIRED TO CONTACT THE ARCHITECT FOR THE FOLLOWING CONSTRUCTION OBSERVATION SERVICES: AT LEAST 24 HOURS ADVANCE NOTICE MUST BE GIVEN FOR REQUIRED SITE VISITS

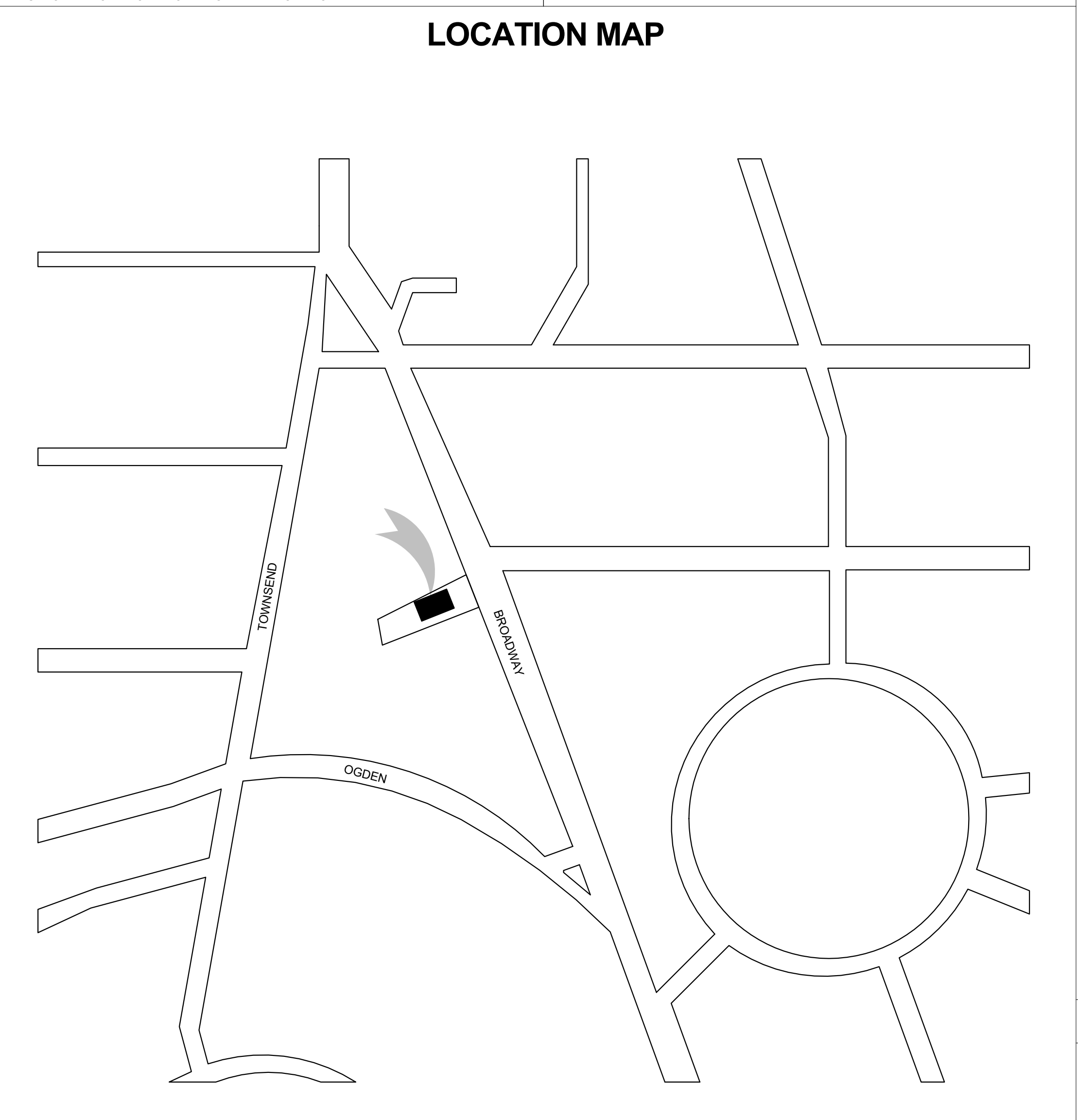
- REVIEW OF SHOP DRAWINGS, SAMPLES, AND SUBMITTALS
- PREPARE CHANGES TO ARCHITECTURAL PLAN OR SPECIFICATIONS
- FRIST CONSTRUCTION SITE APPROPRIATE TO STAGE OF CONSTRUCTION:
 - PRIOR TO FOUNDATION POUR
 - AFTER ERECTION OF STRUCTURAL SYSTEMS
 - AFTER MECHANICAL, ELECTRICAL, AND PLUMBING ROUGH-IN
 - DURING INSTALLATION OF INSULATING MATERIALS, VAPOR BARRIERS AND ROOFING MATERIALS
 - AFTER APPLICATION OF INTERIOR/EXTERIOR FINISHES, AND INSTALLATION OF ROOFING AND PLUMBING FIXTURES
 - AFTER FINAL CLEANING (SUBSTANTIAL COMPLETION)
- UPON RECEIPT OF NOTICE THAT CONSTRUCTION IS COMPLETE (FINAL)
- NOTIFYING CLIENT OF SUBSTANTIAL DEVIATION FROM THE PLANS

ELECTRICAL TRANSMISSION DISCLAIMER

THE INFORMATION CONTAINED IN THE SIGNED AND SEALED DOCUMENTS IS DEEMED TO BE SUPERIOR TO ANY AND ALL ELECTRONIC INFORMATION. THE ELECTRONIC INFORMATION ORIGINATED IN THE OFFICES OF THORN-GRAVES PLLC IS CURRENT AS OF THE DATE OF ITS RELEASE, BUT THE USER ASSUMES RESPONSIBILITY FOR UPDATING THE INFORMATION TO REFLECT ANY CHANGES IN THE DESIGN FOLLOWING THE PREPARATION DATE OF THE TRANSFERRED INFORMATION. NOTHING IN THE TRANSFER OF ELECTRONIC DOCUMENTS SHOULD BE CONSTRUED TO PROVIDE ANY RIGHT OF THE CONTRACTOR OR OWNER OR OTHER RECIPIENT TO RELY ON THE INFORMATION PROVIDED BASED PRINCIPALLY ON THE ELECTRONIC INFORMATION, NOR THAT THE USE OF ELECTRONIC INFORMATION IMPLES THE REVIEW AND APPROVAL, BY THE DESIGN PROFESSIONAL, OF ANY DRAWING.

THERE IS NO REPRESENTATION OF THE SUITABILITY OF THE ELECTRONIC INFORMATION FOR OTHER PURPOSES, OF THE DURABILITY OF THE INFORMATION OR THE MEDIUM THROUGH WHICH THE INFORMATION IS FURNISHED. ANY USE FOR A PURPOSE OTHER THAN THAT FOR WHICH THE INFORMATION IS INTENDED SHALL BE AT THE RECEIVER'S RISK AND THEREFORE THE RECEIVER SHALL PROTECT AND IDENTIFY THE SENDER FROM CLAIMS, LOSSES, COSTS, OR DAMAGES.

TRANSFER OF ELECTRONIC INFORMATION DOES NOT TRANSFER ANY LICENSE TO USE THE UNDERLYING INTELLECTUAL PROPERTY OR EXTENDING THE RIGHTS OF THE SENDER TO REUSE THE INFORMATION IN THE GENERAL COURSE OF A PROFESSIONAL PRACTICE. THIS ELECTRONIC INFORMATION IS A COMPONENT OF THE INSTRUMENTS OF SERVICE AND IS ONLY FOR THE CLIENT'S BENEFIT ON THIS SPECIFIC PROJECT.


LIFE SAFETY LEGEND

ROOM TAG	NAME	AREA	ROOM NUMBER
ROOM NAME	NAME	AREA	ROOM NUMBER
OCCUPANCY TYPE	AREA	AREA	ROOM SF
SF PER PERSON	AREA	AREA	OCCUPANCY LOAD

DOOR TAG	AREA	AREA	OCCUPANCY LOAD
DOOR NUMBER	AREA <td>AREA</td> <td>ROOM WIDTH</td>	AREA	ROOM WIDTH
DOOR WIDTH	AREA <td>AREA</td> <td>PER OCCUPANT</td>	AREA	PER OCCUPANT

Mark	Length
A	34' - 11 1/2"
B	34' - 4"
C	31' - 10"
D	41' - 3 3/4"
E	40' - 3 7/32"
F	32' - 1 7/32"
G	18' - 3 27/32"
H	48' - 1 1/4"
J	28' - 6"

1 3/16" = 1'-0"

ABBREVIATIONS

ARCH	AIR CONDITIONER	A.C.	ALTERNATING CURRENT	ADDN	ADDITION	A.F.F.	ABOVE FINISHED FLOOR	A.H.U.	AIR HANDLING UNIT	ALUM	ALUMINUM	APPROX.	APPROXIMATE
ASMT.	ARCHITECT	AVG.	AVERAGE	BD	BOARD	B.F.T.	BUILD UP	B.L.G.	BUILDING	BRM	BROOM	BRG.	BEARING
BASEMT	BASEMENT	B.T.U.	BRITISH THERMAL UNIT	B.U.R.	BUILT UP ROOF	C.	COURSES	C.B.T.	CABINET	CEM	CEMENT	CEM.	CEMENT (POUS)
CERAM	CERAMIC	C.F.M.	CUBIC FEET PER MINUTE	C.L.R.	CLEAR	C.K.T.	CENTER LINE	C.L.C.	CALKING	CLG.	CLAY	CLG.	CALLING
CLO	CLOSET	C.M.U.	CONCRETE MASONRY UNIT	CONTR.	CONCRETE	C.O.	CORNER	C.O.	CLEANOUTS	COM	COMMON	COM.	COMMON
CONC.	CONCRETE	CON.	CONNECTION	CONTR.	CONCRETE	C.W.	COLD WATER	C.W.	COLD WATER	C.W.	COLD WATER	C.W.	COLD WATER
DBL	DOUBLE	D.C.	DIRECT CURRENT	DEG.	DEGREE	DET.	DETAIL	DIA.	DIAMETER	DAG.	DIAGONAL	DAG.	DIAGONAL
DIS	DIFFUSER	D.M.	DISHWASHER	D.M.	DRAWING	D.M.	DOWN	D.M.	DOWN	D.M.	DOWN	D.M.	DOWN
DIST.	DOORSTOP	D.O.S.	DISCONNECT	DIST.	DISCONNECT	DIST.	DISTANCE	DIST.	DISTANCE	DIST.	DISTANCE	DIST.	DISTANCE
ENG'R	ENGINEER	E.Q.P.	EQUIPMENT	ENG.	ENGINEER	E.H.	EXHAUST	E.H.	EXHAUST	E.H.	EXHAUST	E.H.	EXHAUST
FIN.	FINISH	FL.	FLOOR	FL.	FLOOR	FL.	FLOOR	FL.	FLOOR	FL.	FLOOR	FL.	FLOOR
GA.	GAS	G.A.	GALVEY	G.A.	GALVEY	G.A.	GALVEY	G.A.	GALVEY	G.A.	GALVEY	G.A.	GALVEY
GND	GROUND	GYP.	GYPSUM	H.B.	HOSE BIB	H.T.	HEIGHT	H.W.	HOT WATER	H.M.	HOLLOW METAL	H.M.	HOLLOW METAL
HTR.	HEATING	HTR.	HEATER	H.W.	HOT WATER	I.D.	INTERIOR DIAMETER	I.N.C.	INCLUDING	I.N.C.	INCLUDING	I.N.C.	INCLUDING
INT.	INTERIOR	JAN.	JANITOR	JST.	JOIST	J.T.	JOINT	J.T.	JOINT	J.T.	JOINT	J.T.	JOINT
LAB.	LABORATORY	L.T.	LIGHT	L.T.	LIGHTING	L.T.	LIGHTING	L.T.	LIGHTING	L.T.	LIGHTING	L.T.	LIGHTING
MEZ.	MEZZANINE	M.F.	MANUFACTURER	M.F.	MANUFACTURER	M.F.	MANUFACTURER	M.F.	MANUFACTURER	M.F.	MANUFACTURER	M.F.	MANUFACTURER
NO.	NUMBER	NOM.	NOMINAL	O.C.	ON CENTER	OPNG.	OPENING	OPNG.	OPENING	OPNG.	OPENING	OPNG.	OPENING
P.B.	PUSH BUTTON	PH.	PHASE	PL.	PLATE	PL.	PROPERTY LINE	PL.	PROPERTY LINE	PL.	PROPERTY LINE	PL.	PROPERTY LINE
PR.	PAIR	PR.	PREFABRICATED	PR.	PRESSURE	PROL.	PROJECT	PROL.	PROJECT	PROL.	PROJECT	PROL.	PROJECT
PTD.	PAINTED	QTY.	QUANTITY	QTY.	QUANTITY	RAD.	RADIUS	RAD.	RADIUS	RAD.	RADIUS	RAD.	RADIUS
REG.	REGISTER	RENF.	REINFORCEMENT	RECD.	REQUIRED	RET.	RETURN	RET.	RETURN	REV.	REVISION	REV.	REVISION
SAN.	SANITARY	SAN.	SANITARY	SAN.	SANITARY	SAN.	SANITARY	SAN.	SANITARY	SAN.	SANITARY	SAN.	SANITARY
SPEC.	SPECIFICATION(S)	SO.	SQUARE	S.S.	STAINLESS STEEL	STAG.	STAGGERED	STAG.	STAGGERED	STAG.	STAGGERED	STAG.	STAGGERED
STRUC.T.	STRUCTURAL	STY.	STORY	SUP.	SUPPLY	SUSP.	SUSPENDED	SUSP.	SUSPENDED	SUSP.	SUSPENDED	SUSP.	SUSPENDED
T.	THERMOSTAT	T&G	TONGUE AND GROOVE	TAN.	TANGENT	TBD	TO BE DETERMINED	TBD	TO BE DETERMINED	TBD	TO BE DETERMINED	TBD	TO BE DETERMINED
THK	THICKNESS	TOPO.	TOPOGRAPHY	TR.	TREAD	TRANS.	TRANSOM	TR.	TREAD	TRANS.	TRANSOM	TR.	TREAD
UNDR.	UNDER	VAC.	VACUUM	V.C.	VACUUM	VAP.	VAPOR	VAP.	VAPOR	VAP.	VAPOR	VAP.	VAPOR
VENT.	VENTILATION	VERT.	VERTICAL	V.F.	VERIFY IN FIELD	VOL.	VOLUME	V.V.C.	VENT THROUGH ROOF	V.V.C.	VENT THROUGH ROOF	V.V.C.	VENT THROUGH ROOF
W.W.M.	WELDED WIRE MESH	W.W.F.	WELDED WIRE FABRIC	W.Y.	YARD	W.C.	WATER CLOSET	W.Y.	YARD	W.C.	WATER CLOSET	W.Y.	YARD

FOR SUBJECT FACILITIES, CONFORMANCE WITH THE TEXAS ACCESSIBILITY STANDARDS (TAS) IS REQUIRED BY THE TEXAS ARCHITECTURAL BARRIERS ACT (ARTICLE 9102, TEXAS CIVIL STATUTES).

CONTRACTOR SHALL OBTAIN A COPY OF THE PROJECT TEXAS ACCESSIBILITY STANDARDS (TAS) PLAN REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION OR AS SOON AS POSSIBLE IF PLAN REVIEW IS PREPARED BEFORE OR AFTER COMMENCEMENT OF CONSTRUCTION). TAS PLAN REVIEW MAY BE REQUESTED FROM THE PROJECT DESIGN PROFESSIONAL OR OWNER. CONTRACTOR SHALL REVIEW THE TAS PLAN REVIEW LETTER AND ACCOMPANYING REPORT. IF NON-CONFORMING ELEMENTS PROPOSED ON PLANS ARE CITED, CONTRACTOR SHALL COORDINATE CORRECTIVE ACTION WITH THE APPLICABLE PROJECT DESIGN PROFESSIONAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AFTER FINAL TAS INSPECTION AT THE COMPLETION OF THE PROJECT TO PROVIDE FOR ANY CORRECTIVE ACTIONS FOR ANY CITED ITEMS.

CONTRACTOR SHALL KEEP A COPY OF THE CURRENT TEXAS ACCESSIBILITY STANDARDS AND ALL TECHNICAL MEMORANDUMS ON SITE FOR REFERENCE PURPOSES THROUGHOUT CONSTRUCTION.

COPIES OF THE TEXAS ACCESSIBILITY STANDARDS AND TECHNICAL MEMORANDUMS MAY BE DOWNLOADED/ORDERED FROM THE TEXAS DEPARTMENT OF LICENSING AND REGULATION VIA THE FOLLOWING METHODS:

(A) TELEPHONE ORDER (777) 278-9099
 (B) INTERNET ORDER: <http://www.license.state.tx.us/ab/forms/AB040.pdf>
 (C) PDF DOWNLOAD: <http://www.license.state.tx.us/ab/tabs.htm>

DRAWN: Author	PROJECT NO.: Project Number
CHECKED: Checker	DATE: 11/25/19
SCALE: As indicated	
DRAWING TITLE: COVER SHEET	
SHEET NO.: A0.0	



ACCESSIBLE TOILET SIGNAGE

PHOTOGRAPHS SHALL HAVE A FIELD HEIGHT OF 6 INCHES MINIMUM CHARACTER AND BRILLE SHALL NOT BE LOCATED IN THE PHOTOGRAPH FIELD. BOTH VISUAL AND TACTILE CHARACTERS ARE REQUIRED. RAISED CHARACTERS SHALL BE DUPLICATED IN BRILLE. RAISED CHARACTERS SHALL BE 1/32 IN MIN. ABOVE BACKGROUND. CHARACTERS SHALL BE 3/16 IN MIN. TACTILE CHARACTER ON SIGNS SHALL BE LOCATED 48" MIN. AFF. MEASURED FROM THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 80" MAX AFF. OR GROUND SURFACE MEASURED FROM THE BASELINE OF THE HIGHEST TACTILE CHARACTER. CHARACTERS AND BRILLE SHALL NOT BE LOCATED IN THE PHOTOGRAPH FIELD.

SIGNS SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE.

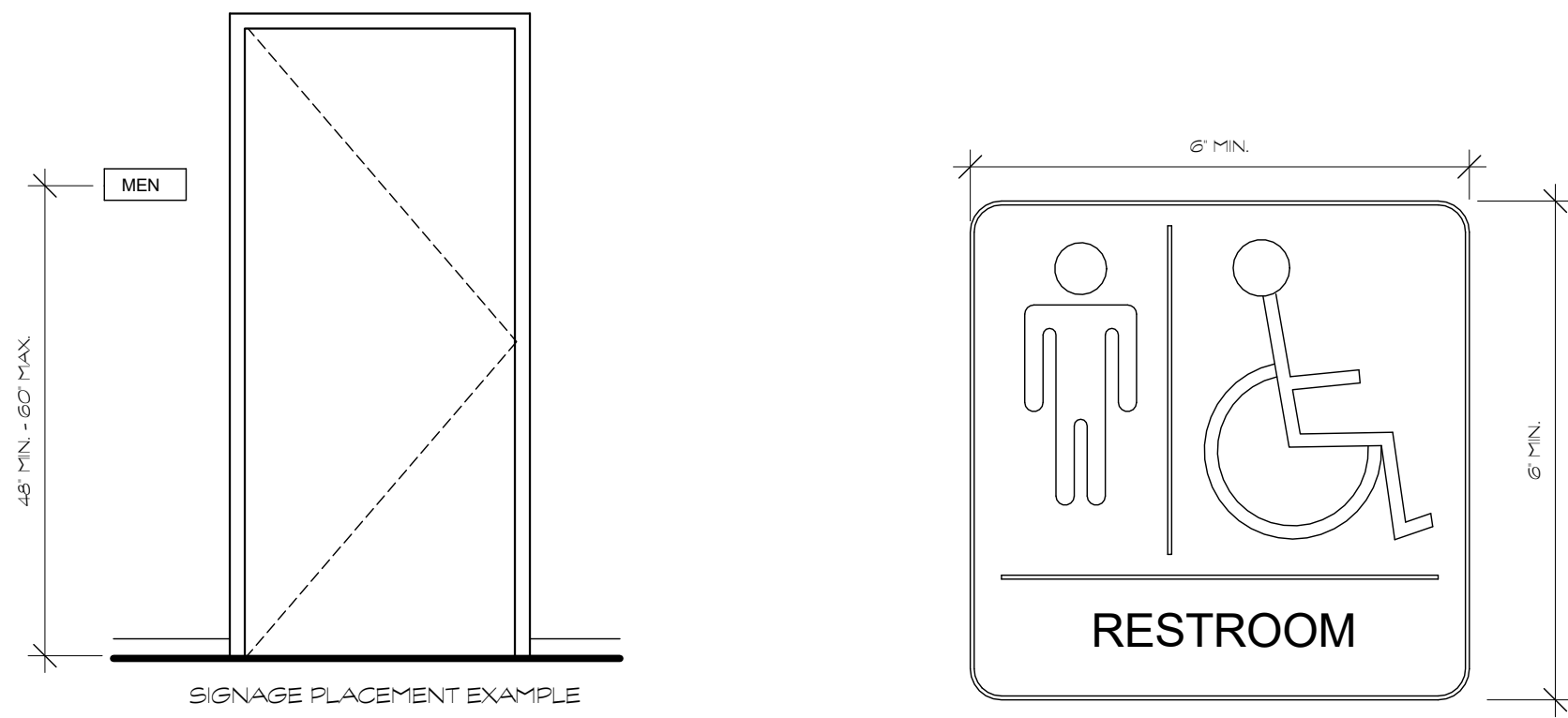
CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NONGLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT OR DARK ON LIGHT. CHARACTERS MAY BE ANY COLOR. CHARACTERS SHALL BE CONVENTIONAL IN FORM. CHARACTERS SHALL NOT BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE OR OF UNUSUAL FORMS. REFER TO 2010 TEXAS ACCESSIBILITY STANDARDS, CHAPTER 7, SUBCHAPTER 703 SIGNS FOR ADDITIONAL SPECIFIC INFORMATION AND COMPLIANCE.

NOTE:
RESTROOMS MUST BE IDENTIFIED ACCORDING TO SIGNS WITH 8" SYMBOLS CENTERED 80" AFF. SYMBOLS MUST BE RAISED AT LEAST 1/4" FROM WALL SURFACE FOR PURPOSE OF CLARITY.
IT IS RECOMMENDED THAT WORD SIGNS ALSO BE PROVIDED.

CHARACTER HEIGHT: 5'-8"
CHARACTER WIDTH: 3'-8" - 5'-8"
STRIPES WIDTH: 1" - 1 1/2"
PHOTOGRAPH HEIGHT: 6" MIN.
CHARACTERS RAISED: 1/32"

GRADE 2 BRILLE POSITIONED BELOW TEXT LOCATION ON WALL ADJACENT TO LATCH SIDE OF DOOR CENTERED 80" AFF.

ACCESSIBILITY SYMBOL SIGNAGE TO BE PLACED PER TAB FOR ALL RESTROOMS IDENTIFIED AS ACCESSIBLE.



TOILET ACCESSORIES SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	COMMENTS	MOUNTING HT.
TA-1	GRAB BARS - (1) 42" AND (1) 36" S.S.	BOBORCK	36" AFF TO CENTERLINE	36" AFF TO CENTERLINE
TA-2	HAND SOAP DISPENSER	BOBORCK	48" MAX AFF TO CENTER OF DISPENSER	48" MAX AFF TO CENTER OF DISPENSER
TA-3	TOILET PAPER DISPENSER - SINGLE	BOBORCK	11" TO 18" FROM AFF TO BOTTOM OF DISPENSER	11" TO 18" FROM AFF TO BOTTOM OF DISPENSER
TA-4	PAPER TOWEL DISPENSER	BOBORCK	4 1/4" S/W FROM AFF TO TOP OF PAPER TOWEL DISPENSER	4 1/4" S/W FROM AFF TO TOP OF PAPER TOWEL DISPENSER
TA-5	MIRROR WITH S.S. FRAME	BOBORCK	42" AFF TO BOTTOM OF REFLECT. SURFACE	42" AFF TO BOTTOM OF REFLECT. SURFACE

MOUNTING HEIGHT SCHEDULE

DESCRIPTION	MOUNTING HEIGHT	REMARK
WATER CLOSET HC ADULT	1'-8" TO TOP OF SEAT	FLOOR OR WALL
WALL HUNG LAVATORY HC	2'-10" TO R/F	2'-8" MIN. CLEAR UNDER APRON
LAVATORY COUNTERS	2'-10" TO TOP	2'-8" MIN. CLEAR UNDER APRON
EXTINGUISHER CABINETS	4'-8" TO TOP OF EXT. CAB.	
STAR HANDRAILS	3'-0" ABOVE NOSING	ABOVE NOSING AT STAIRS
GUARDRAILS	3'-8" TO TOP	2'-8" MIN. CLEAR UNDER APRON
SWITCHES	4'-0" TO CENTER	
WALL TELEPHONE OUTLETS	4'-0" TO CENTER	
RECEPTACLES-PHONE OUTLETS	NO LESS THAN 1'-0" AFF.	
ABOVE COUNTER OUTLETS	6" ABOVE COUNTER	OUTLETS MOUNTED HORIZ.
THERMOSTATS	4'-0" TO CENTER	AT OPERABLE TYPE
ALARM PULL STATIONS	4'-0" TO CENTER	

SPECIALTIES NOTES:

1. ALL HARDWARE, PLASTERS, SHOES, SLEEVES, DOOR PULLS, COAT HOOK, HINGES, AS PER PLASTIC PART, MANUFACTURER STANDARDS, AND TO COMPLY WITH ADA REQUIREMENTS.

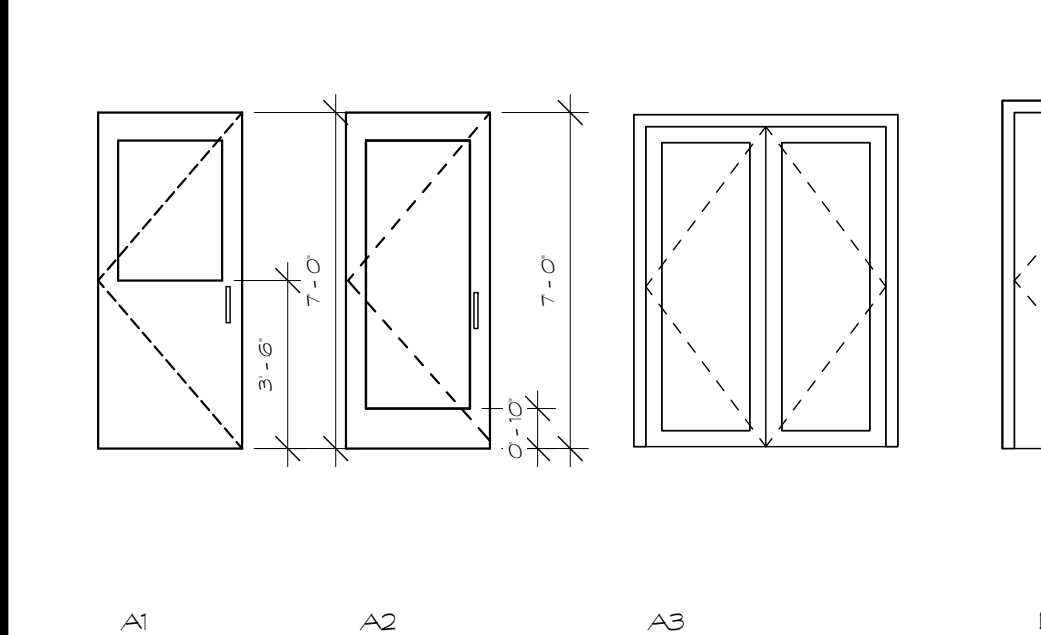
DOOR GENERAL NOTES

- ALL HARDWARE SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL HARDWARE FINISHES SHALL BE UNLESS NOTED OTHERWISE.
- DOORS TO BE KEVED AS DIRECTED BY TENANT.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND OPERATION OF SCHEDULED DOORS AND HARDWARE.
- ALL DOORS SHALL HAVE ADA APPROVED TYPE HARDWARE (VERIFY IN FIELD).
- ENT HARDWARE SHALL COMPLY WITH ALL APPLICABLE CODES.
- ALL GLAZING IN DOORS, AND WITHIN A 24" ARC OF THE SIDES OF EGRESS DOORS SHALL BE OF AN APPROVED TYPE (VERIFY IN FIELD).
- PAINT HOLLOW METAL FRAMES & DOORS WHERE SCHEDULED W/ 2 FINISH COATS OF HIGH-GLOSS ACRYLIC ENAMEL. SEE SCHEDULES & FINISH SCHEDULE.
- ADJUST CLOSERS SUCH THAT SWEEP PERIOD FROM AN OPEN POSITION OF 90 DEGREES TO THE DOOR SHALL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH MEASURED TO THE LEADING EDGE OF THE DOOR. MAXIMUM OPENING FORCE OF DOORS SHALL BE 5 LB.
- THE BOTTOM OF ALL DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED TO A WHEELCHAIR WITHOUT OPERATING A TRAP OR HAZARD CONDITION WHERE NARROW FRAMES ARE USED. A 1/4" SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR WITHOUT OPERATING A TRAP OR HAZARD CONDITION. MAXIMUM EFFORT TO OPERATE EXTERIOR OR INTERIOR DOORS WITH CLOSERS SHALL NOT EXCEED 15 LB. FORCE.
- DOORWAYS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 32" WHEN THE DOOR IS OPEN TO 90 DEGREES MEASURED FROM THE FACE OF THE DOOR AND THE OPPOSITE STOP 1/2" MAX. THRESHOLD HEIGHT AT ALL DOORS.
- ALL DOORS TO BE EQUIPPED WITH SINGLE EFFORT, NONGRASP HARDWARE CENTERED BETWEEN 30" AND 48" AFF.
- ALL STOREFRONT DOOR GLAZING TO MATCH ADJACENT STOREFRONT SYSTEM GLAZING. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND OPERATION OF SCHEDULED DOORS AND HARDWARE.
- REFER TO PLANS FOR DOOR SWING DIRECTION AND REGULATION OF DOOR TO JAMB (SIDE OF JAMB DOOR IS MOUNTED). DIMENSIONS SHOWN ON DETAILS APPLY UNLESS SHOWN OTHERWISE ON PLANS. GENERAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF HARDWARE WITH THE PROPER SIDE OF DOOR. I.E. SURFACE MOUNTED DOOR BOTTOMS, PROVIDE RUBBER DOOR SLUNGERS (3 PER JAMB) WHERE LIGHT SOUND, OR WEATHERSTRIPPING IS NOT OTHERWISE REQUIRED.
- PROVIDE A MINIMUM OF THREE ANCHORS PER JAMB OR BRACE AT 2'-0" MAX. O.C. WHICHEVER IS GREATER QUANTITY.
- PROVIDE 2 METAL STUDS AT EACH JAMB AT 18" O.C. METAL STUDS TO SECURE THE TOP TO AN 18 GA. METAL RUNNER SECURED TO STRUCTURE (MINIMUM OF TWO STRUCTURAL JOISTS).
- SECURITY SYSTEM VENDORS TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS FOR SECURED DOORS, CARD READERS, CONTROLS, CAMERAS, ETC.
- HARDWARE PROVIDER TO VERIFY ALL SETS, LOCATIONS AND FUNCTION. IF LISTED HARDWARE SET IS NOT THE PROPER SET FOR THE INTENDED FUNCTION, HARDWARE PROVIDER SHALL PROVIDE FOR THE PROPER SET AND INSTALLATION.

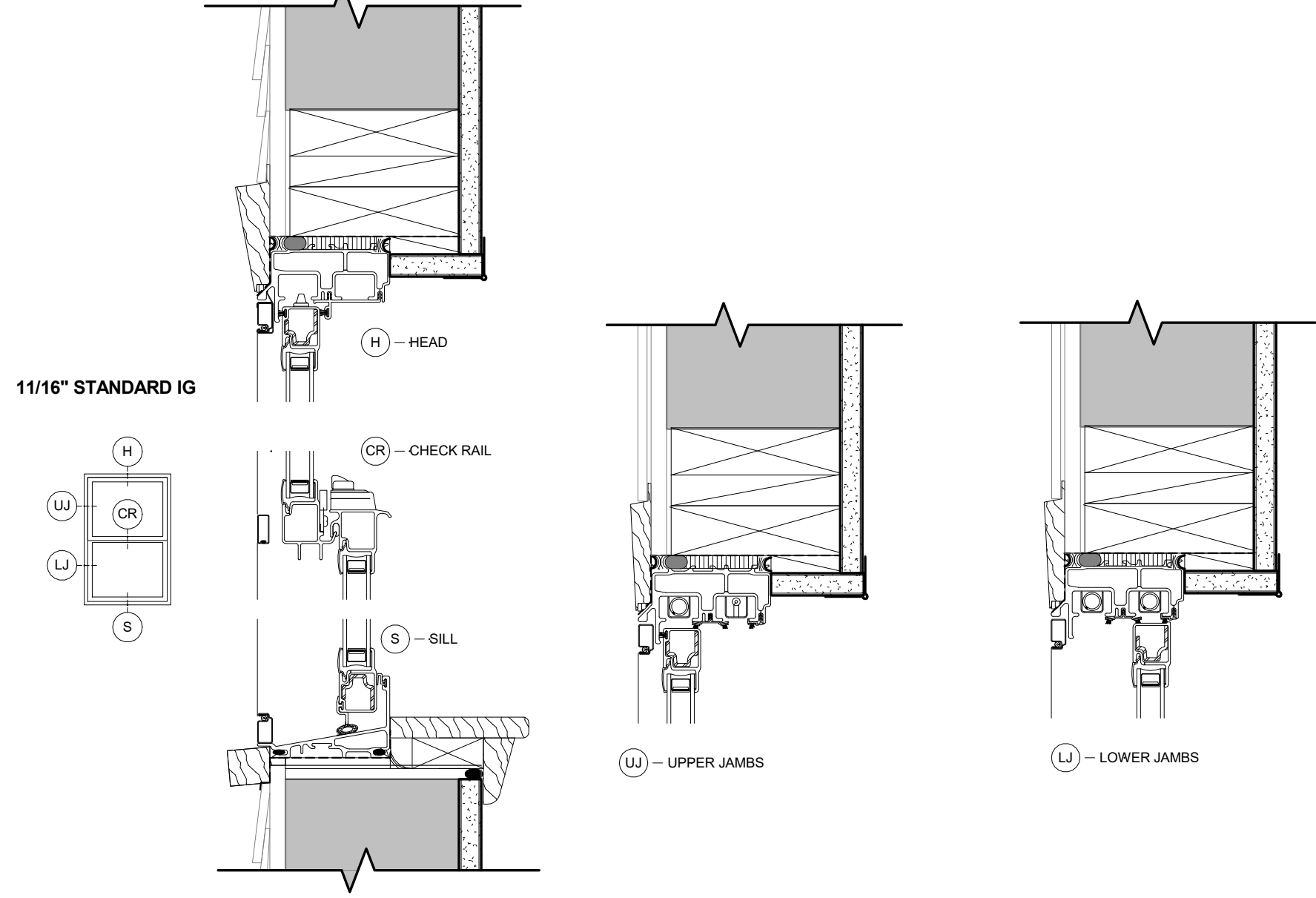
DOOR HARDWARE NOTES & SCHEDULE

- ALL HARDWARE TO COMPLY WITH ADA REQUIREMENTS. HARDWARE PROVIDER TO VERIFY ALL SETS, LOCATIONS AND FUNCTION. IF LISTED HARDWARE SET IS NOT THE PROPER SET FOR THE INTENDED FUNCTION, HARDWARE PROVIDER SHALL PROVIDE FOR THE PROPER SET AND INSTALLATION. NAME OF MANUFACTURER AND MODEL NUMBER IS LISTED FOR EACH HARDWARE TYPE REQUIRED WITH THE PURPOSE OF ESTABLISHING MINIMUM REQUIREMENTS. HARDWARE VENDOR TO VERIFY ALL SETS AND REQUIREMENTS AND SUBMIT TO SETS ACCORDINGLY. SUBMITTAL REQUIRED FOR ALL HARDWARE TO ARCHITECT FOR APPROVAL.
- SET NO. 1
3 BA HINGES BY DOOR MANUFACTURER
1EA ENT DEVICE BY DOOR MANUFACTURER
1EA CYLINDER BY DOOR MANUFACTURER
2EA CLOSER CLASS 207P 689 X 5N9
1EA DOOR STOP
- SET NO. 2
3 BA HINGES BY DOOR MANUFACTURER
1EA ENT DEVICE BY DOOR MANUFACTURER
1EA CYLINDER BY DOOR MANUFACTURER
1EA CLOSER CLASS 207P 689 X 5N9
1EA DOOR STOP
- SET NO. 3
3 BA HINGES BY DOOR MANUFACTURER
1EA ENT DEVICE BY DOOR MANUFACTURER
1EA CYLINDER BY DOOR MANUFACTURER
1EA CLOSER CLASS 207P 689 X 5N9
1EA DOOR STOP
- SET NO. 4
3 BA HINGES BY DOOR MANUFACTURER
1EA ENT DEVICE BY DOOR MANUFACTURER
1EA CYLINDER BY DOOR MANUFACTURER
1EA CLOSER CLASS 207P 689 X 5N9
1EA DOOR STOP
- ACCEPTED MANUFACTURERS SUBJECT TO COMPLIANCE WITH REQUIREMENTS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE BUT NOT LIMITED TO THE FOLLOWING: ARROW, BEST LOCK CORPORATION, FALCON, SARGENT-SCHLAGE, STANLEY TIGRO, HABER, NATIONAL GUARD PRODUCTS INC. COORDINATE ALL LOCAL AND LEVING REQUIREMENTS WITH THE OWNER.
NOTE: ALL RESTROOMS TO BE PROVIDED WITH PRIVACY HARDWARE.

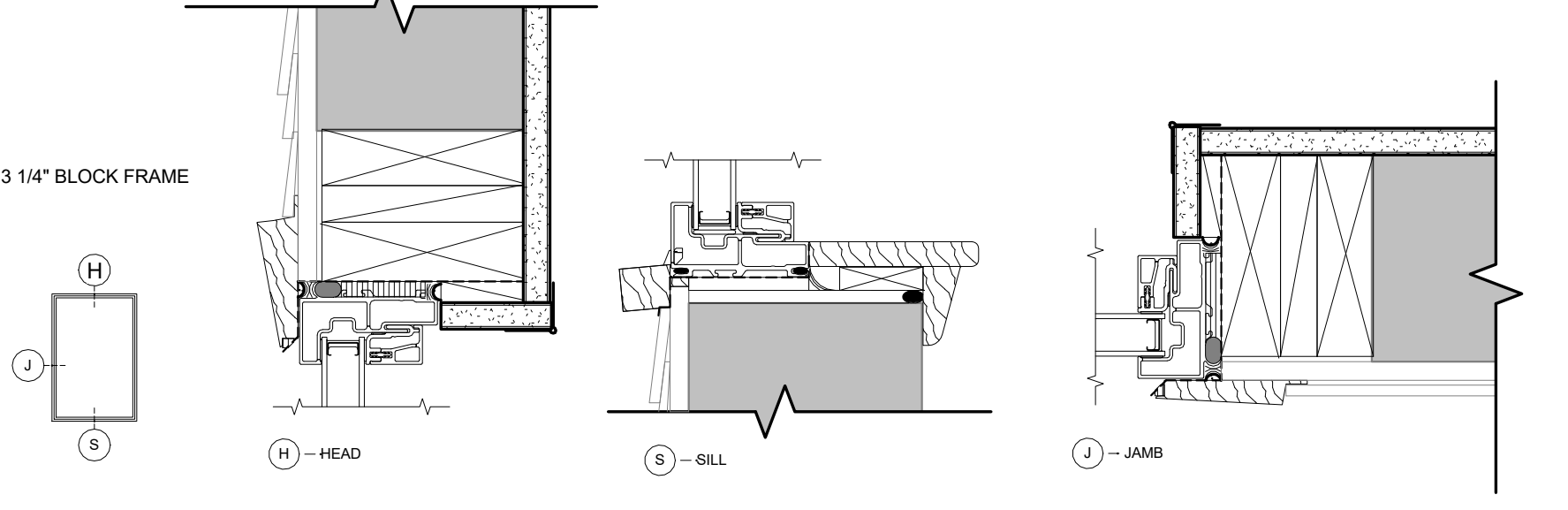
Mark	Level	Door Type	Type	Finish	Frame Type	Door Schedule		Window Schedule			
						HARDWARE- REF. CONSTRUCTION MANUAL FOR APPLICABLE HW SETS	Comments	Count	Width	Height	Comments
12	Level 1	BE	36" x 80"	WHITE	EXISTING			2	1' - 7"	6' - 3"	FIXED - SIDELITE. TEMPERED
16	Level 1	A3	60" x 80"	RED	MATCH EXISTING	SET 3		1	2' - 0"	1' - 4"	FIXED
19	Level 1	B1	32" x 84"	WHITE	MATCH EXISTING	SET 4		2	2' - 0"	2' - 0"	FIXED
22	Level 1	BE	24" x 30"	PAINT TO MATCH ADJACENT SURFACES	EXISTING	-		1	2' - 0"	3' - 8"	DH
23	Level 1	BE	36" x 80"	WHITE	EXISTING	-		3	2' - 0"	5' - 0"	DH
24	Level 1	BE	24" x 80"	WHITE	EXISTING	-		1	2' - 8"	5' - 6"	DH
25	Level 1	A2	36" x 80"	RED		SET 1		14	3' - 0"	5' - 6"	DH
26	Level 1	BE	30" x 80"	WHITE		SET 4		1	8' - 0"	6' - 0"	
31	Level 1	BE	30" x 80"	WHITE		SET 2					
32	Level 1	BE	24" x 80"	WHITE	EXISTING	-					
33	Level 1	A2	36" x 80"	WHITE	EXISTING	SET 1					
20	Level 2	BE	32" x 84"	RED	MATCH EXISTING	SET 1					



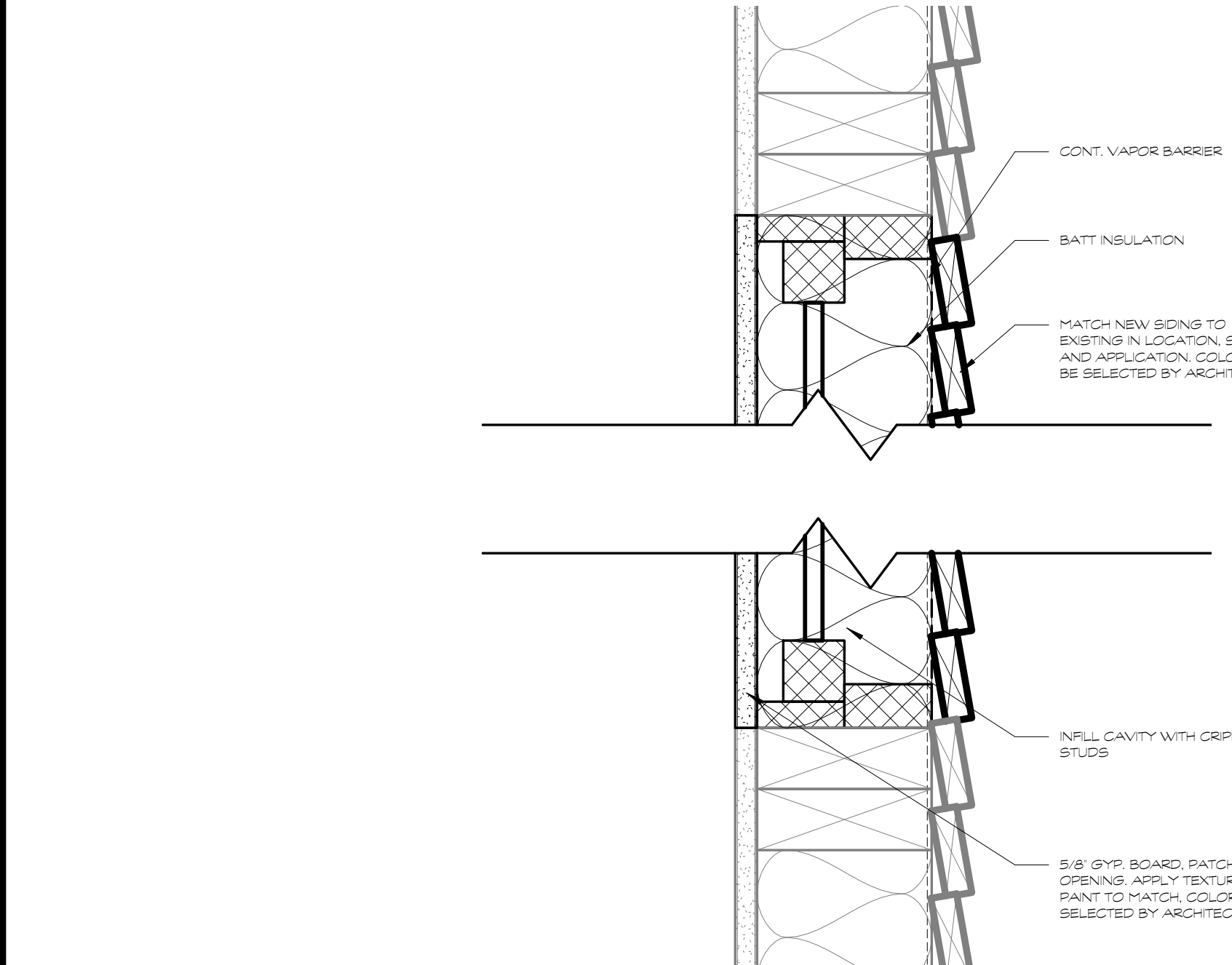
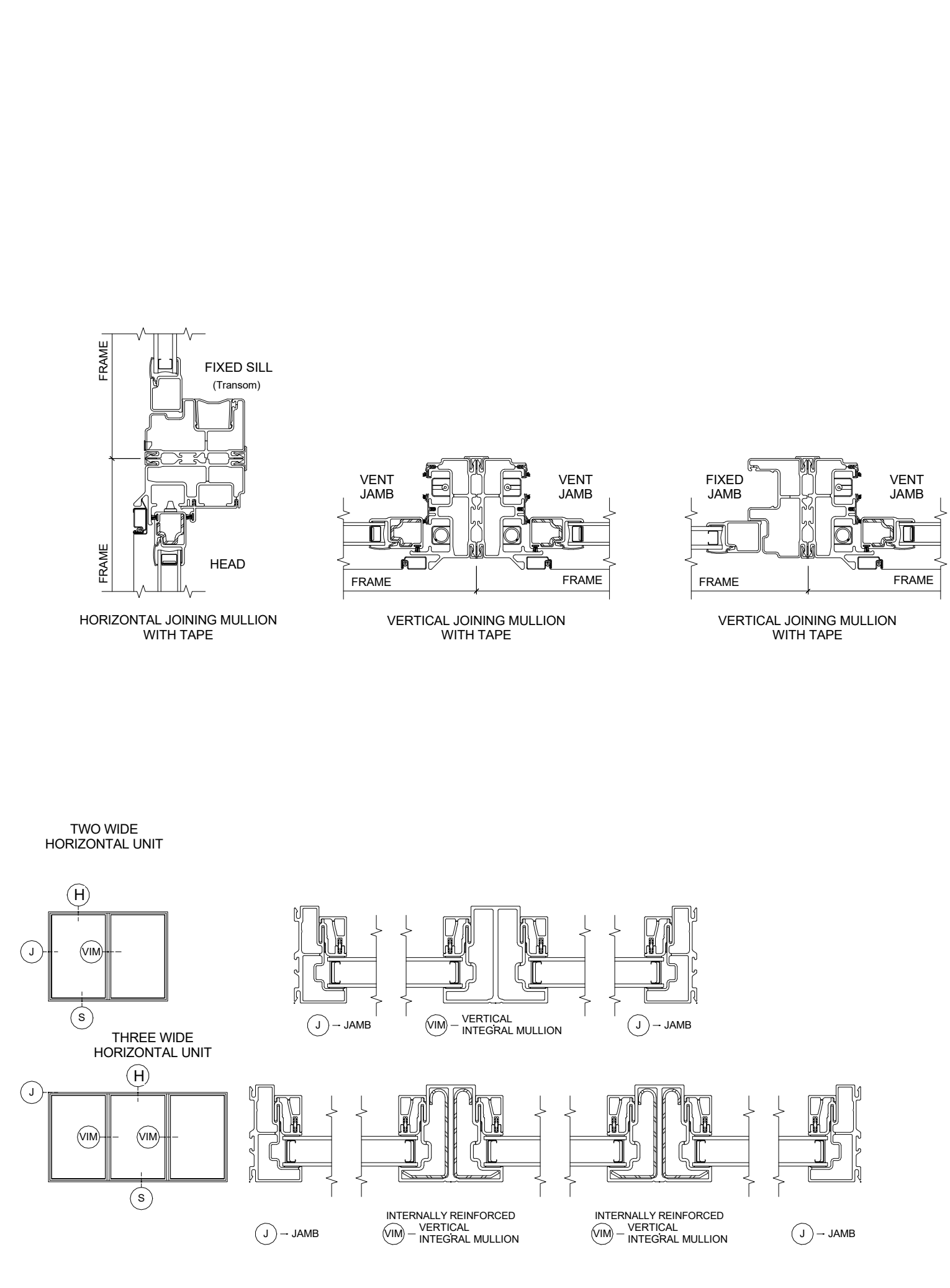
5 DOOR TYPES
1/4" = 1'-0"



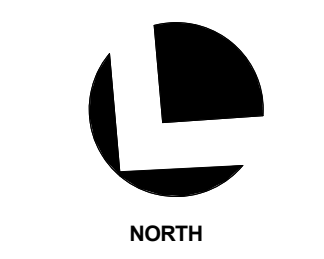
3 DOUBLE HUNG WINDOW DETAILS
3/8" = 1'-0"



2 FIXED WINDOW DETAILS
3/8" = 1'-0"



4 TYP. SECTION @ OPENING INFILL
3/8" = 1'-0"



BARREN ROCK
5945 BROADWAY, SAN ANTONIO, TX 78209

THORNGRAVES
ARCHITECTS PLANNERS INTERIORS

NO.	REVISIONS / DATE

DRAWN: Author	PROJECT NO.: Project Number
CHECKED: 11/25/19	DATE: 11/25/19
SCALE: As indicated	
DRAWING TITLE: DOOR & WINDOW SCHEDULE	

SHEET NO.: **A6.1**