



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
Tuesday, December 18, 2018 – 5:30 P.M.
6116 Broadway St – City Council Chambers

Case No. 732 F – 5410 Broadway St.

Request of Alonzo Alston, RA, NCARB, applicant, representing Prize Permanent Holdings, LLC, owner, for the final design review of the proposed new commercial building to be located at 5410 Broadway, under Chapter 2 Administration for Architectural Review.

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB's recommendation for all demolition/final design review applications. Any recommendation will be forwarded to the City Council for final review. Please check the ARB posted results on the City's website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online* (<http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/>), at the Community Development Services Department (6116 Broadway St, 78209), or you may contact George Martinez (gmartinez@alamoheightstx.gov) or Lety Hernandez (lhernandez@alamoheightstx.gov), or our office at (210) 826-0516 for additional information.

***Plans will not be available online for all case types and floor plans will not be available online.**

6 December 2018



Alamo Heights Architectural Review Board (ARB) – Final Review

**c/o Development Services Staff
Community Development Services
6116 Broadway St.
San Antonio, TX 78209**

Re: LOK Properties – 5410 Broadway St., San Antonio, TX 78209 - Response to Preliminary ARB Comments

Dear Alamo Heights ARB,

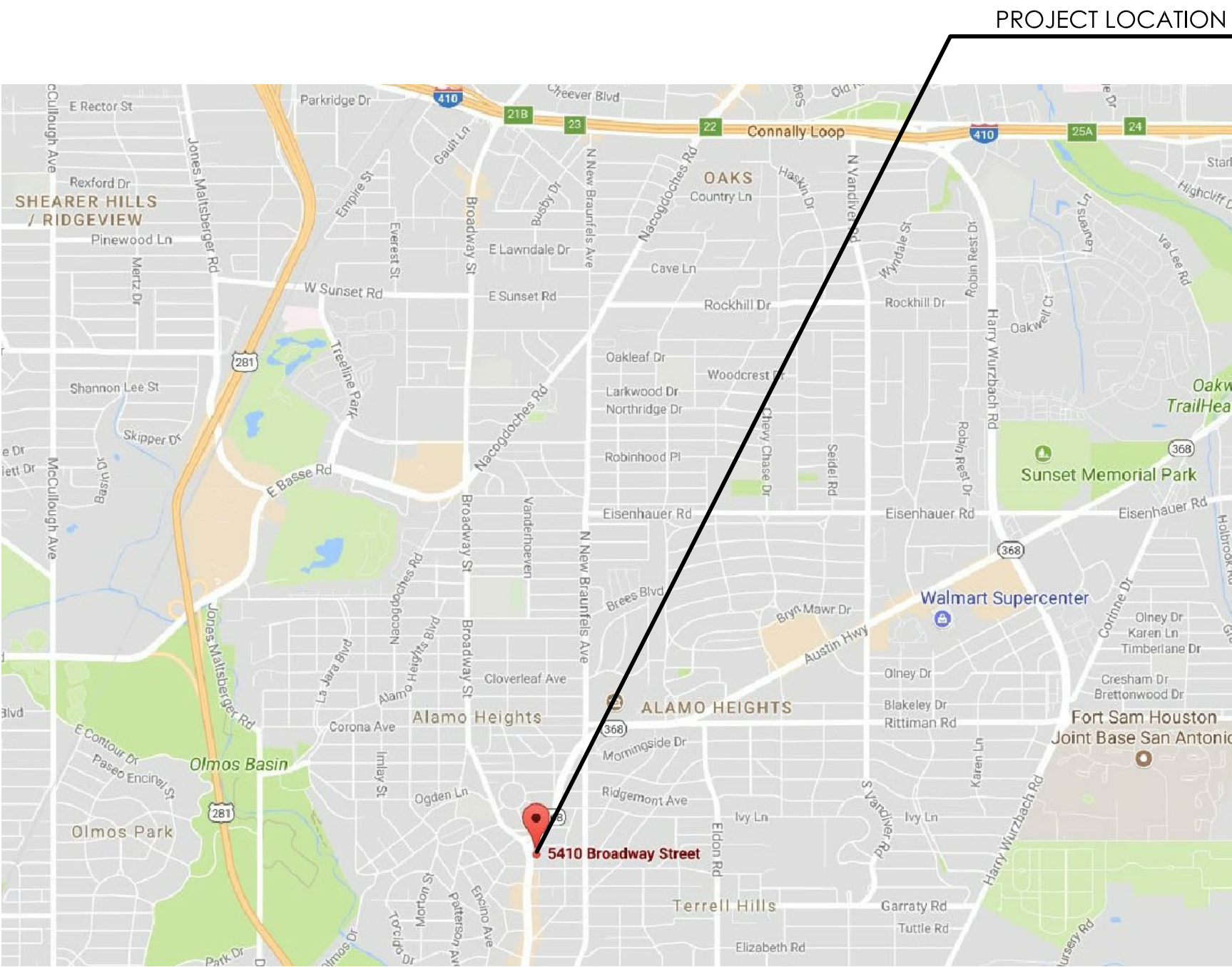
*Introduction: Response to Preliminary ARB Comments - LOK Properties
Broadway Project listed above.*

- *Comment#1: Ensure there is a designated location for future Rooftop Package Units.*
 - *Response: The design team has established a designated location for the Rooftop Package Units and Screening. The locations are indicated on the drawings provided to the Plan Review Office and included in this presentation to the ARB.*
- *Comment#2: Ensure there is a drainage study on the property.*
 - *Response: The design team has provided the City of Alamo Heights the Floodplain Development Permit Application. The study concludes there is no impact to the flood plain the site.*
- *Comment#3: Create a standard for Tenant Signage.*
 - *Response: The design team has created a Signage Standard for the Property and has submitted it to the Property Owner. This signage standard is included in this presentation to the ARB.*

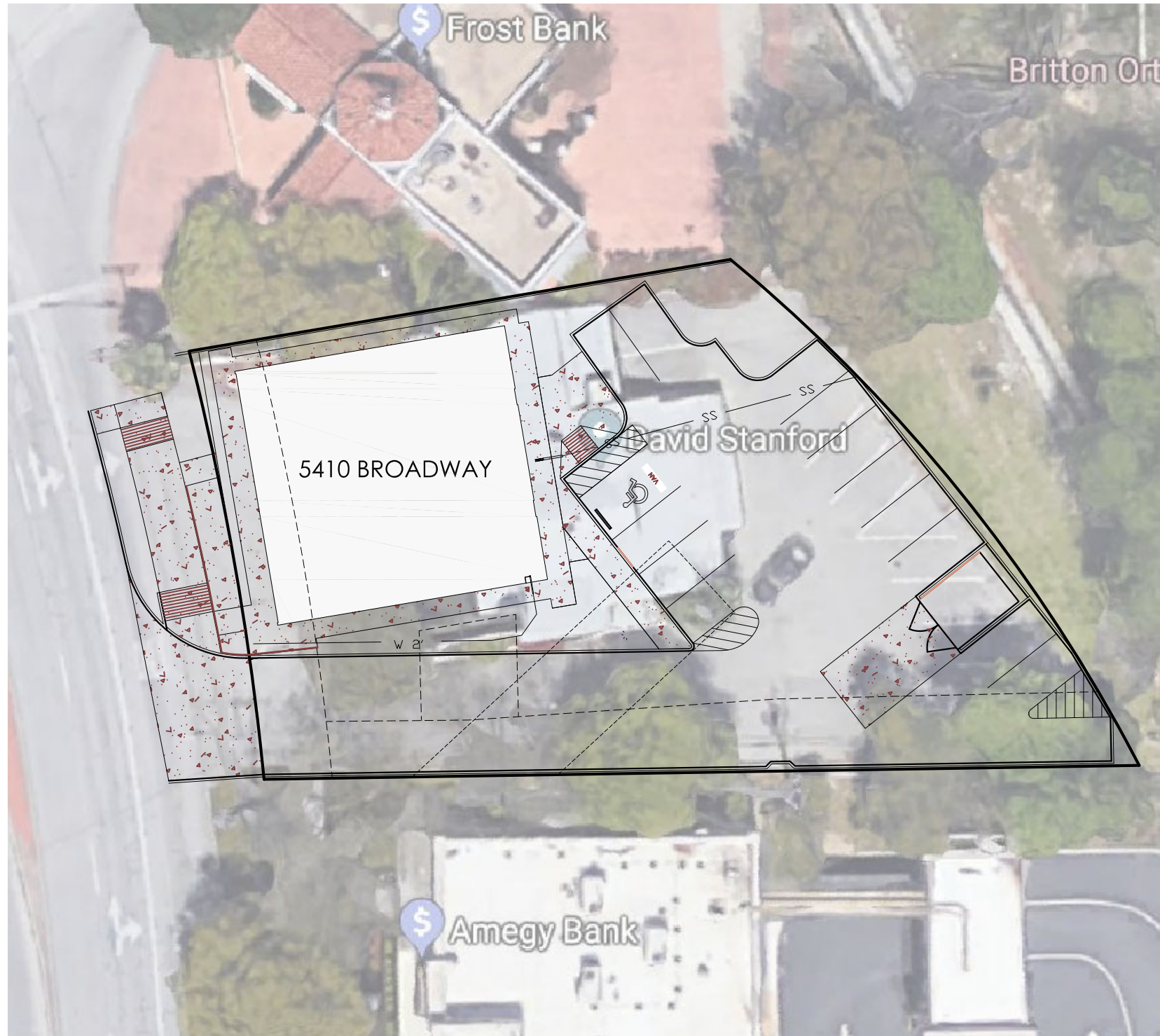
Sincerely,

**Alonzo C. Alston, RA, NCARB
Principal**

1438 South Presa
San Antonio, Texas 78210
210-320-2182 (O)
alston@solstudioarchitects.us



1 VICINITY MAP
SCALE: N.T.S.



2 SITE MAP
SCALE: N.T.S.

GENERAL NOTES

- G.C. TO STORE AND PROTECT REMOVED ITEMS THAT WILL BE REINSTALLED OR REUSED. G.C. SHALL BE RESPONSIBLE FOR REPLACING DAMAGED OR STOLEN ITEMS AS A RESULT OF MISHANDLING OR IMPROPER STORAGE OR SECURITY.
- G.C. SHALL EXERCISE PROPER PRECAUTION TO INSPECT THE CONSTRUCTION SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING A BID FOR THE CONSTRUCTION CONTRACT. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS OR CONDITIONS OF THE SITE IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR ANY ERRORS RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTION. SUCH ERRORS WILL NOT BE CONSIDERED SUBSEQUENTLY AS A BASIS FOR EXTRA MONETARY CONSIDERATION.
- G.C. SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS. ANY ERROR OR INCONSISTENCY SHALL BE REPORTED TO ARCHITECT AND HIS DISPOSITION OBTAINED BEFORE ANY WORK IS BEGUN. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS OF WORK AND THE MEASUREMENTS INDICATED ON THE CONSTRUCTION DOCUMENTS.
- G.C. TO COORDINATE DEMOLITION WITH NEW CONSTRUCTION TO SALVAGE AND REUSE EXISTING MATERIALS AS NOTED IN THE DRAWINGS.
- IF THERE ARE ANY DISCREPANCIES IN DRAWINGS AND SPECIFICATIONS, CONTACT THE ARCHITECT FOR CLARIFICATION IF NO COMMUNICATION IS MADE THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL.
- WHEN THE DRAWING INDICATES A PRODUCT OR A MATERIAL, BUT THE SPECIFICATION DOES NOT, G.C. SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING WORK, AND PROVIDE THE ITEM AS INDICATED AND INSTALL PER THE MANUFACTURER'S DIRECTION.
- ANY DAMAGE TO THE EXISTING FACILITY DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BACK TO ORIGINAL CONDITION AT THE G.C.'S EXPENSE.
- G.C. SHALL COORDINATE WORK DESCRIBED IN CONSTRUCTION DOCUMENTS SUCH THAT ALL WORK IS COMPLETED AS INDICATED IN THE DOCUMENTS. ANY ERRORS RESULTING FROM G.C.'S LACK OF COORDINATION AND DIRECTION SHALL BE CORRECTED AT G.C.'S EXPENSE, AND WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA MONETARY CONSIDERATION.

GENERAL CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS FOR THE FOLLOWING SCOPE OF WORK :

- DEMOLITION:
- PREPARE SITE FOR NEW CONSTRUCTION / REMOVE EXISTING BUILDING
 - REMOVE EXISTING DEBRIS FROM SITE

- SITE WORK:
- INSTALL NEW LANDSCAPE AND IRRIGATION

- BUILDING CONSTRUCTION:
- CONSTRUCT NEW SHELL BUILDING

DESIGN TEAM

ARCHITECT
SOL STUDIO ARCHITECTS, LLC
824 BROADWAY ST., SUITE 110
SAN ANTONIO, TX 78215
PHONE: 210.240.8864
CONTACT: ALONZO ALSTON, RA
alston@solstudioarchitects.us

CIVIL
M&S ENGINEERING
376 LANDA STREET
NEW BRAUNFELS, TX 78130
PHONE: 830.629.2988
CONTACT: JOSE SOSA, PE
jososa@msengr.com

STRUCTURAL ENGINEER
M&S ENGINEERING
376 LANDA STREET
NEW BRAUNFELS, TX 78130
PHONE: 830.629.2988
CONTACT: AMY STONE, PE
astone@msengr.com

MEP
M&S ENGINEERING
376 LANDA STREET
NEW BRAUNFELS, TX 78130
PHONE: 830.629.2988
CONTACT: JONATHAN HOUSTON, PE
jhouston@msengr.com

CODE REVIEW SUMMARY

ADDRESS: 5410 BROADWAY STREET, ALAMO HEIGHTS, TEXAS 78209
OWNER: LUIS DANGEVILLE OSEGUERA KERNION
LEGAL DESCRIPTION: CB 4050 BLK 1 LOT 4 & SE PT OF 2 & 3

APPLICABLE CODES:

2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL MECHANICAL CODE
2014 NATIONAL ELECTRIC CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2012 TAS (TEXAS ACCESSIBILITY STANDARDS)

OCCUPANCY CLASSIFICATION:

GROUP B

ZONING:

B-1 - BUSINESS DISTRICT

CONSTRUCTION TYPE:

TYPE VB NON-SPRINKLER AT AREAS BEYOND 10' OF BUILDING SEPARATION FROM ADJACENT EXISTING STRUCTURES 1 HOUR FIRE RATED WITHIN 10'-0" RADIUS OF EXISTING BUILDING - SEE DRAWINGS FOR LOCATION

BUILDING OCCUPANT LOAD:

BUILDING IS COMPRISED OF AN ENCLOSED COVERED SPACE TOTALING 2,968 SQ. FT.
BUSINESS = 100 SQ. FT. PER OCCUPANT
2,968 SQ. FT. = 29 OCCUPANTS

MAX. ALLOWABLE BUILDING AREA AND HEIGHT:

MAX. ALLOWABLE AREA: 9,000 SQ. FT.
MAX. ALLOWABLE HEIGHT: 40'-0" / 2 STORIES

ACTUAL BUILDING AREA AND HEIGHT:

ACTUAL AREA: 2,968 SQ. FT.
ACTUAL HEIGHT: 21'-6" / 1 STORY

PARKING SPACE COUNT:

PARKING SPACE COUNT REQUIREMENTS BASED ON CURRENT ALAMO HEIGHTS DEVELOPMENT STANDARD

1 PARKING SPACE PER 300 SQ. FT. REQUIRED BASED ON POTENTIAL USE
2,968 SQ. FT. + 300 SQ. FT. = 10 REQUIRED PARKING SPACES

ACTUAL AMOUNT OF PARKING SPACES: 15

LOT COVERAGE TABULATION

LOT IMPERVIOUS COVER EXISTING

LOT AREA	14,993 SQ. FT.
BUILDING FOOTPRINT	3,437 SQ. FT.
PARKING FOOTPRINT	9,182 SQ. FT.
FLATWORK FOOTPRINT	419 SQ. FT.
OTHER STRUCTURES	33 SQ. FT.
TOTAL (LOT COVERAGE/LOT AREA)	87%

LOT IMPERVIOUS COVER PROPOSED

LOT AREA	14,993 SQ. FT.
BUILDING FOOTPRINT	2,976 SQ. FT.
PARKING FOOTPRINT	8,728 SQ. FT.
FLATWORK FOOTPRINT	1,891 SQ. FT.
OTHER STRUCTURES	0 SQ. FT.
TOTAL (LOT COVERAGE/LOT AREA)	90%

FLOOR AREA RATIO EXISTING

LOT AREA	14,993 SQ. FT.
BUILDING 1ST FLOOR	3,437 SQ. FT.
OTHER ENCLOSED STRUCTURES	XXX SQ. FT.
TOTAL (LOT COVERAGE/LOT AREA)	22.93%

FLOOR AREA RATIO PROPOSED

LOT AREA	14,993 SQ. FT.
BUILDING 1ST FLOOR	2,976 SQ. FT.
OTHER ENCLOSED STRUCTURES	XXX SQ. FT.
TOTAL (LOT COVERAGE/LOT AREA)	19.85%

INDEX OF DRAWINGS

GENERAL SHEETS

A000 INDEX, VICINITY MAP, GENERAL NOTES, AND CODE REVIEW

CIVIL DRAWINGS

C01.1	DEMOLITION PLAN
C02.1	SITE AND DIMENSIONAL CONTROL PLAN
C03.1	STORMWATER POLLUTION AND PREVENTION PLAN
C03.2	STORMWATER POLLUTION AND PREVENTION PLAN DETAILS
C04.1	GRADING PLAN
C05.1	UTILITY PLAN
C06.1	DETAILS
C06.2	DETAILS
C06.3	DETAILS

ARCHITECTURAL DRAWINGS

A110	FIRE PROTECTION PLAN
A111	ARCHITECTURAL SITE PLAN
A210	NEW CONSTRUCTION FLOOR PLAN
A310	REFLECTED CEILING PLAN
A311	REFLECTED CEILING PLAN
A320	ROOF PLAN
A410	EXTERIOR ELEVATIONS
A411	EXTERIOR ELEVATIONS
A510	BUILDING SECTION
A610	SECTION DETAILS
A810	SCHEDULES

STRUCTURAL DRAWINGS

S100	GENERAL NOTES
S200	FOUNDATION PLAN
S201	FOUNDATION DETAILS
S300	COLUMN LAYOUT
S400	FRAMING PLAN AT AWNING
S500	ROOF PLAN-LOWER FRAMING
S501	ROOF PLAN-UPPER FRAMING
S600	STRUCTURAL ELEVATIONS
S601	STRUCTURAL ELEVATIONS
S602	STRUCTURAL ELEVATIONS
S700	FRAMING DETAILS

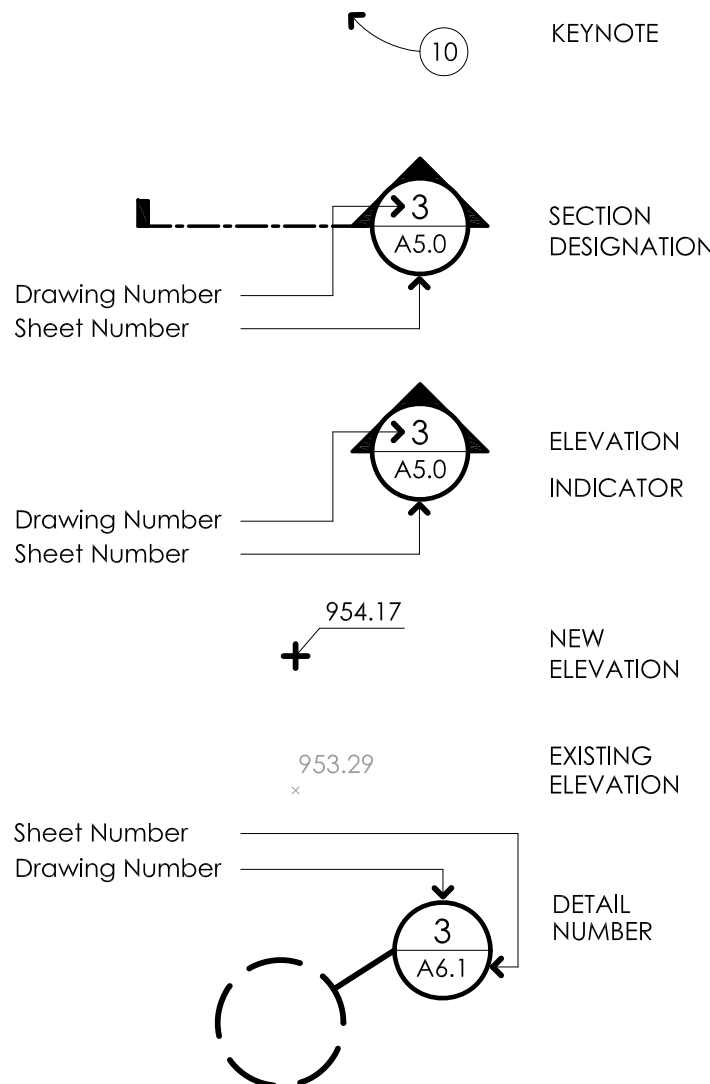
MEP DRAWINGS

E100	SYMBOLS, ABBREV. AND GENERAL NOTES
E201	ELECTRICAL SITE PLAN
E301	ELECTRICAL LIGHTING FLOOR PLAN
E401	ELECTRICAL SCHEDULES
E501	ELECTRICAL DETAILS
E601	ELECTRICAL SPECIFICATIONS
F100	SYMBOLS, ABBREV. AND GENERAL NOTES
P201	PLUMBING FLOOR PLAN
P301	PLUMBING SCHEDULES AND DETAILS
P401	PLUMBING SPECIFICATIONS

ABBREVIATIONS

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
AFF	ABOVE FINISHED FLOOR	HCWD	HOLLOW CORE WOOD DOOR
ALT	ALTERNATE	HVAC	HEATING, VENTILATING AND AIR CONDITIONING
A/C	AIR CONDITIONER	MAT	MATCH
BLDG	BUILDING	MAX	MAXIMUM
CONC	CONCRETE	MEZZ	MEZZANINE
DWGS	DRAWINGS	NEC	NATIONAL ELECTRICAL CODE
EXT	EXTERIOR	N.I.C.	NOT IN CONTRACT
EXST	EXISTING	RE	REFERENCE
FT	FEET	SQ FT	SQUARE FEET
IN	INCHES	SCWD	SOLID CORE WOOD DOOR
GALV	GALVANIZED	TYP	TYPICAL
GYP, BD.	GYP. BOARD	TAS	TEXAS ACCESSIBILITY STANDARDS
HM	HOLLOW METAL	W/	WITH
		WD	WOOD

REFERENCE SYMBOLS



824 BROADWAY ST. #110
SAN ANTONIO, TEXAS 78215
210.240.8864 • 816.614
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LOK Properties - Broadway
5410 Broadway Street
Alamo Heights, Texas 78209

REVISED PERMIT DRAWINGS

REVISIONS

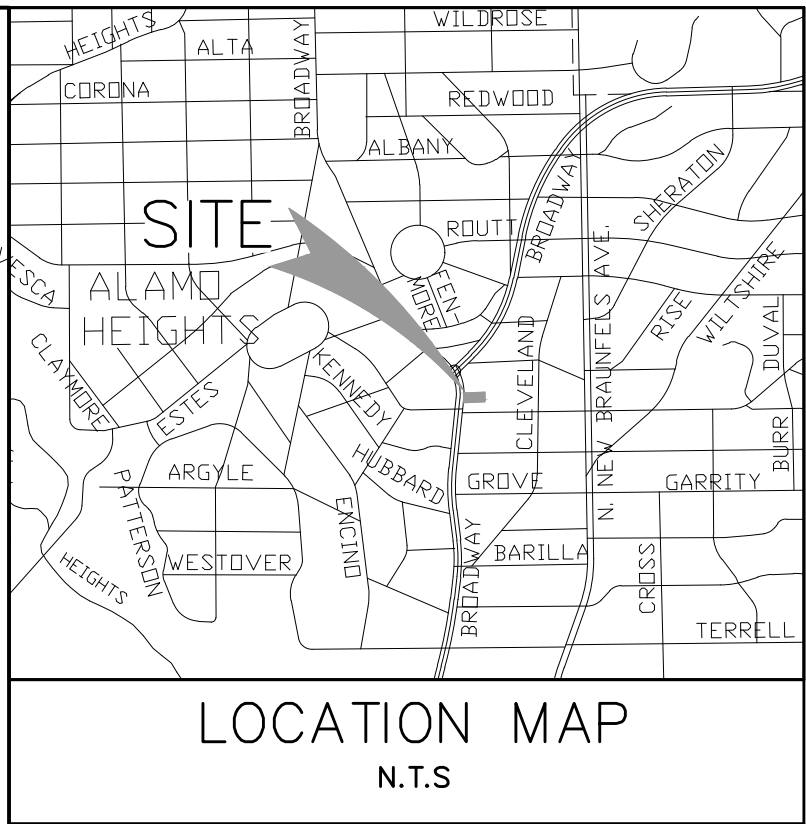
No.	Description	Date
1	PERMIT REVISIONS	10.15.18

PROJECT NO. 2017080
15 OCTOBER 2018

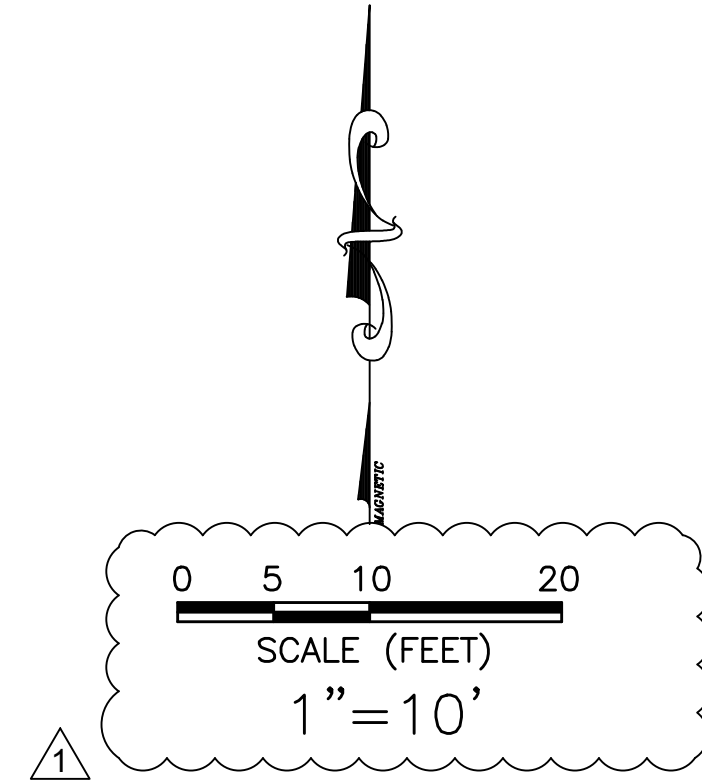
INDEX, VICINITY MAP
GENERAL NOTES, AND
CODE REVIEW

SHEET
A000

1 OF 12 SHEETS



THE REVISIONS TO THIS PLAN SHEET UNDER THE SEAL OF LANCE KLEIN, P.E. PERTAINS TO CHANGES SHOWN WITHIN THE CLOUDED AREAS. REVISIONS WERE MADE BASED ON CITY REVIEW COMMENTS. THE UNMODIFIED PORTIONS OF THIS SHEET REMAIN UNDER THE PERVIEW OF THE ENGINEER OF RECORD.



LEGEND:

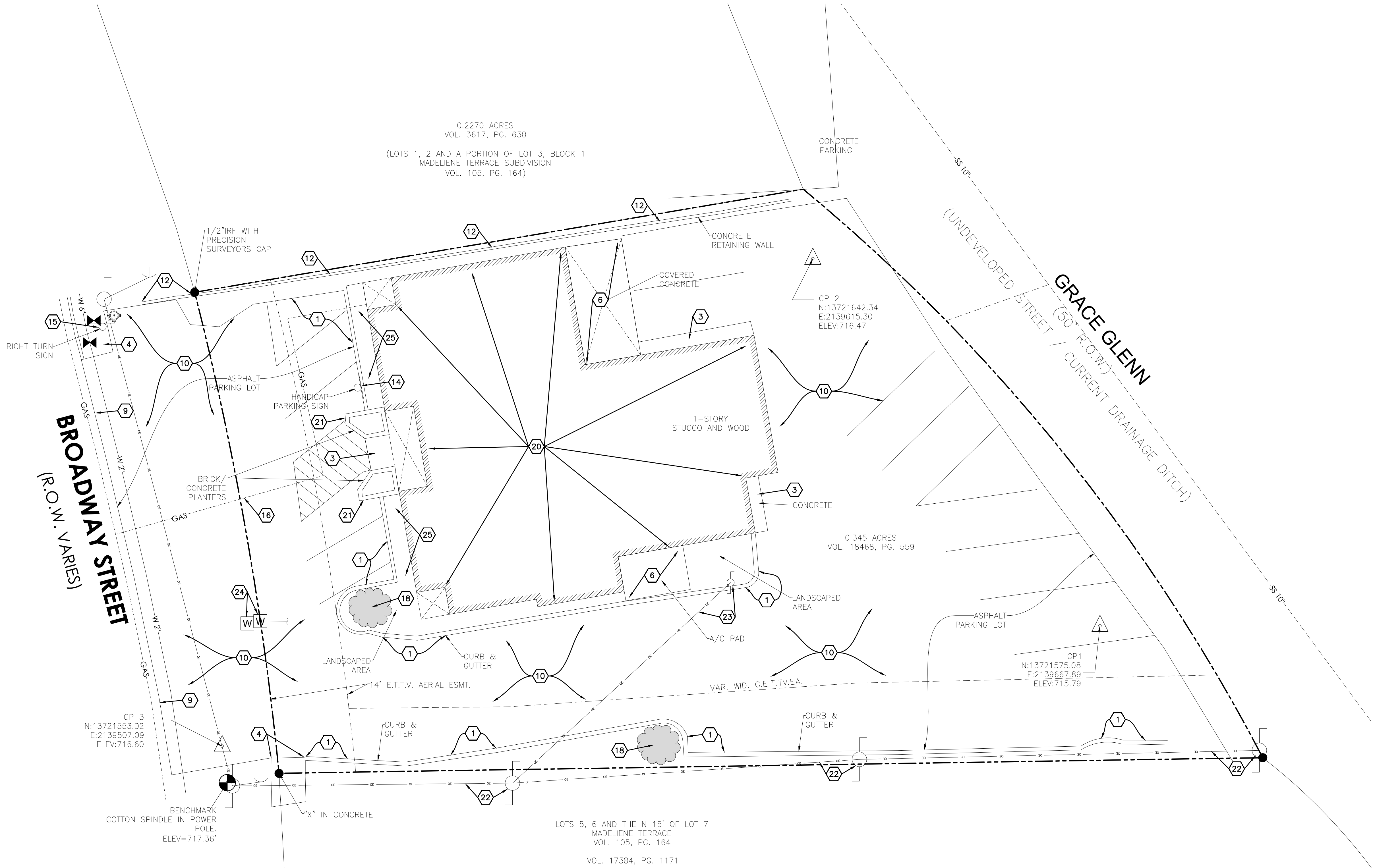
- PROPERTY LINE
- EXISTING CURB
- EXISTING RETAINING WALL
- EXISTING OVERHEAD ELEC. LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING IRON PIN FOUND (IPF)
- BENCHMARK

GENERAL NOTES:

- IMPROVEMENTS AND ELEVATIONS SHOWN ARE EXISTING ON THE DATE OF THIS SURVEY AND MAY BE SUBJECT TO SUBSEQUENT CHANGES.
- TREES SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE ARCHITECT PLANS FOR VERIFICATION OF ALL TREE REMOVAL / PROTECTION ITEMS.
- ALL STORMWATER POLLUTION PREVENTION PERMITS, PERMANENT CONTROLS TO BE IN PLACE PRIOR TO COMMENCEMENT OF ANY WORK.
- NO EDWARDS AQUIFER RECHARGE / CONTRIBUTING ZONE REQUIREMENTS FOR THIS SITE.
- CONTRACTOR TO CUT AND CAP EXISTING SEWER LINE PRIOR TO DEMOLITION OF THE EXISTING STRUCTURE. INSPECTION CAN BE SCHEDULED AT 210-826-0516.
- UTILITIES ARE ONLY SHOWN AS APPROXIMATE FOR REFERENCE. CONTRACTOR TO FIELD VERIFY ALL UTILITIES PRIOR TO ANY ON SITE DEMOLITION.
- CONTRACTOR TO COORDINATE THE REMOVAL OF ANY EXISTING UTILITIES WITH THE APPROPRIATE SERVICE PROVIDER.

DEMOLITION KEYNOTES

- EXISTING CONCRETE CURB TO BE REMOVED.
- NOT USED.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- NOT USED.
- EXISTING CONCRETE TO BE REMOVED
- SAWCUT EXISTING CONCRETE.
- NOT USED.
- SAWCUT EXISTING ASPHALT.
- EXISTING FLEXIBLE PAVEMENT TO BE REMOVED.
- NOT USED.
- EXISTING RETAINING WALL TO BE REMOVED.
- NOT USED.
- EXISTING SIGNAGE TO BE REMOVED.
- EXISTING SIGNAGE TO REMAIN.
- EXISTING GAS SERVICE LATERAL TO BE REMOVED.
- EXISTING TREE TO REMAIN. REF. LANDSCAPE SHEETS
- EXISTING TREE TO BE REMOVED. REF. LANDSCAPE SHEETS
- NOT USED.
- EXISTING BUILDING TO BE DEMOLISHED. REF. ARCHITECTUAL PLANS.
- EXISTING BRICK/CONC. PLANTERS TO BE REMOVED.
- EXISTING POWER POLE & OVERHEAD LINE TO REMAIN.
- EXISTING POWER POLE AND OVERHEAD LINE TO BE REMOVED AFTER COORDINATION WITH ELECTRICAL PROVIDER, OWNER & ENGINEER.
- EXISTING WATER METERS & BOXES TO REMAIN & BE PROTECTED DURING CONSTRUCTION.
- EXISTING LANDSCAPE TO BE REMOVED.



GAS NOTE:

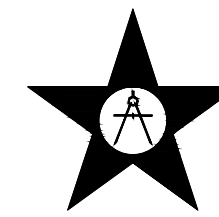
REQUIREMENT FOR CONSTRUCTION NEAR GAS:

- AN UNDERGROUND GAS LINE PASSES THROUGH / IS NEAR THE SUBJECT SITE.
- THE CONTRACTOR MUST TAKE EXTREME CAUTION WHEN WORKING NEAR EXISTING GAS LINE(S).
- THE CONTRACTOR MUST PROTECT THE EXISTING GAS LINE(S) AT ALL TIMES DURING CONSTRUCTION.

BENCHMARKS / CONTROL POINT DATA:

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM #1	13721546.32	2139508.04	717.36'	COTTON SPINDLE IN POWER POLE
CP #1	13721575.08	2139667.89	715.79'	CP 1 MAGNAIL
CP #2	13721642.34	2139615.30	716.47'	CP 2 MAGNAIL
CP #3	13721553.02	2139507.09	716.60'	CP 3 MAGNAIL

ZONE: TEXAS SOUTH CENTRAL, NAD83
COORDINATES: GRID COORDINATE
SCALE FACTOR = 1.00016



M&S ENGINEERING
CIVIL | ELECTRICAL | STRUCTURAL | MEP SURVEYING
TEXAS REGISTERED ENGINEERING FIRM # 10044209

CONTACT	MAIN OFFICE	BRANCH OFFICE
WWW.MSNGR.COM PHONE: (830) 228-5446 FAX: (830) 885-2170	P.O. BOX 910 6477 FM 311 SPRING BRANCH, TX 78070	12719 SPECTRUM DR., STE. 100 SAN ANTONIO, TX 78249 PHONE: (210) 342-6700
CONTACT: LANCE KLEIN, P.E.		PROJECT #: 1750LST.002



824 BROADWAY ST. #110
SAN ANTONIO, TEXAS
78108-2405
210.240.8864
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LOK Properties - Broadway
5410 Broadway Street
Alamo Heights, Texas 78209

REVISIONS

No.	Description	Date
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-	-	-
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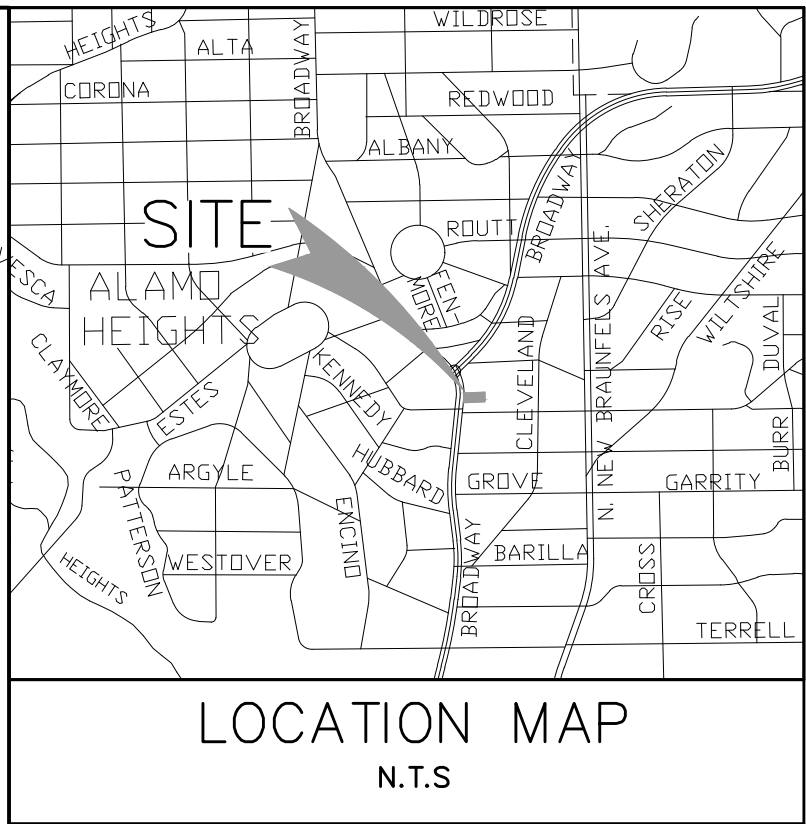
PROJECT NO. 2017080
18 JULY 2018

DEMOLITION PLAN

SHEET

C01.1

1 OF 11 SHEETS



PARKING REQUIREMENTS:

PARKING DATA CRITERIA:

USE	MIN. RATIO	MAX. RATIO	UNITS	MIN.	MAX.
OFFICE	1/300 SF GFA	1/140 SF GFA	2,976 SF	10	21
TOTAL REQUIRED				10	21

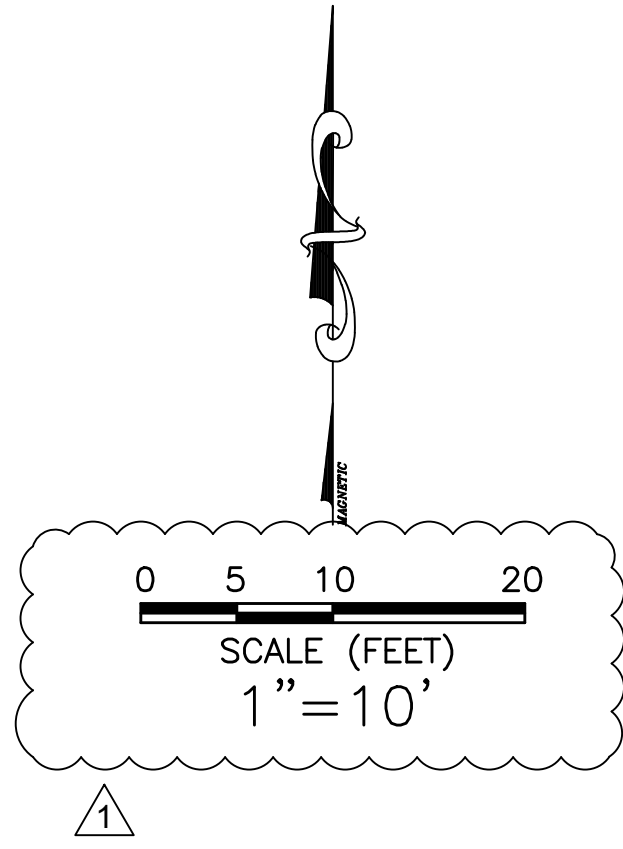
TOTAL PARKING PROVIDED:

STANDARD	ACCESSIBLE	COMPACT	TOTAL
14	1		15

CODE REQUIREMENTS:
CITY OF ALAMO HEIGHTS - XXXX
ADA - TEXAS ACCESSIBILITY STANDARDS (TAS)



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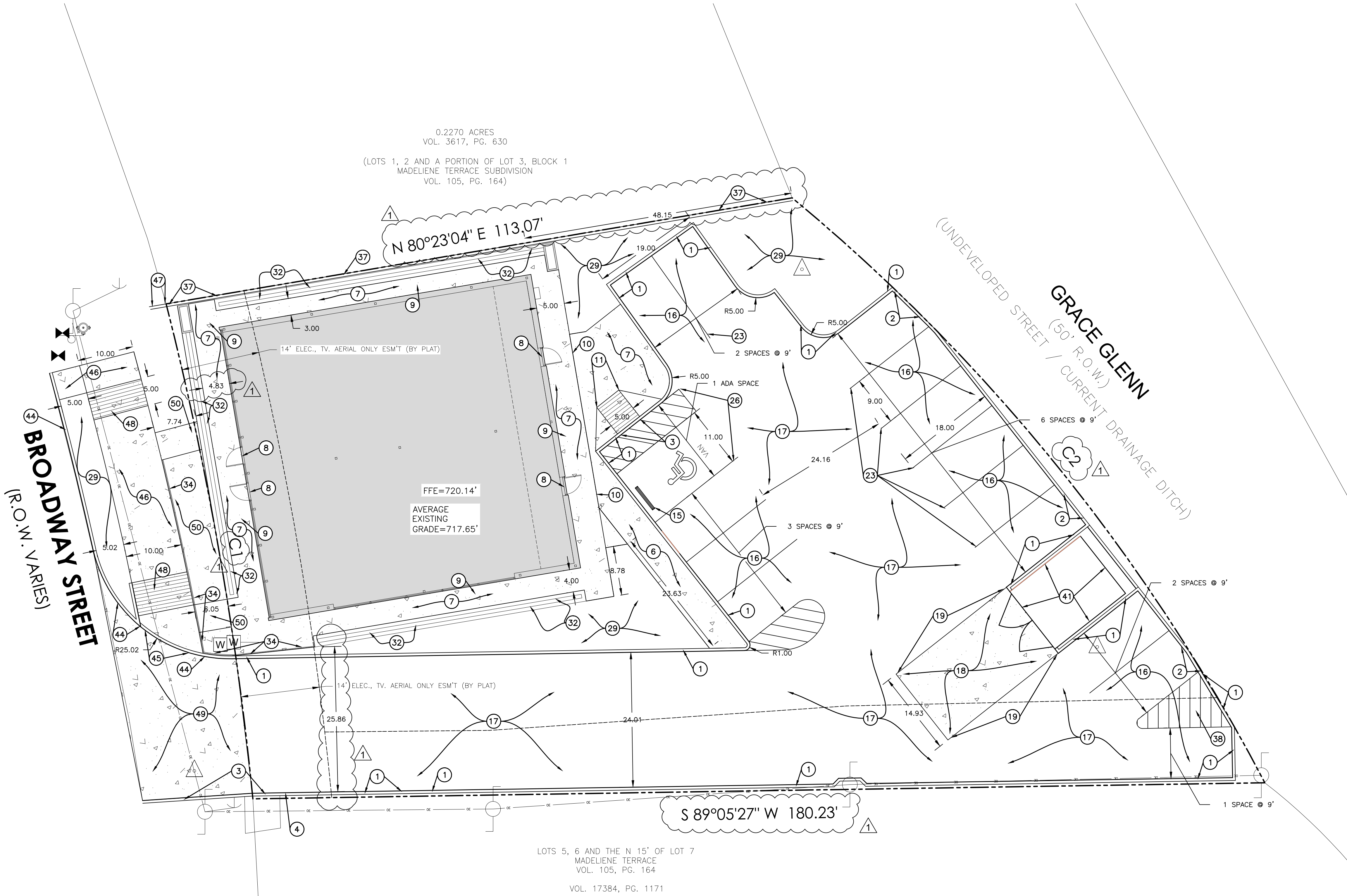


LEGEND:

	PROPERTY LINE
	PROPOSED STRUCTURAL SLAB
	PROPOSED CONCRETE PAV/T
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CURB
	PROPOSED ADA RAMP

KEYNOTES

- NEW TYPICAL 6" CURB. REF. DETAIL ON SHTS. C06.1 - C06.3.
- NEW SAW TOOTH CURB DTL. REF. DETAILS ON SHTS. C06.1 - C06.3.
- NEW HEADER / FLUSH CURB. REF. DETAIL ON SHTS. C06.1 - C06.3.
- 1' CURB TRANSITION FROM 6" TYP. CURB TO HEADER / FLUSH CURB. REF. DETAIL ON SHTS. C06.1 - C06.3.
- NOT USED.
- NEW CONCRETE SIDEWALK. REF. TYPICAL SIDEWALK DETAILS ON SHTS. C06.1 - C06.3.
- NEW CONCRETE FLATWORK. REF. TYP. SIDEWALK DETAILS ON SHTS. C06.1 - C06.3.
- ELEVATION TO DROP 1/4" OUTSIDE BUILDING ENTRANCE AS INDICATED BY SPOT ELEVATIONS SHOWN ON GRADING PLAN.
- SECTION OF CONCRETE FLATWORK TO BE POURED AS PER ELEVATIONS ON GRADING PLAN.
- NEW SIDEWALK TO MATCH STRUCTURAL FOUNDATION. PROVIDE 1/2" EXPANSION JOINT PER DETAIL ON SHTS. C06.1 - C06.3.
- NEW ONSITE 6" ADA RAMP AND LANDING. SLOPE ADJACENT CURB WITH RAMP TO PROVIDE A LOW / FLUSH CURB AT LANDING. REF. DETAIL ON SHTS. C06.1 - C06.3.
- NOT USED.
- NOT USED.
- NOT USED.
- NEW CONCRETE WHEELSTOP. REF. DETAIL ON SHTS. C06.1 - C06.3.
- NEW LIGHT DUTY ASPHALT PAVEMENT. REF. DETAIL ON SHTS. C06.1 - C06.3.
- NEW HEAVY DUTY ASPHALT PAVEMENT. REF. DETAIL ON SHTS. C06.1 - C06.3.
- NEW HEAVY DUTY CONCRETE PAVEMENT. REF. DETAIL ON SHTS. C06.1 - C06.3.
- ASPHALT TO CONCRETE PAVEMENT JUNCTURE. REF. DETAIL ON SHTS. C06.1 - C06.3.
- NOT USED.
- NOT USED.
- NOT USED.
- NEW 4" WIDE WHITE PAINT STRIPING. REF. DETAIL ON SHTS. C06.1 - C06.3.
- NOT USED.
- NOT USED.
- NEW ADA PARKING AREA. REF. DETAILS ON SHTS. C06.1 - C06.3.
- NOT USED.
- NOT USED.
- NOT USED.
- NEW LANDSCAPE AREA. REF. LANDSCAPE PLANS FOR DETAILS.
- NOT USED.
- NEW MONUMENT SIGN. REF. ARCHITECTURAL PLANS FOR DETAILS.
- NEW LANDSCAPE PLANTER. REF. ARCHITECTUAL PLANS FOR DETAILS.
- NOT USED.
- NEW STEEL GUARDRAIL. REF. ARCHITECTURAL PLANS FOR DETAILS.
- NOT USED.
- NOT USED.
- NEW RETAINING WALL. REF. GRADING PLAN FOR ELEVATIONS AND REF. STRUCTURAL PLANS FOR DETAILS.
- NOT USED.
- NOT USED.
- NOT USED.
- NEW TYP. 7" WIDE CURB WITHIN PUBLIC R.O.W. REF. TYP. DETAILS ON SHTS. C06.1 - C06.3.
- NEW FLUSH CURB WITHIN PUBLIC R.O.W. REF. TYP. DETAILS ON SHTS. C06.1 - C06.3.
- NEW CONCRETE SIDEWALK WITHIN PUBLIC R.O.W. REF. TYP. DETAILS ON SHTS. C06.1 - C06.3.
- NEW CONCRETE RETAINING WALL WITHIN PUBLIC R.O.W. REF. TYP. DETAILS ON SHTS. C06.1 - C06.3.
- NEW 6' LONG H/C RAMP & LANDING WITHIN PUBLIC R.O.W. REF. TYP. DETAILS ON SHTS. C06.1 - C06.3.
- NEW CONC. DRIVEWAY APRON. REF. TO TYP. DETAILS ON SHTS. C06.1 - C06.3.
- NEW 5' WIDE H/C RAMP & LANDING WITHIN PUBLIC R.O.W. REF. TYP. DETAILS ON SHTS. C06.1 - C06.3.
- NOT USED.



CAUTION!!
EXISTING GAS PIPELINES. CONTRACTOR TO CONTACT GAS COMPANIES FOR CONSTRUCTION



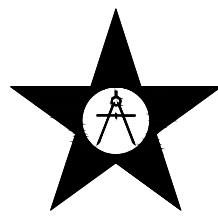
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TOTALLY RESPONSIBLE FOR COORDINATING THE LOCATION, AND PRESERVATION OF EXISTING DRY UTILITIES (ELECTRIC, TELEPHONE, CABLE, ETC.).

BENCHMARKS / CONTROL POINT DATA:

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM #1	13721546.32	2139508.04	717.36'	COTTON SPINDLE IN POWER POLE
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CP #2	13721642.34	2139615.30	716.47'	CP 2 MAGNAIL
CP #3	13721553.02	2139507.09	716.60'	CP 3 MAGNAIL

ZONE: TEXAS SOUTH CENTRAL, NAD83
COORDINATES: GRID COORDINATE
SCALE FACTOR = 1.00016

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	595.00'	89.58'	89.49'	N 09°56'13" W	8°37'33"
C2	338.00'	134.82'	133.93'	S 38°56'08" E	22°51'14"
(C1)	595.00'	89.00'	---	---	8°34'13"
(C2)	338.00'	134.80'	---	---	22°51'02"



M&S ENGINEERING

CIVIL ELECTRICAL STRUCTURAL MEP SURVEYING		
TEXAS REGISTERED ENGINEERING FIRM F-1394		
SURVEYING FIRM # 10044200		
CONTACT	MAIN OFFICE	BRANCH OFFICE
WWW.MSNGR.COM	P.O. BOX 970	12719 SPECTRUM DR., STE. 100
PHONE: (830) 228-5446	6477 FM 311	SAN ANTONIO, TX 78249
FAX: (830) 885-2170	SPRING BRANCH, TX 78070	PHONE: (210) 342-6700
CONTACT: LANCE KLEIN, P.E.		PROJECT #: 1750LST.002



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LOK Properties - Broadway

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No.	Description	Date

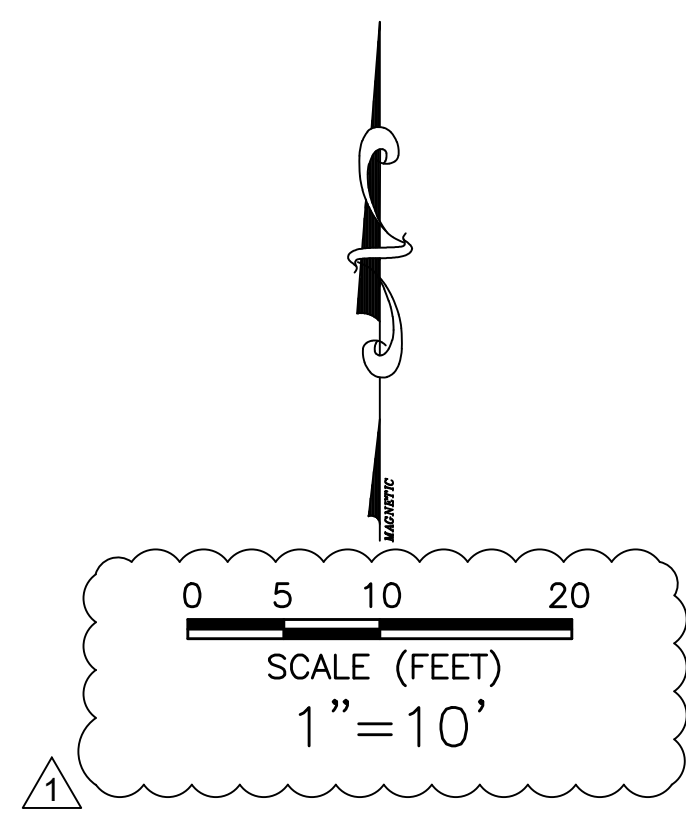
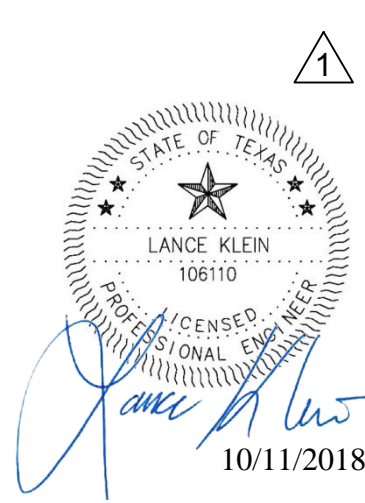
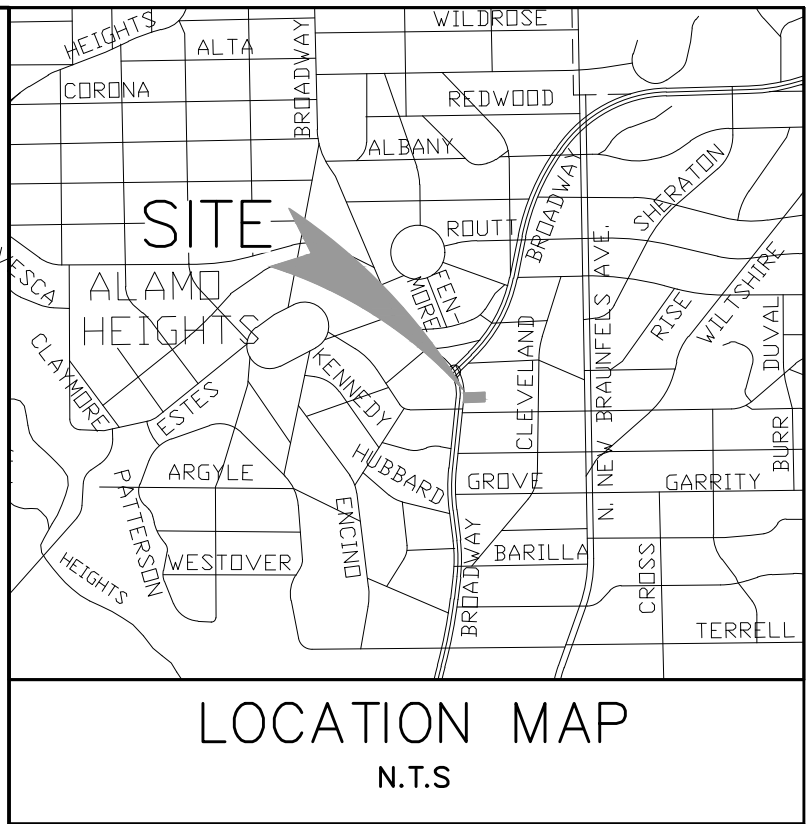
PROJECT NO. 2017080
18 JULY 2018

SITE & DIMENSIONAL CONTROL PLAN

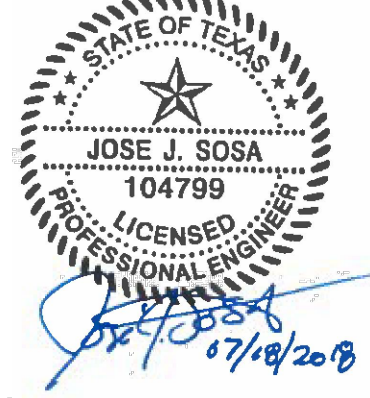
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2 OF 11 SHEETS



- LEGEND:
- PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SILT FENCE
 - PROPOSED STABILIZED CONST. ENTRANCE / EXIT
 - PROPOSED WASHOUT PIT
 - PROPOSED STRUCTURAL SLAB
 - CONTRACTOR LAYDOWN AREA
 - FLOW ARROW



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GENERAL NOTES:

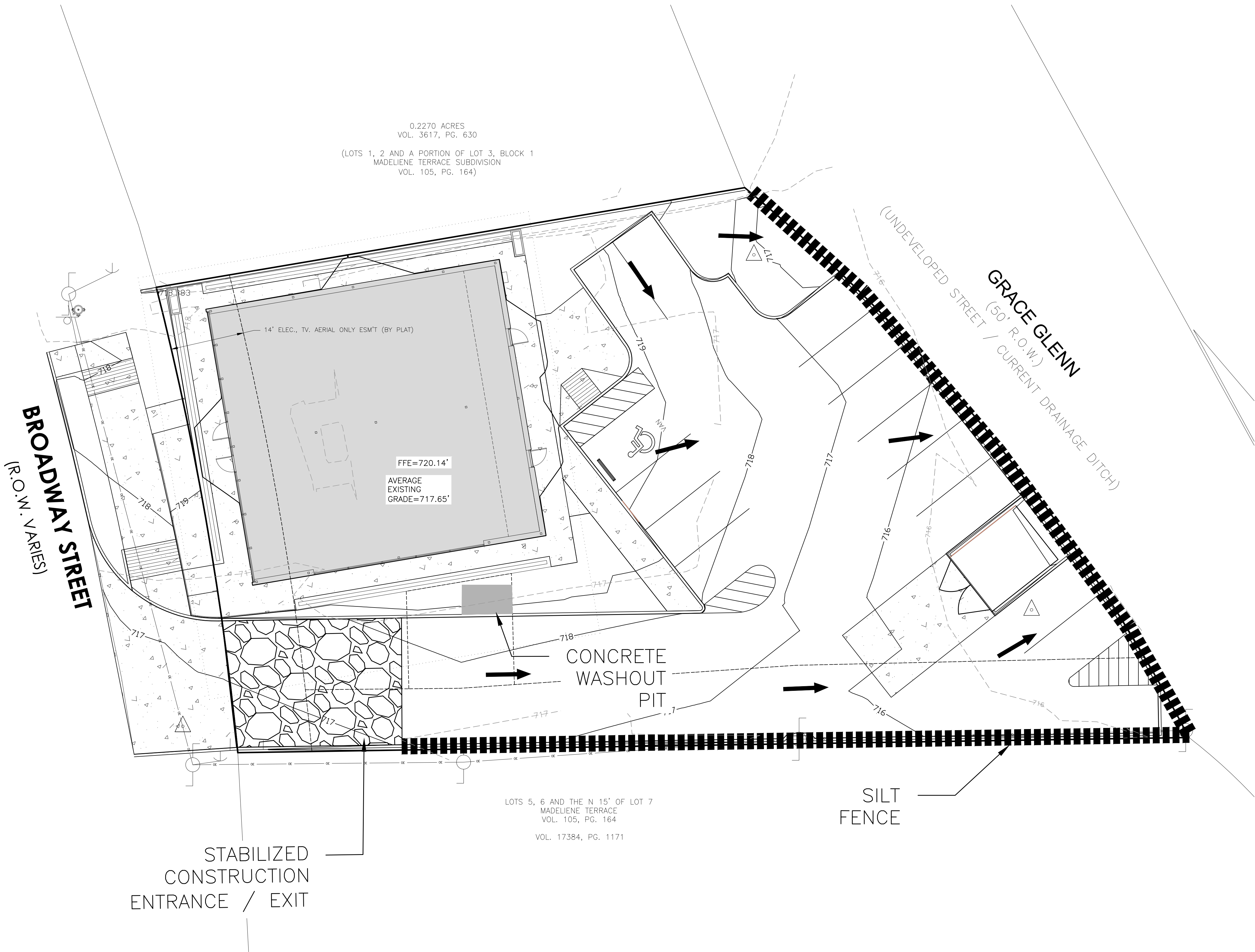
- PROVIDE BAGGED GRAVEL INLET FILTERS AT ALL EXPOSED DRAINAGE STRUCTURES.
- SOIL DISTURBANCES WILL OCCUR OVER MAJORITY OF SITE.
- LOCATIONS OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS ARE LABELED.
- THESE ARE THE TEMPORARY AND PERMANENT BEST MANAGEMENT PRACTICES.
- SOIL STABILIZATION PRACTICES SHALL OCCUR OVER THE ENTIRE SITE WITH THE USE OF PAVEMENT, BUILDINGS, SIDEWALKS, GRASS SOD, GRASS SEEDING AND MULCH.
- THERE ARE NO LOCATIONS WHERE STORMWATER DISCHARGES TO SURFACE WATER.
- CONTRACTOR TO ADJUST LOCATION OF STABILIZED CONSTRUCTION ENTRANCE / EXIT AND/OR CONSTRUCTION STAGING AREA / WASHOUT PIT AS NECESSARY TO SUPPORT CONSTRUCTION.

SWPPP NOTES:

- CONTRACTOR SHALL COMPLY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR LOCAL AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORTER SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING, PUMPING AND TREATMENT OF WATER. NO WATER FROM ANY CONSTRUCTION WORK SHALL BE RELEASED DOWNSTREAM OR INTO STORM SYSTEMS WITHOUT FIRST BEING TREATED OR HAVING SEDIMENT, OILS OR OTHER POLLUTANTS REMOVED IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN.
- THIS SHEET IS FOR INCLUSION IN THE OPERATOR'S OVERALL STORMWATER POLLUTION PREVENTION PLAN AND GENERAL PERMIT TXR 150000 PACKAGE. THIS SHEET SHOULD NOT BE CONSIDERED TO BE THE ENTIRE STORMWATER POLLUTION PREVENTION PLAN.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE TCEQ NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) UNDER THE TPDES CONSTRUCTION GENERAL PERMIT TXR 150000.

SOIL STABILIZATION PROCEDURE:

- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE. IN AREAS EXPERIENCING DROUGHTS WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IS PRECLUDED BY SEASONAL ARID CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.



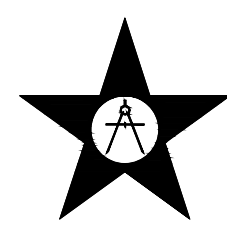
BENCHMARKS / CONTROL POINT DATA:

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM #1	13721546.32	2139508.04	717.36'	COTTON SPINDLE IN POWER POLE
CP #1	13721575.08	2139667.89	715.79'	CP 1 MAGNAIL
CP #2	13721642.34	2139615.30	716.47'	CP 2 MAGNAIL
CP #3	13721553.02	2139507.09	716.60'	CP 3 MAGNAIL

ZONE: TEXAS SOUTH CENTRAL, NAD83
COORDINATES: GRID COORDINATE
SCALE FACTOR = 1.00016

SITE DATA:

LEGAL DESCRIPTION:	LOT 9, BLK 1, CB 4050
ADDRESS:	5410 BROADWAY ST. SAN ANTONIO, TX 78209
PLAT:	MADELIENE TERRACE SUBDIVISION VOLUME 9727 PAGE 138-140
TOTAL PROPERTY AREA:	0.346 AC. (15,071.76 SQ. FT.)
TOTAL AREA DISTURBED:	0.346 AC. (15,071.76 SQ. FT.)
PRE-DEVELOPMENT RUNOFF COEFFICIENT:	0.90
POST-DEVELOPMENT RUNOFF COEFFICIENT:	0.90



CIVIL | ELECTRICAL | STRUCTURAL | MEP SURVEYING

CONTACT: (830) 228-5446
PHONE: (830) 228-5446
FAX: (830) 885-2170

MAIN OFFICE: 6477 FM 311
SPRING BRANCH, TX 78070

BRANCH OFFICE: 12715 SPECTRUM DR., STE. 100
SAN ANTONIO, TX 78249
PHONE: (210) 342-6700

CONTACT: LANCE KLEIN, P.E.
PROJECT #: 1750LST.002

LOK Properties - Broadway

5410 Broadway Street
Alamo Heights, Texas 78209

REVISIONS

No.	Description	Date
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-	-	-
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-	-	-
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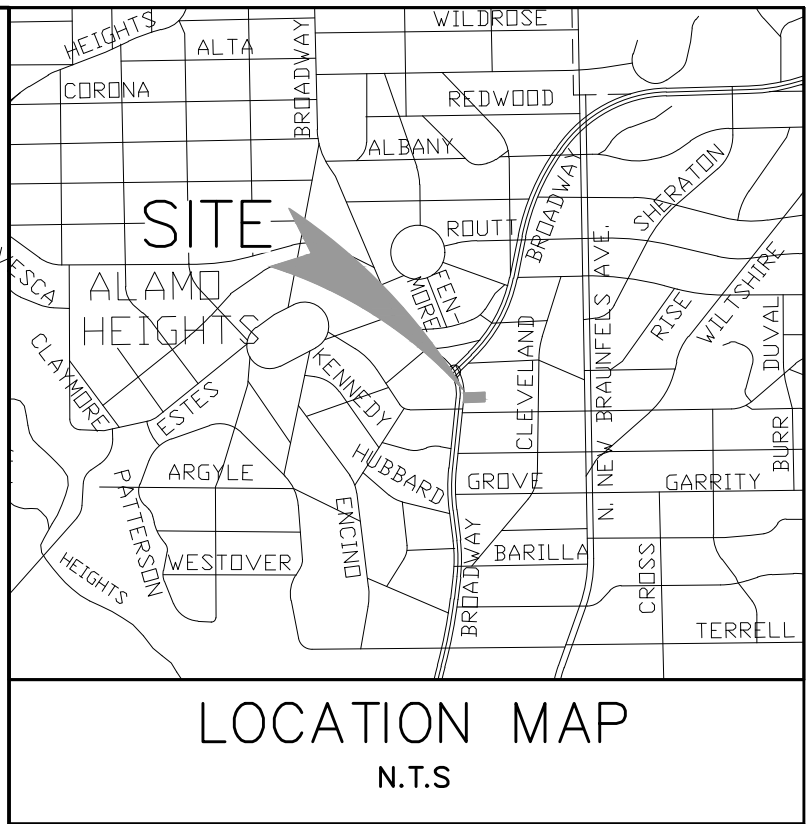
PROJECT NO. 2017080
18 JULY 2018

STORM WATER
POLLUTION
PREVENTION PLAN

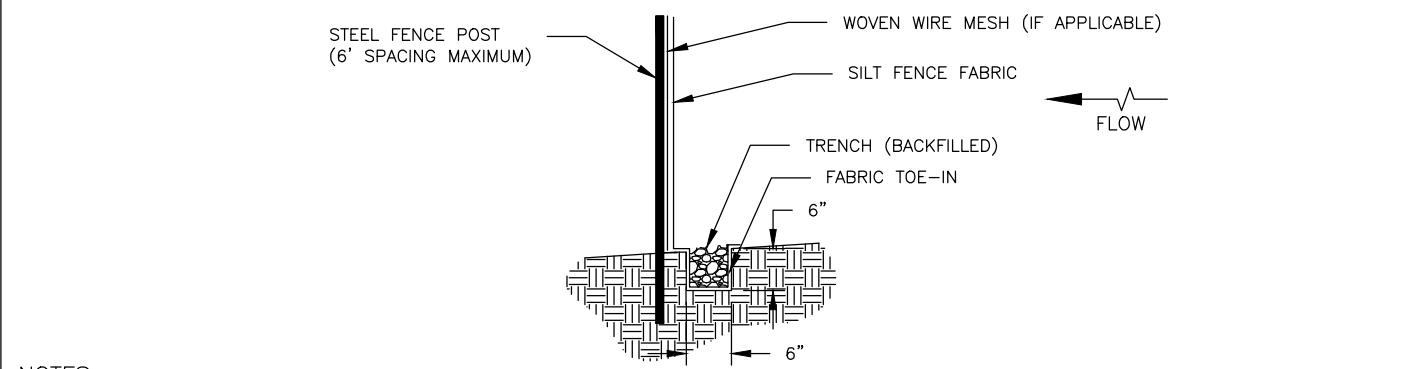
SHEET

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3 OF 11 SHEETS



LOCATION MAP
N.T.S.



NOTES:

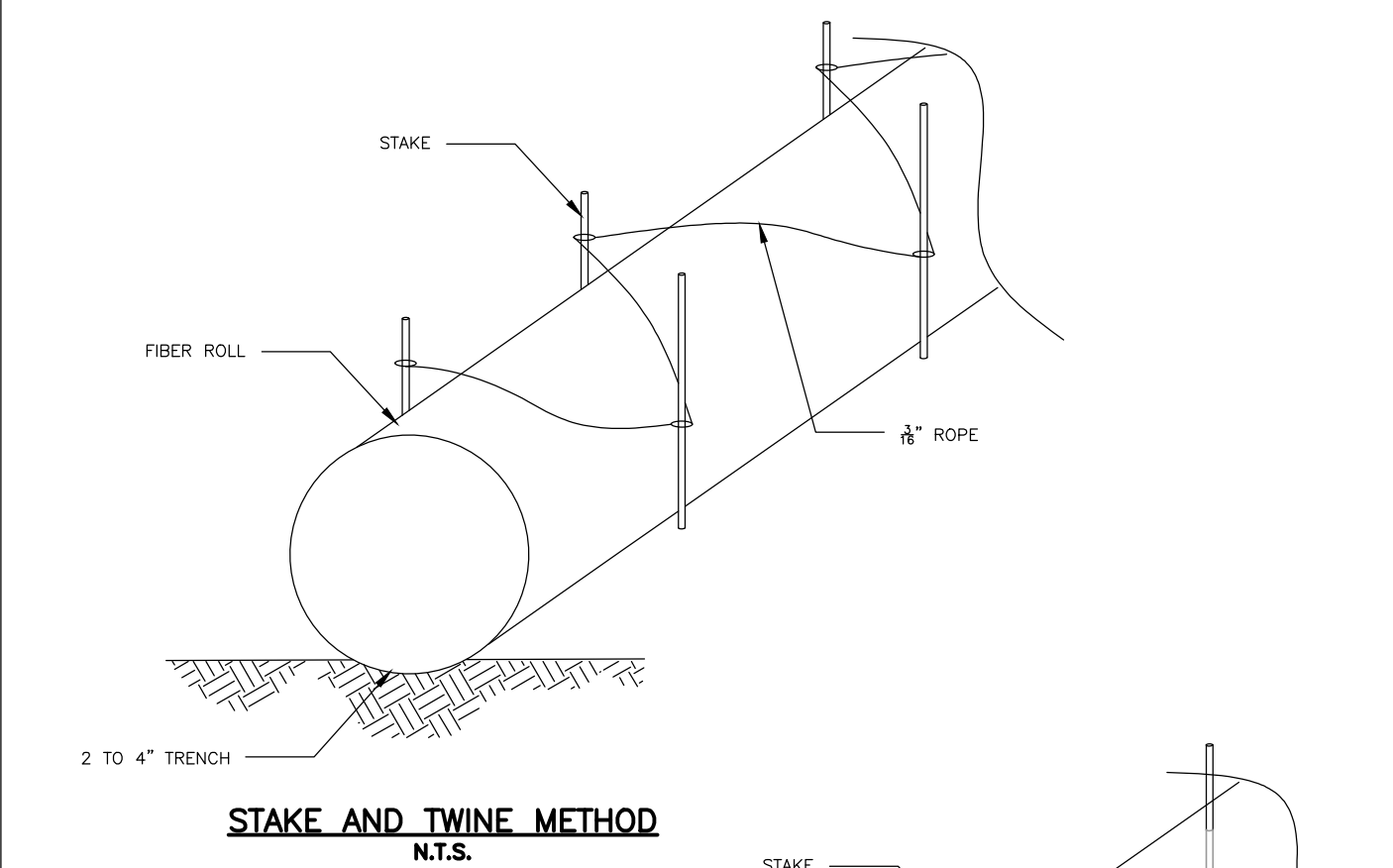
1. TRIANGULAR SEDIMENT FILTER DIKES MAY BE SUBSTITUTED FOR SILT FENCE IN AREAS WHERE INSTALLATION OF SILT FENCE IS NOT POSSIBLE OR WHERE VEHICLE ACCESS MUST BE MAINTAINED PROVIDED THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE ACRE.
2. SILT FENCE MATERIAL SHOULD BE POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN OR NONWOVEN FABRIC. THE FABRIC WIDTH SHOULD BE 36 INCHES, WITH A MINIMUM UNIT WEIGHT OF 4.5 OZ/YD, MULLEN BURST STRENGTH EXCEEDING 190 LB/IN², ULTRAVIOLET STABILITY EXCEEDING 70%, AND A MINIMUM APPARENT OPENING SIZE OF U.S. SIEVE NO. 30.
3. FENCE POSTS SHOULD BE MADE OF HOT ROLLED STEEL, AT LEAST 4 FEET LONG WITH TEE OR Y-BAR CROSS SECTION, SURFACE PAINTED OR GALVANIZED, MINIMUM NOMINAL WEIGHT 1.25 LB/FT², AND BRINDELL HARDNESS EXCEEDING 140.
4. WOVEN WIRE BACKING IS REQUIRED IN THE EDWARDS AQUIFER RECHARGE AND CONTRIBUTING ZONE; OPTIONAL ELSEWHERE. WOVEN WIRE BACKING TO SUPPORT THE FABRIC SHOULD BE GALVANIZED 2"x4" WELDED WIRE, 12 GAUGE MINIMUM.
5. SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOURS AS CLOSE AS POSSIBLE. THE ENDS SHOULD BE CURVED UPSTREAM TO CREATE AN AREA OF WATER IMPOUNDMENT AND PREVENT FLOW FROM ESCAPING AROUND THE FENCE.
6. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT AND SPACED NOT MORE THAN 6 FEET ON CENTER.
7. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CAN NOT BE TREATED IN (E.G., PAVEMENT OR ROCK OUTCROP) WEIGHT FABRIC FLAP WITH 3" OF WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
8. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
9. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POSTS OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST, WHERE ENDS MEET, OVERLAP FABRIC 3- FEET AND SECURELY FASTEN.

MAINTENANCE AND REMOVAL:

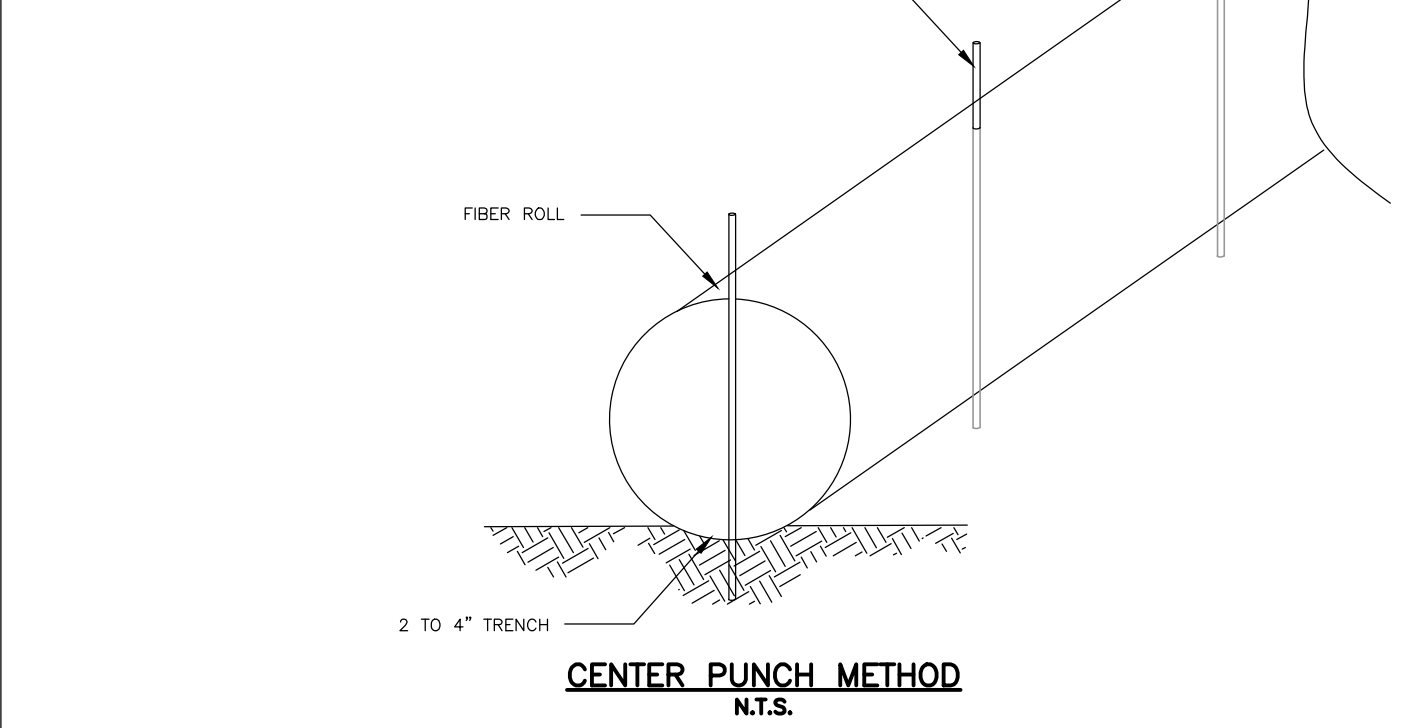
12. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
13. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE. THE SEDIMENT SHOULD BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION AND THE PRIOR LOCATION OF THE SILT FENCE SHOULD BE REVEGETATED. THE FENCE ITSELF SHOULD BE DISPOSED OF IN AN APPROVED LANDFILL.

SILT FENCE

EXHIBIT 1



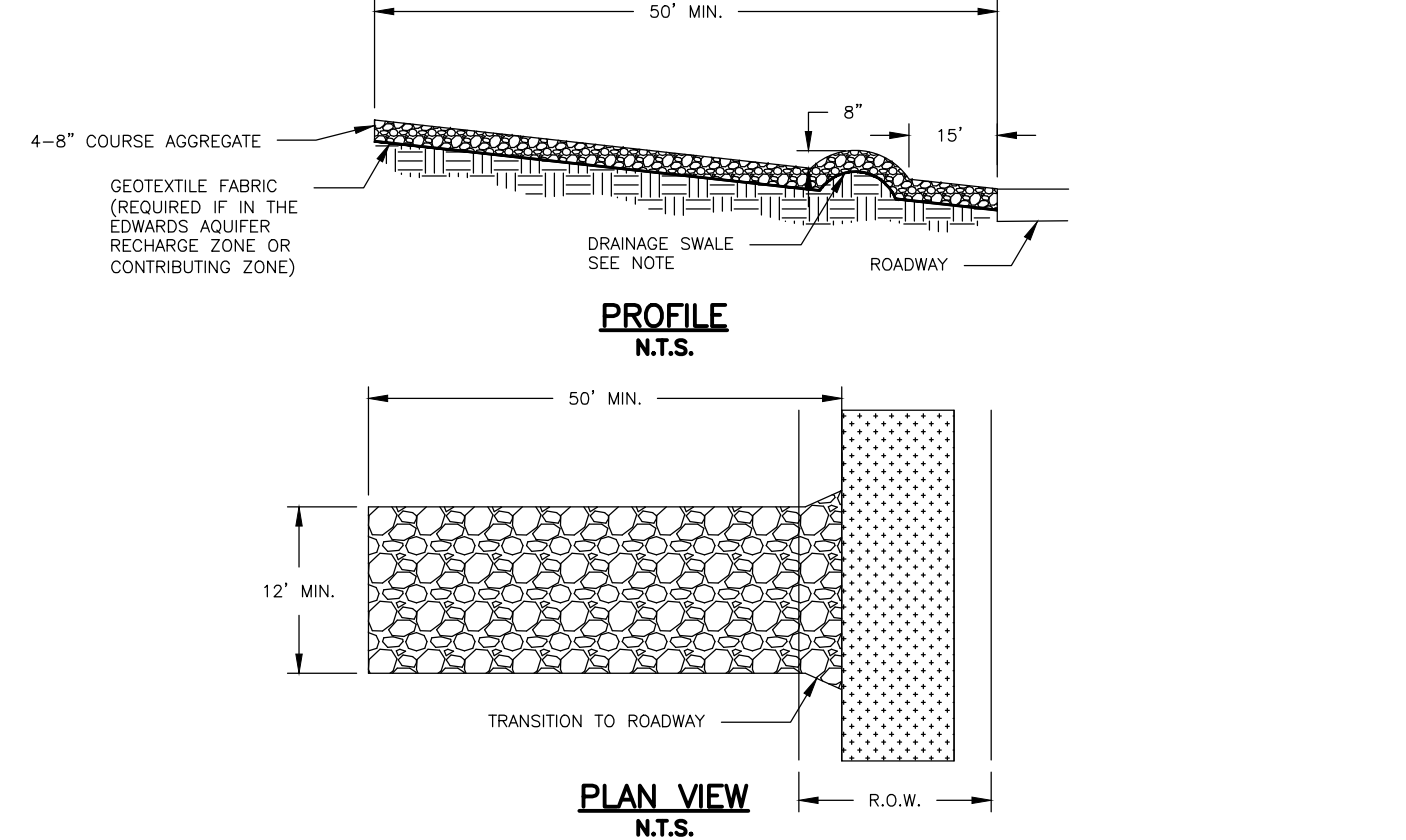
STAKE AND TWINE METHOD
N.T.S.



CENTER PUNCH METHOD
N.T.S.

FIBER ROLLS (1 OF 2)

EXHIBIT 4A



NOTES:

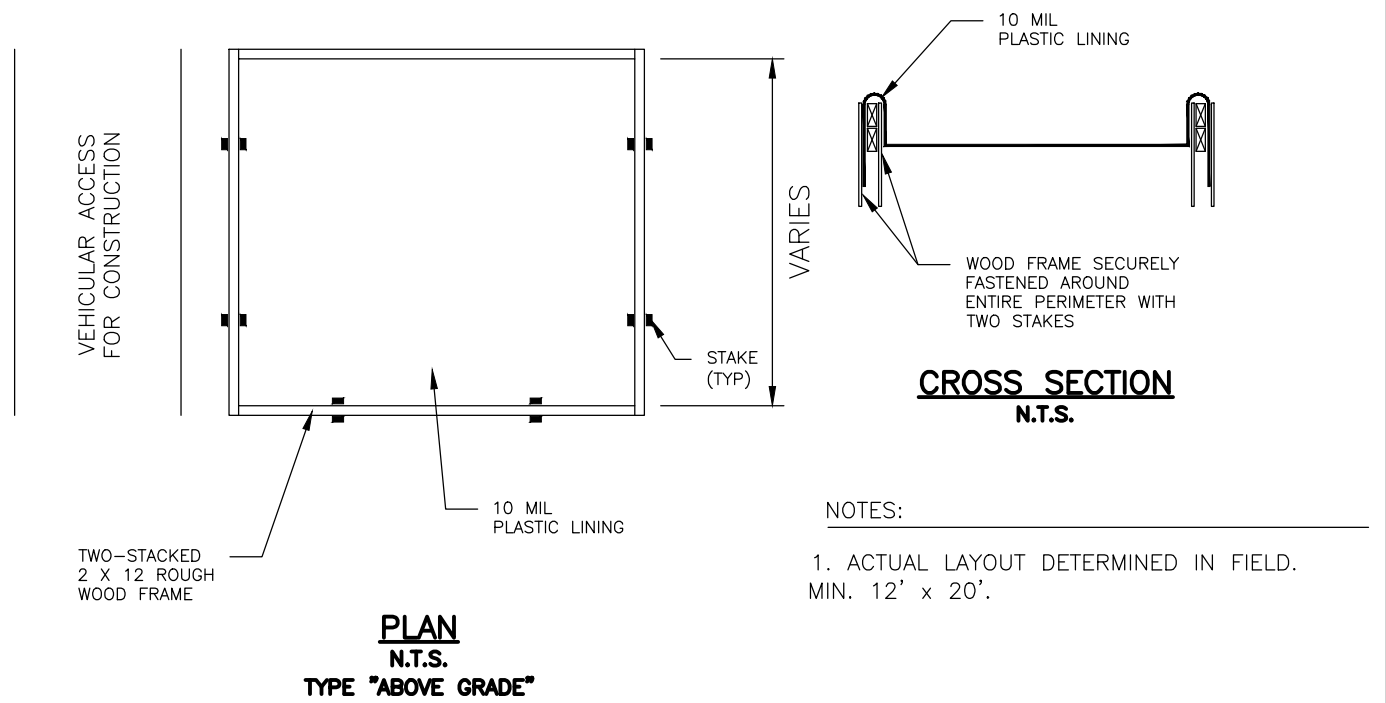
1. THE AGGREGATE SHOULD CONSIST OF 4 TO 8 INCH WASHED STONE OVER A STABLE FOUNDATION WITH A MINIMUM THICKNESS OF 8 INCHES.
2. IF THE SLOPE TOWARDS THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE 8 INCHES HIGH WITH 3:1 (H:V) SIDESLOPES ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
3. THE GEOTEXTILE FABRIC SHOULD BE DESIGNED SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE WEIGHT OF 6 OZ/YD², A MULLEN BURST RATING OF 140 LB/IN², AND AN EQUIVALENT OPENING SIZE GREATER THAN A NUMBER 50 SIEVE.
4. THE MINIMUM WIDTH OF THE ENTRANCE SHOULD BE 12 FT OR THE FULL WIDTH OF THE EXIT ROADWAY, WHICHEVER IS GREATER.
5. INSTALL PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.
6. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH 4 INCH MINIMUM CRUSHED STONE OR COMMERCIAL RACK WHICH DRAINS TO A SEDIMENT TRAP OR BASIN.

MAINTENANCE:

7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
8. ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY USING APPROVED METHODS.

STABILIZED CONSTRUCTION ENTRANCE

EXHIBIT 2



PLAN
N.T.S.

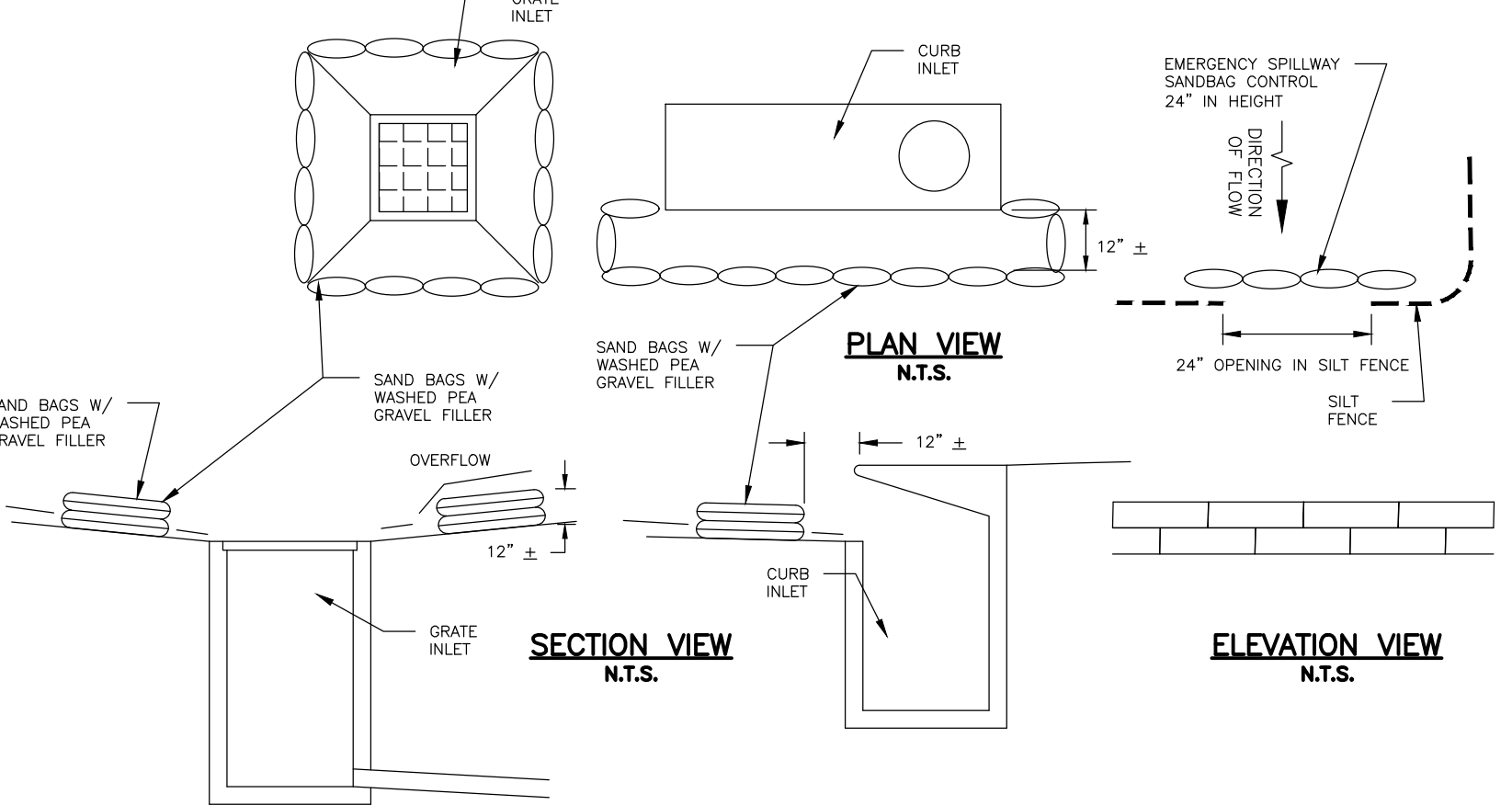
CROSS SECTION
N.T.S.

NOTES:

1. DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY OF USE.
2. WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC.
3. WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO INUNDATION FROM STORM WATER RUNOFF.

CONCRETE WASHOUT DETAIL

EXHIBIT 3



NOTES:

1. THE SAND BAG MATERIAL SHOULD BE POLYPROPYLENE, POLYETHYLENE, POLYAMIDE OR COTTON BURLAP WOVEN FABRIC, MINIMUM UNIT WEIGHT 4 OZ/YD², MULLEN BURST STRENGTH EXCEEDING 300 PSI AND ULTRAVIOLET STABILITY EXCEEDING 70 PERCENT.
2. THE BAG LENGTH SHOULD BE 24 TO 30 INCHES, WIDTH SHOULD BE 16 TO 18 INCHES AND THICKNESS SHOULD BE 6 TO 8 INCHES.
3. SANDBAGS SHOULD BE FILLED WITH COARSE GRADE SAND, FREE FROM DELETERIOUS MATERIAL. ALL SAND SHOULD PASS THROUGH A NO. 10 SIEVE. THE FILLED BAG SHOULD HAVE AN APPROXIMATE WEIGHT OF 40 POUNDS.
4. WHEN A GRAVEL BAG IS FILLED WITH GRAVEL, THE OPEN END OF THE GRAVEL BAG SHOULD BE STAPLED OR TIED WITH NYLON OR POLY CORD.
5. THE GRAVEL BAGS SHOULD BE PLACED AS SHOWN ON THE DETAIL. THE GRAVEL BAGS SHALL BE STACKED TO FORM A CONTINUOUS BARRIER AROUND THE INLETS. THE BAGS SHOULD BE TIGHTLY ABUTTED AGAINST EACH OTHER TO PREVENT RUNOFF FROM FLOWING BETWEEN THE BAGS.
6. CHECK PLACEMENT OF DEVICE TO PREVENT GAPS BETWEEN DEVICE AND CURB.
7. INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHOULD BE MADE PROMPTLY AS NEEDED BY THE CONTRACTOR.
8. THE SANDBAGS SHOULD BE RESHAPED OR REPLACED AS NEEDED DURING INSPECTION.
9. REMOVE SEDIMENT WHEN BUILDUP REACHES A DEPTH OF 3 INCHES. REMOVED SEDIMENT SHOULD BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
10. STRUCTURES SHOULD BE REMOVED AND THE AREA STABILIZED ONLY AFTER THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
11. THE SANDBAG BERM SHOULD BE LEFT IN PLACE UNTIL ALL UPSTREAM AREAS ARE STABILIZED AND ACCUMULATED SILT REMOVED; REMOVAL SHOULD BE DONE BY HAND.

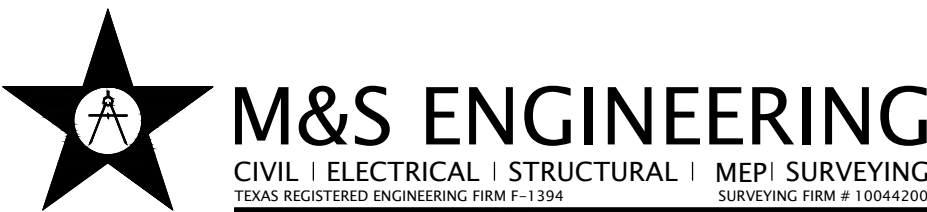
SAND BAG INLET FILTER

EXHIBIT 4

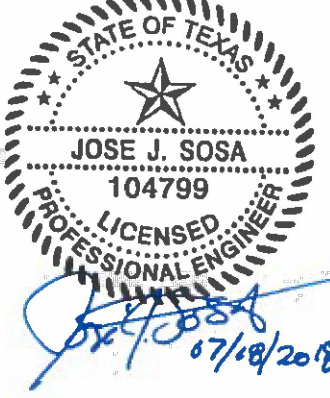
BENCHMARKS / CONTROL POINT DATA:

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
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ZONE: TEXAS SOUTH CENTRAL, NAD83
COORDINATES: GRID COORDINATE
SCALE FACTOR = 1.00016



CONTACT	MAIN OFFICE	BRANCH OFFICE
WWW.MSNGR.COM PHONE: (830) 228-5446 FAX: (830) 885-2170	P.O. BOX 910 6477 FM 311 SAN ANTONIO, TX 78249	12719 SPECTRUM DR., STE. 100 SAN ANTONIO, TX 78249 PHONE: (210) 342-6700
CONTACT: LANCE KLEIN, P.E.		PROJECT #: 1750SLT.002



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Alamo Heights, Texas 78209

REVISIONS		
No.	Description	Date
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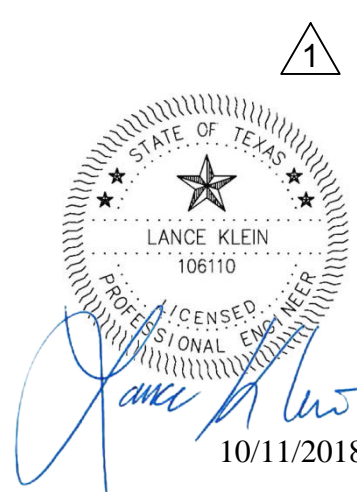
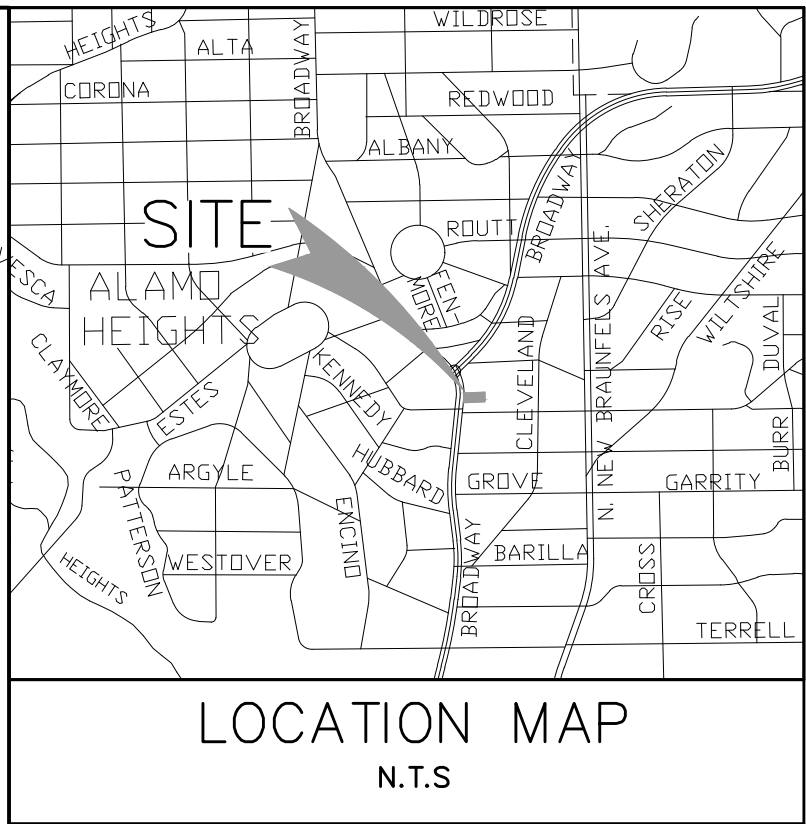
PROJECT NO. 2017080
18 JULY 2018

STORM WATER
POLLUTION
PREVENTION PLAN
DETAILS

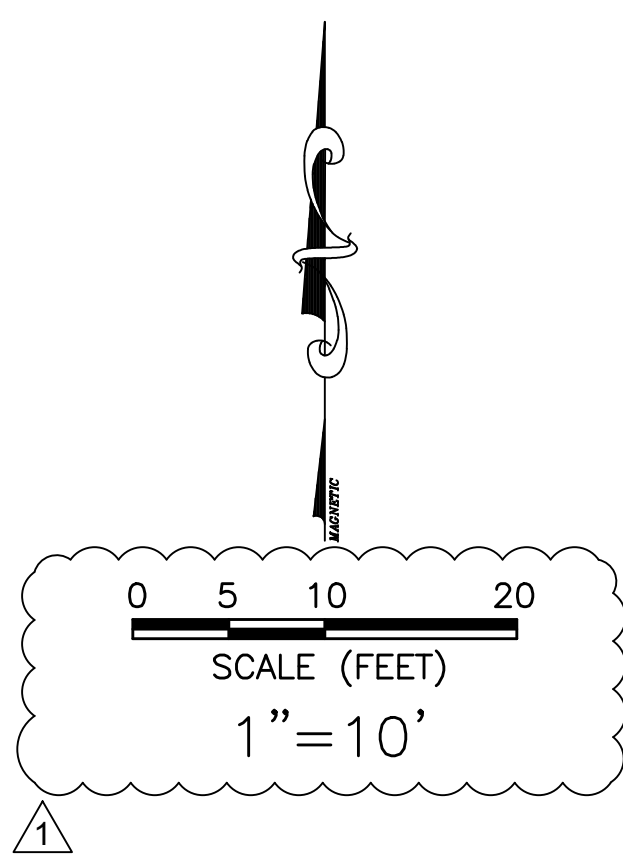
SHEET

C03.2

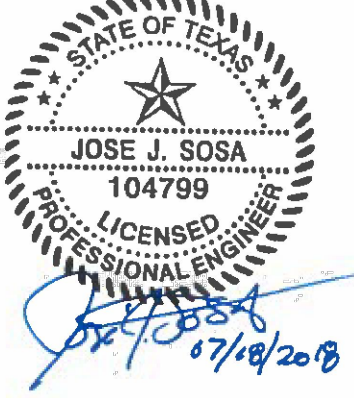
4 OF 11 SHEETS



THE REVISIONS TO THIS PLAN SHEET UNDER THE SEAL OF LANCE KLEIN, P.E. PERTAINS TO CHANGES SHOWN WITHIN THE CLOUDED AREAS. REVISIONS WERE MADE BASED ON CITY REVIEW COMMENTS. THE UNMODIFIED PORTIONS OF THIS SHEET REMAIN UNDER THE PERVIEW OF THE ENGINEER OF RECORD.



- LEGEND:**
- PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SPOT ELEVATION
 - TOP OF RETAINING WALL ELEVATION
 - GUTTER ELEVATION
 - FINISH FLOOR ELEVATION
 - PROPOSED STRUCTURAL SLAB
 - PROPOSED CONCRETE SIDEWALK

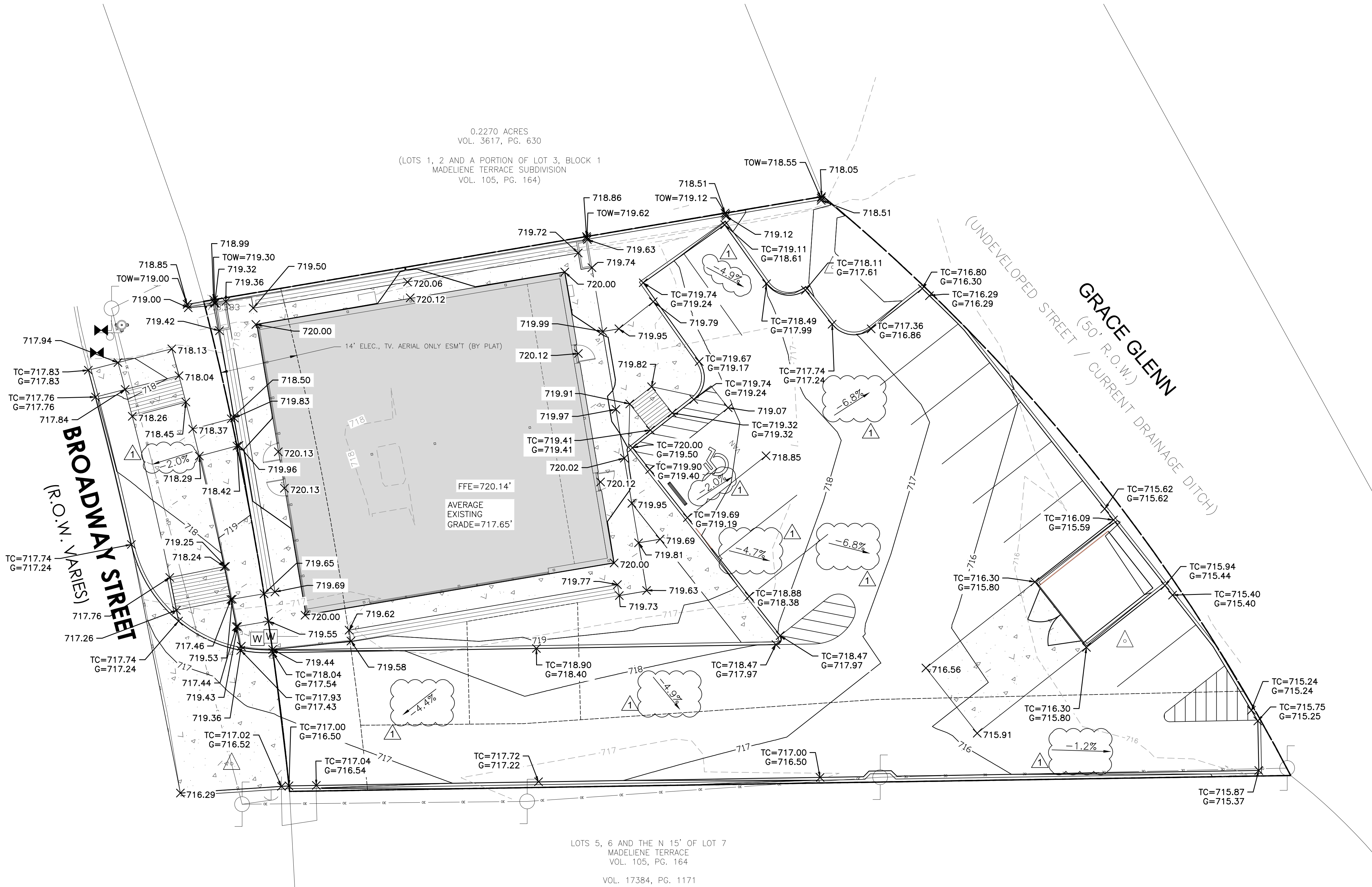


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GENERAL NOTES:

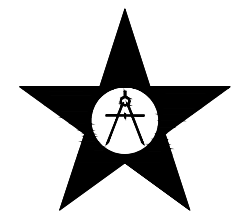
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND BENCHMARK ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL WASTE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND IT SHALL BE HIS SOLE RESPONSIBILITY TO DISPOSE OF THIS MATERIAL OFF THE LIMITS OF THE SITE TO A STATE LICENSED LANDFILL. CONTRACTOR WILL BE REQUIRED TO PROVIDE DOCUMENTATION WHERE DISPOSED MATERIAL IS TAKEN TO. THE OWNER WILL NOT BE HELD LIABLE FOR WASTE MATERIAL.
- CONTRACTOR IS REQUIRED TO SET AND VERIFY ALL PROJECT ELEVATIONS PRIOR TO START OF CONSTRUCTION. "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY THE SAME MATERIALS AS WELL AS VERTICAL AND HORIZONTAL ALIGNMENT.
- GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSION & GRADE CONDITIONS (BOTH NEW & EXISTING). HE SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER AND PROJECT ARCHITECT BEFORE PROCEEDING WITH ANY PHASE OF THE WORK AS HE WILL BE RESPONSIBLE FOR ALL WORK AS INTENDED BY THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY.
- BARRICADES & WARNING SIGNS SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND GENERALLY BE LOCATED TO AFFORD MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT. TRAFFIC FLOW AND ACCESS TO SURROUNDING PROPERTIES SHALL BE PRESERVED AT ALL TIMES DURING CONSTRUCTION.
- ANY EXISTING OFFSITE IMPROVEMENTS OR UTILITIES REMOVED, DAMAGED OR UNDERCUT BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE PROJECT ARCHITECT AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING FENCES, CURBS, CONCRETE DRIVEWAYS, SIDEWALK STRUCTURES, PAVEMENT, ETC. THAT ARE NOT INDICATED TO BE REMOVED. AN INVENTORY OF EXISTING CONDITIONS SHALL BE CONDUCTED WITH CONTRACTOR AND PROJECT ARCHITECT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN CONTINUAL UTILITY SERVICES (GAS, TELE, CATV, ELEC., WATER, SEWER, STORM SEWER, ETC.) TO ANY ADJACENT DEVELOPMENT. WHERE CONSTRUCTION IS IN THE PROXIMITY OF A UTILITY, THE CONTRACTOR WILL TAKE PRECAUTION TO PROTECT AND/OR SUPPORT THE UTILITY.
- CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- NOTIFY OWNER, HOMEOWNER'S ASSOCIATED, AND UTILITY PURVEYOR (IF APPLICABLE) A MIN. OF 72 HOURS IN ADVANCE OF ANY UTILITY SHUTDOWN.
- CONTRACTOR SHALL REFERENCE LANDSCAPE PLANS FOR TREE PROTECTION / PRESERVATION REQUIREMENTS.
- MATCH GRADE AT PROPERTY LINE UNLESS OTHERWISE NOTED.
- ACHIEVE GRADE CHANGES WITH SMOOTH TRANSITIONS.
- FINAL PAVING SURFACES TO BE FLOOD TESTED OR OBSERVED DURING RAINFALL. ANY PONDING AREAS TO BE CORRECTED / ELIMINATED.
- REFER TO PAVEMENT MARKING / SIGNAGE / PARKING PLAN SHEETS, IF ANY, FOR ADDITIONAL INFORMATION.
- SURFACE DRAINAGE AND UTILITY FEATURES SHOWN FOR REFERENCE ONLY.
- GUTTER (G) ELEVATIONS SHOWN TO BE FOLLOWED AS SHOWN ON PLAN.
- TYPICAL 6" CURB TO BE CONSTRUCTED BASED ON GUTTER ELEVATION SHOWN, UNLESS OTHERWISE NOTED.



BENCHMARKS / CONTROL POINT DATA:

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM #1	13721546.32	2139508.04	717.36'	COTTON SPINDLE IN POWER POLE
CP #1	13721575.08	2139667.89	715.79'	CP 1 MAGNAIL
CP #2	13721642.34	2139615.30	716.47'	CP 2 MAGNAIL
CP #3	13721553.02	2139507.09	716.60'	CP 3 MAGNAIL

ZONE: TEXAS SOUTH CENTRAL, NAD83
COORDINATES: GRID COORDINATE
SCALE FACTOR = 1.00016



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CONTACT	MAIN OFFICE	BRANCH OFFICE
WWW.MSNGR.COM PHONE: (830) 228-5446 FAX: (830) 885-2170	P.O. BOX 910 6477 FM 311 SPRING BRANCH, TX 78070	12719 SPECTRUM DR., STE. 100 SAN ANTONIO, TX 78249 PHONE: (210) 342-6700
CONTACT: LANCE KLEIN, P.E.		PROJECT #: 1750LST.002

LOK Properties - Broadway

5410 Broadway Street
Alamo Heights, Texas 78209

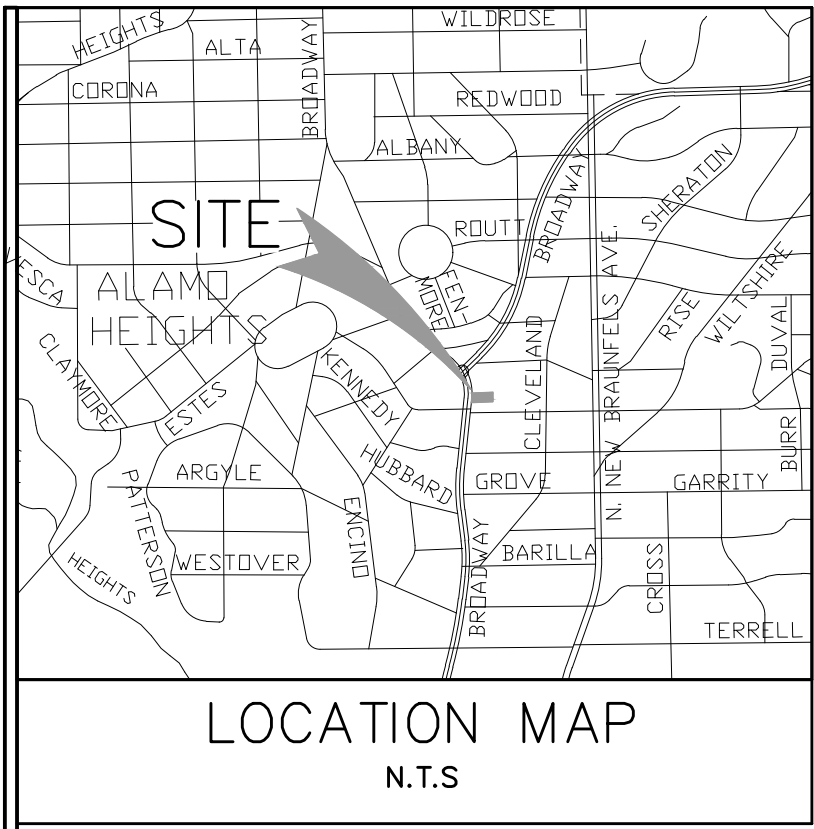
REVISIONS		
No.	Description	Date

PROJECT NO. 2017080
18 JULY 2018

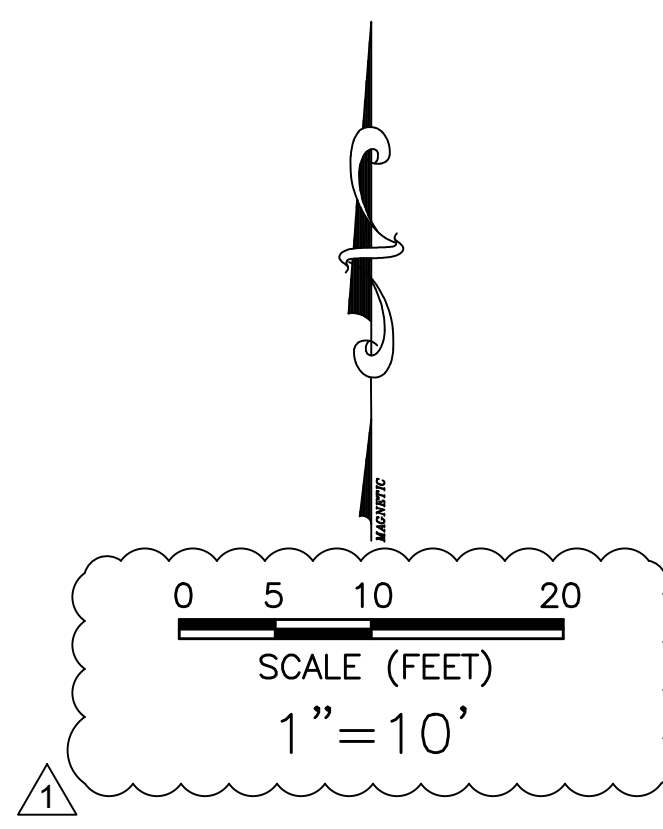
GRADING PLAN

SHEET
C04.1

5 OF 11 SHEETS

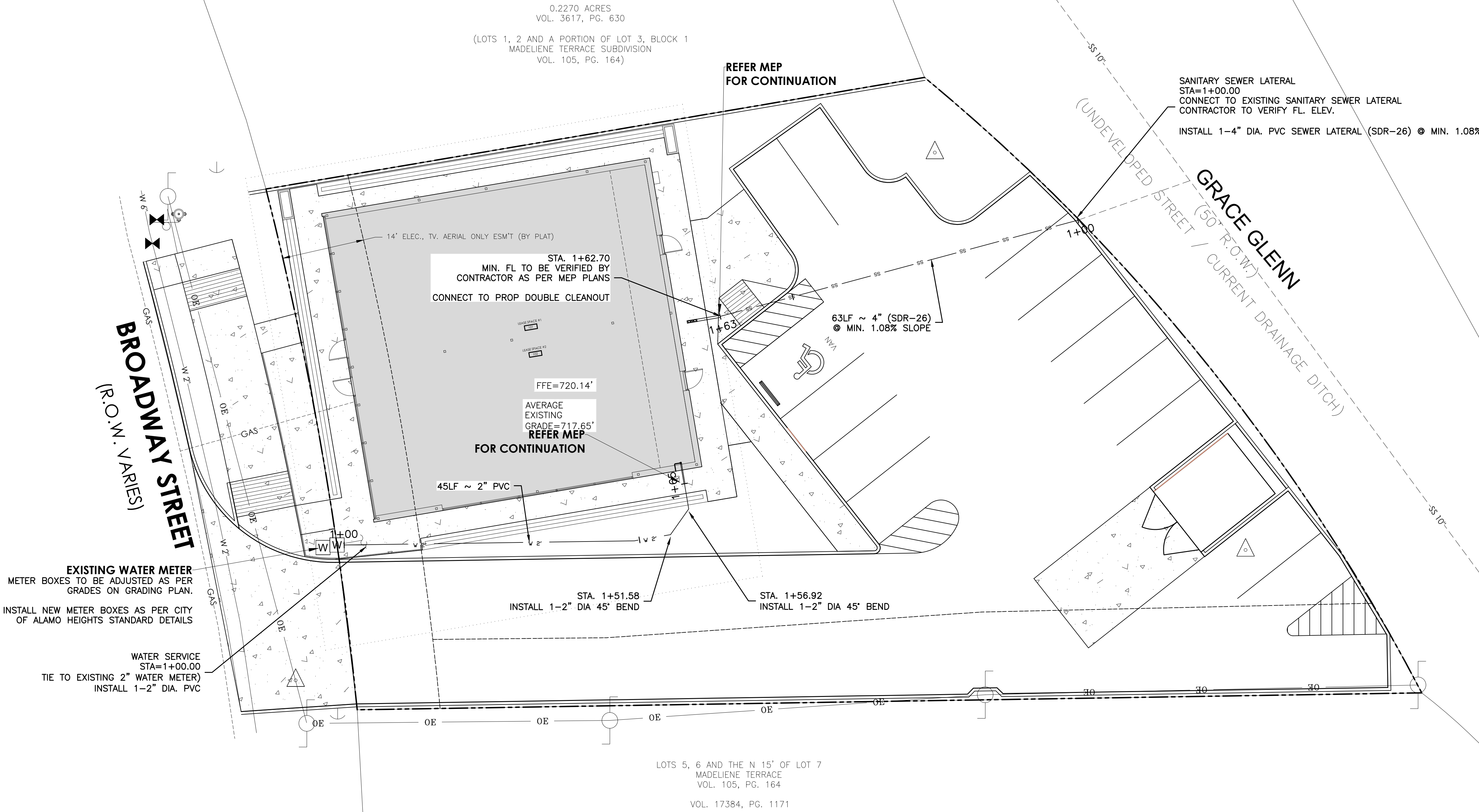


THE REVISIONS TO THIS PLAN SHEET UNDER THE SEAL OF LANCE KLEIN, P.E. PERTAINS TO CHANGES SHOWN WITHIN THE CLOUDED AREAS. REVISIONS WERE MADE BASED ON CITY REVIEW COMMENTS. THE UNMODIFIED PORTIONS OF THIS SHEET REMAIN UNDER THE PERVIEW OF THE ENGINEER OF RECORD.



LEGEND:

- PROPERTY LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELEC. LINE
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING POWER POLE
- EXISTING TELE / COMM. PEDESTAL
- PROPOSED SEWER LATERAL
- PROPOSED WATER SERVICE
- PROPOSED IRRIGATION SERVICE



CAUTION!!
EXISTING GAS PIPELINES. CONTRACTOR TO CONTACT GAS COMPANIES FOR CONSTRUCTION



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TOTALLY RESPONSIBLE FOR COORDINATING THE LOCATION, AND PRESERVATION OF EXISTING DRY UTILITIES (ELECTRIC, TELEPHONE, CABLE, ETC.).

BENCHMARKS / CONTROL POINT DATA:

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
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ZONE: TEXAS SOUTH CENTRAL, NAD83
COORDINATES: GRID COORDINATE
SCALE FACTOR = 1.00016

GAS NOTE:

REQUIREMENT FOR CONSTRUCTION NEAR GAS:

- AN UNDERGROUND GAS LINE PASSES THROUGH / IS NEAR THE SUBJECT SITE.
- THE CONTRACTOR MUST TAKE EXTREME CAUTION WHEN WORKING NEAR EXISTING GAS LINE(S).
- THE CONTRACTOR MUST PROTECT THE EXISTING GAS LINE(S) AT ALL TIMES DURING CONSTRUCTION.

GENERAL NOTES:

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL BE APPROVED BY CLIENT AND COMPLY WITH THE FOLLOWING AS APPLICABLE:
 - A. CURRENT SAN ANTONIO WATER SYSTEM (SAWS) STANDARD SPECIFICATIONS FOR CONSTRUCTION
 - B. CURRENT SAWS UTILITY SERVICES REGULATIONS
 - C. CURRENT CPS GAS LINE REQUIREMENTS
 - D. CURRENT INTERNATIONAL BUILDING, PLUMBING & FIRE CODE.
- UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN, BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR SHALL UNCOVER KNOWN EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM THE PLANS OR DISCOVERY OF ADDITIONAL UTILITIES NOT SHOWN ON THE PLANS, PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND THE ENGINEER.
- ANY AND ALL DAMAGE TO EXISTING UTILITIES, STREETS, CURB INLETS, METER INSTALLATIONS, ETC., WHICH ARE TO REMAIN, CAUSED BY THE CONTRACTOR OR HIS REPRESENTATIVES FOR WHATEVER REASON, SHALL BE PROMPTLY REPAIRED OR REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- ALL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE MECHANICAL, ELECTRICAL & PLUMBING ENGINEERS.
- NO WATER JETTING WILL BE ALLOWED ON THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE PLAN OF RECORD DRAWING(S), WITH FINAL MEASUREMENTS, TYPE OF PIPE, FITTINGS AND APPURTENANCES TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF ALL UTILITY SYSTEMS. PLAN(S) SHALL BE DIMENSIONED TO ACCURATELY LOCATED BURIED FITTINGS.
- THE CONTRACTOR SHALL COMPLY WITH ALL NECESSARY GOVERNMENTAL REGULATIONS AND SHALL OBTAIN ALL REQUIRED PERMITS AND BEAR COST FOR THE SAME.
- CONTRACTOR TO SUPPORT AND KEEP INTACT STORM DRAINS AND INLET STRUCTURES, EXISTING DRAINAGE PATTERN AND FACILITIES ARE TO BE MAINTAINED THROUGHOUT PROJECT DURATION. ANY DAMAGES INCURRED WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL STABILIZED ALL DISTURBED SOIL AREAS IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN AND RE-SOD DISTURBED SOIL AREAS IN COMPLIANCE WITH LANDSCAPE PLANS OR WITH BERMUDA SODDING OR HYDROMULCH TO MATCH CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE REQUIRED TO COMMENCE CONSTRUCTION AND LAYING OF PIPE AT THE DOWNSTREAM END OF THE GRAVITY FLOW OUTFALL LINE AND PROCEED NON-STOP IN A FORWARD UPSTREAM DIRECTION. NO PIPE SHALL BE LAID WITHIN TEN (10') FEET OF ANY POINT WHERE EXCAVATION IS IN PROGRESS. PIPE LAYING SHALL BE PROCEED UPGRADE WITH THE TONGUE OR SPIGOT POINTING IN THE DIRECTION OF FLOW. PIPE SHALL BE LOWERED INTO THE TRENCH WITHOUT DISTURBING THE PREPARED FOUNDATION OR THE TRENCH SIDES.
- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES. CONTRACTOR'S FINDINGS ARE TO BE REPORTED TO THE ENGINEER PRIOR TO BEGINNING OF CONSTRUCTION OF UTILITIES.
- ALL EXCAVATION SHALL BE UNCLASSIFIED AND SHALL INCLUDE ALL MATERIAL ENCOUNTERED REGARDLESS OF THEIR NATURE OR THE MANNER IN WHICH THEY ARE REMOVED.
- ADJUST ALL EXISTING VALVES & UTILITIES TO REMAIN TO FINAL GRADE.
- WHEN PRESSURE UTILITY SYSTEMS ARE IN VERTICAL CONFLICT WITH GRAVITY UTILITY SYSTEMS, THE CONTRACTOR SHALL RE-ROUTE PRESSURE UTILITY SYSTEMS VERTICALLY AS NECESSARY FOR PROPOSED CONSTRUCTION.
- CONTRACTOR SHALL FURNISH ALL UTILITY PIPE FITTINGS, MATERIALS, EQUIPMENT, ETC. AS NECESSARY FOR PROPOSED CONSTRUCTION.
- CONTRACTOR SHALL INSTALL ALL GRAVITY LINES FROM DOWNSTREAM END TO UPSTREAM END.

SEWER NOTES:

- ALL PIPE TRENCHING, BEDDING AND BACKFILL SHALL BE DONE IN ACCORDANCE WITH APPROPRIATE ASTM / ANSI SPECIFICATIONS [REF. 30 TAC 317.2(A)(5), ASTM C12 (ANSI A106.2) OR ASTM D-2321 (ANSI K65.171)].
- TEST LINES & MANHOLES PER PROJECT SPECIFICATIONS.
- A MINIMUM OF 3 FT. OF COVER IS TO BE MAINTAINED OVER THE SANITARY SEWER LINES AND LATERALS UNLESS OTHERWISE SPECIFIED.
- UPON COMPLETION OF SANITARY SEWER CONSTRUCTION AND TRENCH BACKFILL, CONTRACTOR TO TELETYPE LINES OVER 100 LINEAR FEET OF NEW CONSTRUCTION AND PROVIDE TELETYPE TAPES FOR REVIEW AND ACCEPTANCE BY OWNER.
- ALL PROPOSED ON SITE SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC SEWER PIPE, SDR 26 (ASTM D3034) UNLESS SPECIFIED OTHERWISE.
- ALL MANHOLES, RINGS AND COVERS SHALL BE WATERTIGHT AND BOLTED.
- WHEN SEWER LINES OR MANHOLES ARE INSTALLED IN THE VICINITY OF WATER MAINS, SUCH INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE 'DESIGN CRITERIA FOR SEWAGE SYSTEMS' OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CITY PUBLIC SERVICE BOARD (C.P.S.B.) MUST MAINTAIN ACCESS TO ALL GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- ALL MANHOLE TOPS NOT LOCATED IN PAVEMENT WILL REQUIRE A CONCRETE COLLAR FINISHED 6" ABOVE FINISH GRADE, OTHERWISE COLLAR SHALL BE FLUSH WITH PAVING.
- CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING CONTINUAL SANITARY SEWER SERVICE AT ALL TIMES TO ANY EXISTING LINE.
- WHEN MANHOLES ARE INSTALLED IN NON-PAVED AREAS, THE RIM ELEVATIONS SHALL BE 3" ABOVE FINISHED GRADE.

WATER NOTES:

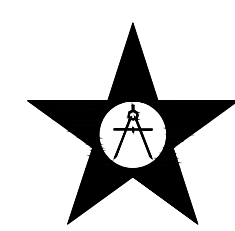
- ALL WATER SERVICES 3" Ø AND SMALLER SHALL BE PVC SCHEDULE 40 UNLESS OTHERWISE NOTED. ALL FITTINGS FOR USE WITH THIS PIPE SHALL BE SCHEDULE 40. NO MALE ADAPTORS SHALL BE SUED IN THIS CONSTRUCTION. MAKE-UP SHALL BE ACCOMPLISHED WITH SCHEDULE 40 MALE NIPPLES, CUT IN HALF.
- ALL NEW DOMESTIC WATER MAINS 4" Ø AND LARGER SHALL BE C-900 PVC CLASS 150, DR18 PIPE MATERIAL. DOMESTIC WATER MAIN SMALLER THAN 4" SHALL BE SCHEDULE 40 PVC. FIRE MAINS 6" Ø AND LARGER SHALL BE C-900 CLASS 200, DR14 PIPE MATERIAL. CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY BLOW-OFFS AND JUMPER CONNECTIONS AS NECESSARY AND/OR AS DIRECTED BY THE ENGINEER FOR WATER LINE TESTING. ALL WATER MAINS 800 FT. OR MORE TO BE MACHINE CHLORINATED. ALL WATER MAINS 800 FT. OR LESS TO BE CHLORINATED WITH HTH.
- THE CONTRACTOR SHALL INSTALL ANY BENDS, FITTINGS, ETC. IN THE WATER LINE AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- FOUR (4) FEET OF GROUND COVER IS TO BE MAINTAINED OVER THE WATER MAIN SERVICES OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED IF LESS THAN 4 FEET. WATER MAINS DEEPER THAN 48" WILL ONLY BE ALLOWED WHERE WATER MAINS OFFSET BELOW OTHER UTILITIES.
- CONTRACTOR SHALL PROVIDE CONCRETE THRUST BLOCKS AT ALL FITTINGS ON THE DOMESTIC AND FIRE LINES. REFERENCE PROJECT DETAILS.
- CONCRETE THRUST BLOCKING MAY BE USED, HOWEVER PIPE SHALL BE MECHANICALLY RESTRAINED AT ALL JOINTS THROUGHOUT VERTICAL OFFSETS / CROSSINGS THROUGH CASINGS AND WHERE CONGESTION PRECLUDES INSTALLATION OF SUFFICIENT BLOCKING.
- CONTRACTOR SHALL PROVIDE FOUR (4) CONCRETE FILLED STEEL POSTS BOLLARDS AT ALL NEW FIRE HYDRANTS IF SHOWN ON PLAN.

TRENCH EXCAVATION SAFETY PROTECTION:

- CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS, AND/OR PROCEDURES SHALL PROVIDE ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, CURRENT OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH CURRENT OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

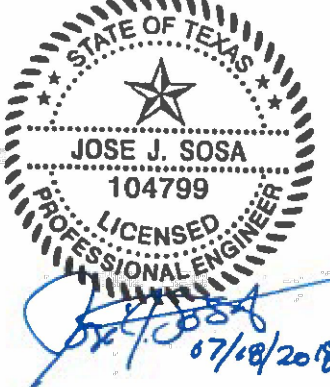
IRRIGATION NOTES:

- IRRIGATION LINES NOT SHOWN ON THIS PLAN. REFER TO LANDSCAPE / IRRIGATION PLANS.



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CONTACT	MAIN OFFICE	BRANCH OFFICE
WWW.MS-ENGINEERING.COM P.O. BOX 510 PHONE: (830) 228-5446 FAX: (830) 885-2170	6477 FM 311 SPRING BRANCH, TX 78070 PHONE: (210) 342-6700	12710 SPECTRUM DR., STE. 100 SAN ANTONIO, TX 78249 PHONE: (210) 342-6700
CONTACT: LANCE KLEIN, P.E.		PROJECT #: 1750SLT.002



824 BROADWAY ST. #110
SAN ANTONIO, TEXAS
78701-2405
210.240.8864
www.solstudioarchitects.us

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LOK Properties - Broadway

5410 Broadway Street
Alamo Heights, Texas 78209

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No.	Description	Date

PROJECT NO. 2017080

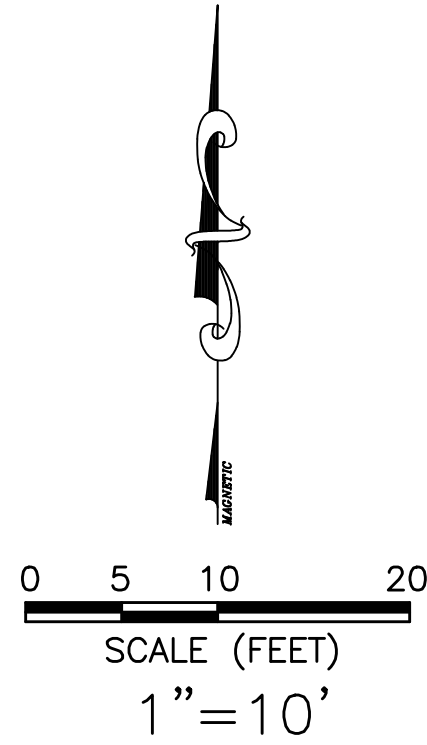
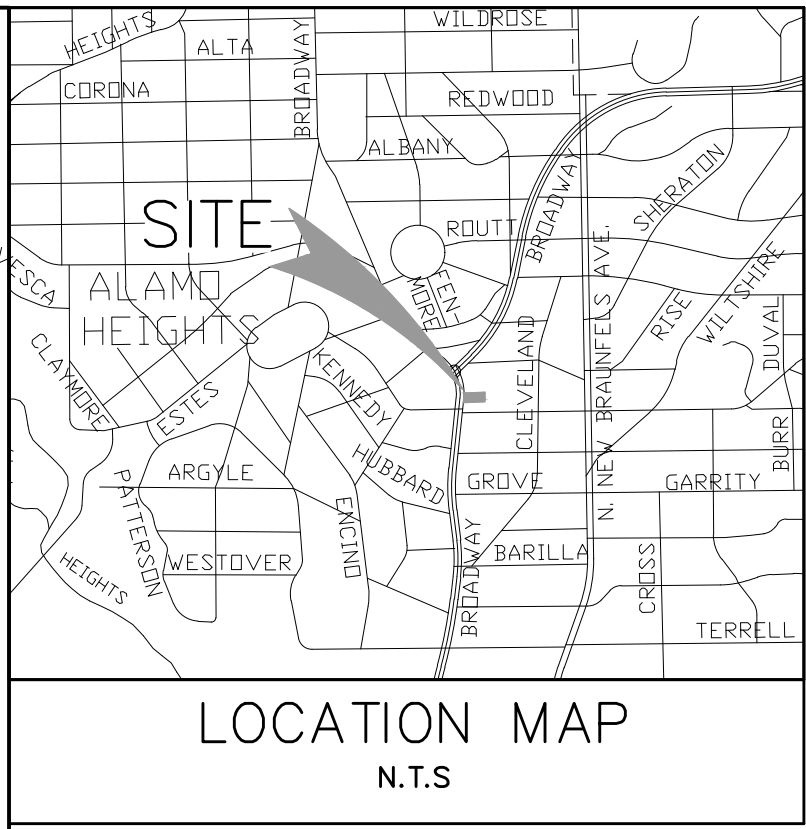
18 JULY 2018

UTILITY PLAN

SHEET

C05.1

6 OF 11 SHEETS

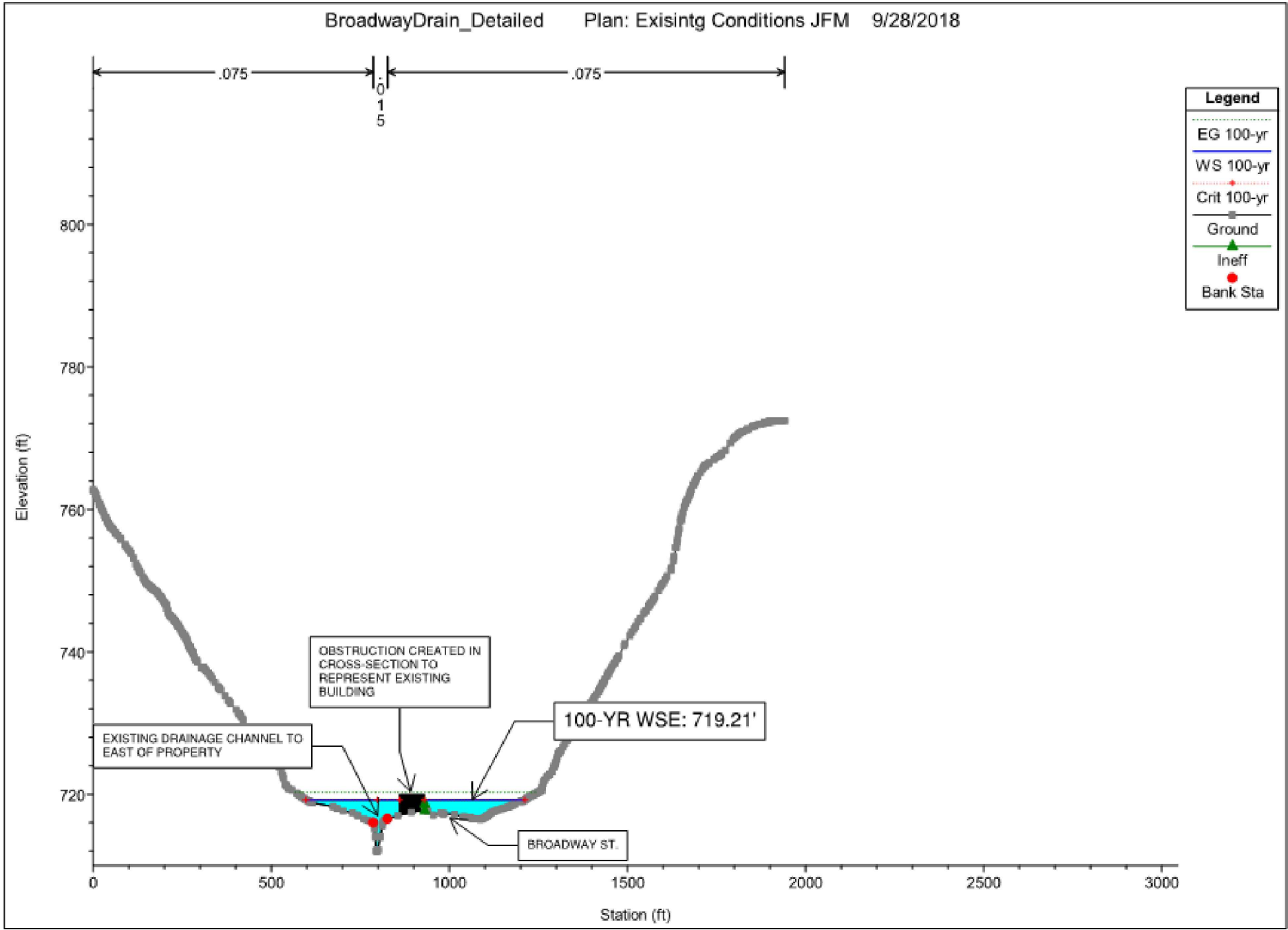
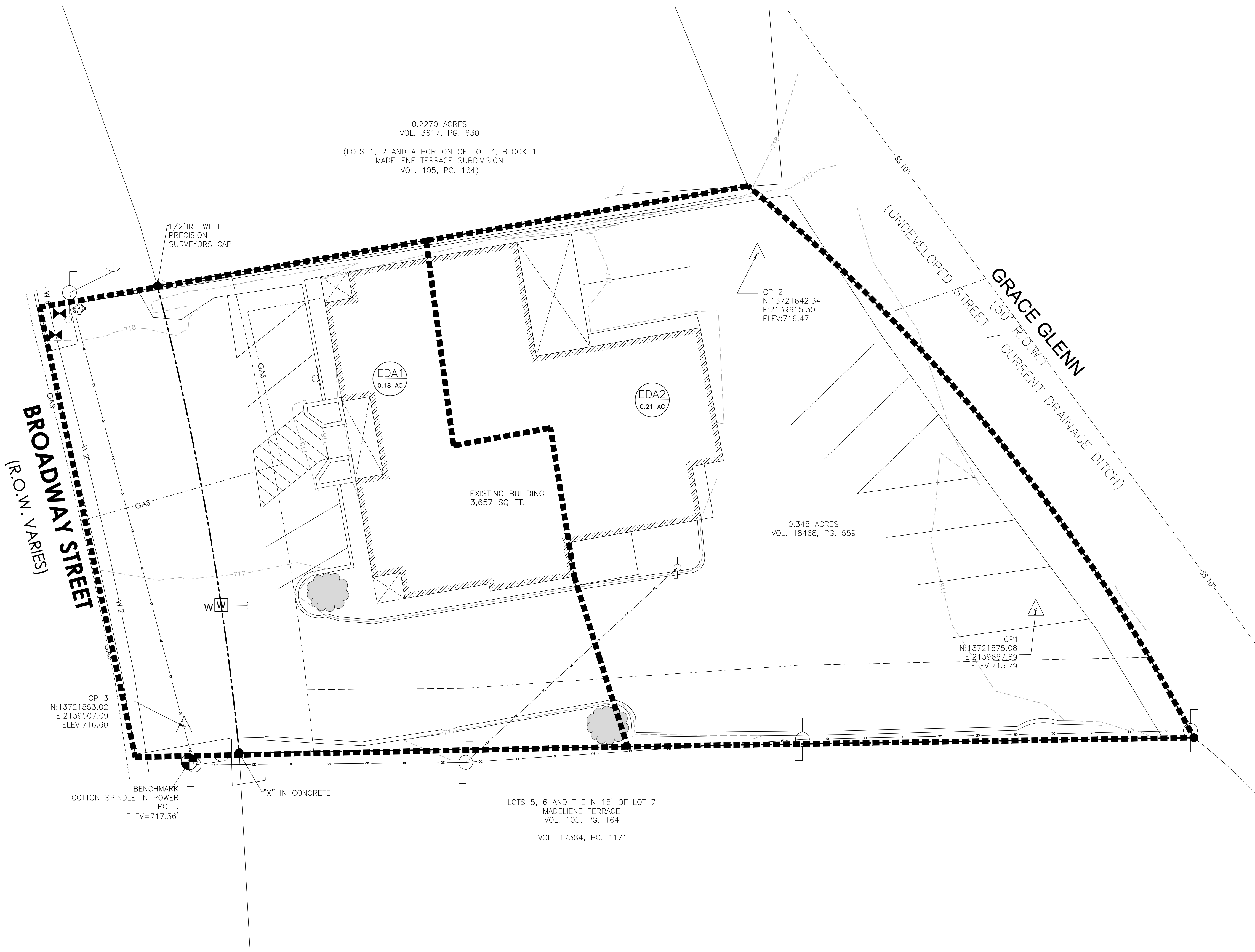


LEGEND:

- PROPERTY LINE
EXISTING CURB
EXISTING RETAINING WALL
EXISTING OVERHEAD ELEC. LINE
EXISTING FIRE HYDRANT
EXISTING WATER VALVE
EXISTING WATER METER
EXISTING POWER POLE
EXISTING GUY WIRE
EXISTING IRON PIN FOUND (IPF)
BENCHMARK



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DRAINAGE AND FLOODPLAIN NOTES:

A DRAINAGE ANALYSIS WAS PERFORMED TO ASSESS THE IMPACT TO STORMWATER DISCHARGES DUE TO THE CONSTRUCTION OF THIS PROJECT. IT WAS DETERMINED THAT THE PROPOSED CONDITIONS WILL NOT INCREASE THE AMOUNT OF IMPERVIOUS COVER ON THE SITE. THEREFORE, IT CAN BE SEEN IN THE TABLES BELOW THAT THE CUMULATIVE DISCHARGES FOR THE SITE WILL NOT INCREASE.

A HYDRAULIC ANALYSIS WAS PERFORMED TO ASSESS THE IMPACT TO THE FEMA FLOODPLAIN DUE TO THE CONSTRUCTION OF THIS PROJECT. BLOCKED OBSTRUCTIONS WERE ADDED TO THE EFFECTIVE HEC-RAS MODEL FOR BOTH EXISTING AND PROPOSED CONDITIONS TO REPRESENT THE GEOMETRY OF THE BUILDINGS. THE RESULTS OF THE ANALYSIS SHOWS THAT THE EXISTING 100-YEAR WATER SURFACE ELEVATION IS 719.21'. THE PROPOSED 100-YEAR WATER SURFACE ELEVATIONS IS CALCULATED TO BE 719.20'. THEREFORE, IT CAN BE SEEN THAT THIS PROJECT WILL HAVE NO IMPACT (NO-RISE) TO THE FEMA FLOODPLAIN.

EXISTING CONDITIONS RUNOFF

Rainfall Runoff - Rational Method Calculations - TxDOT (BEXAR County)																	
					Intensity (in/hr)								Flow (cfs)				
Drainage Area	Contributing Area (Ac.)	Runoff Coefficient, C	Sum of C/A	Time of Concentration TC (Min)	2 yr	5 yr	10 yr	25 yr	50 yr	100 yr	2 yr	5 yr	10 yr	25 yr	50 yr	100 yr	
EDA1	0.18	0.9	0.16	10.00	5.11	6.73	7.83	9.24	10.73	12.13	0.83	1.09	1.27	1.50	1.74	1.96	
EDA2	0.21	0.9	0.19	10.00	5.11	6.73	7.83	9.24	10.73	12.13	0.97	1.27	1.48	1.75	2.03	2.30	

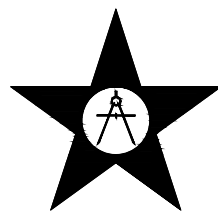
PROPOSED CONDITIONS RUNOFF

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					2 yr	5 yr	10 yr	25 yr	50 yr	100 yr	2 yr	5 yr	10 yr	25 yr	50 yr	100 yr
PDA 1	0.13	0.9	0.12	10.00	5.11	6.73	7.83	9.24	10.73	12.13	0.60	0.79	0.92	1.08	1.26	1.42
PDA 2	0.26	0.9	0.23	10.00	5.11	6.73	7.83	9.24	10.73	12.13	1.20	1.57	1.83	2.16	2.51	2.84

BENCHMARKS / CONTROL POINT DATA:

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BM #1	13721546.32	2139508.04	717.36'	COTTON SPINDLE IN POWER POLE
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SURVEYING FIRM # 10044209

CONTACT
WWW.MSENGR.COM
PHONE: (830) 228-5446
FAX: (830) 885-2170
CONTACT: LANCE KLEIN, P.E.

MAIN OFFICE
P.O. BOX 910
6477 FM 311
SPRING BRANCH, TX 78070

BRANCH OFFICE
12719 SPECTRUM DR., STE. 100
SAN ANTONIO, TX 78249
PHONE: (210) 342-6700
PROJECT #: 1750LSLT.002

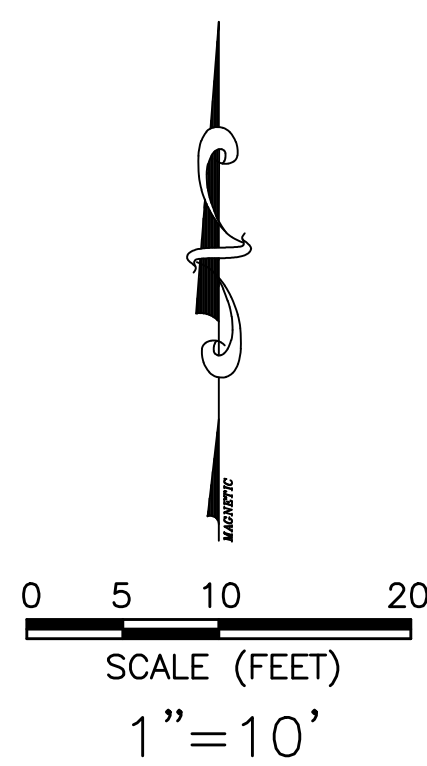
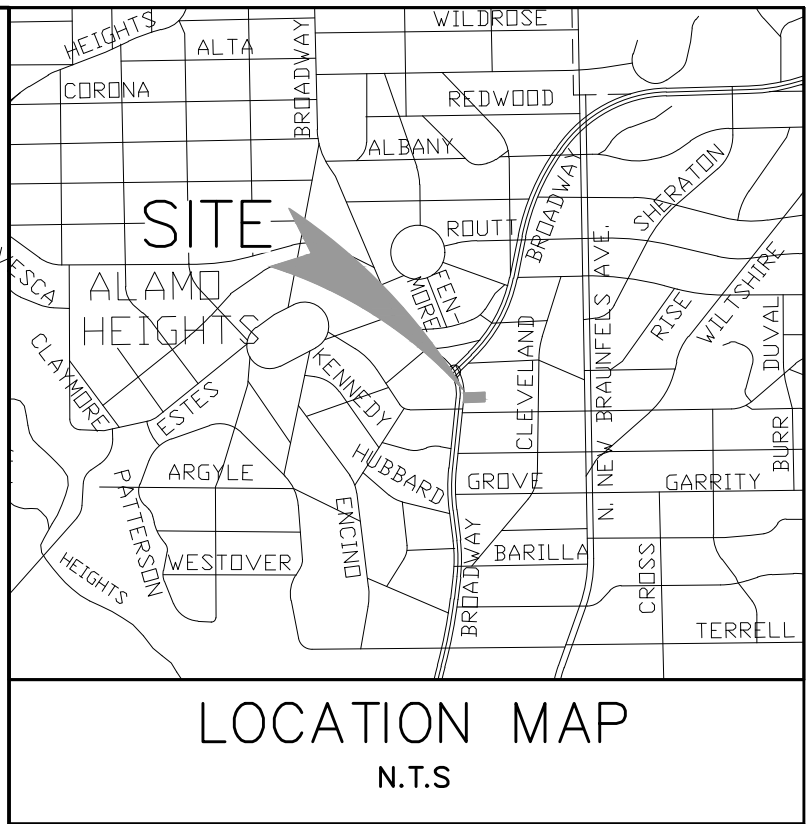
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REVISIONS		
No.	Description	Date
-	-	-

PROJECT NO. 2017080
18 JULY 2018

EXISTING DRAINAGE AREA
MAP

SHEET
C07.0
10 OF 11 SHEETS



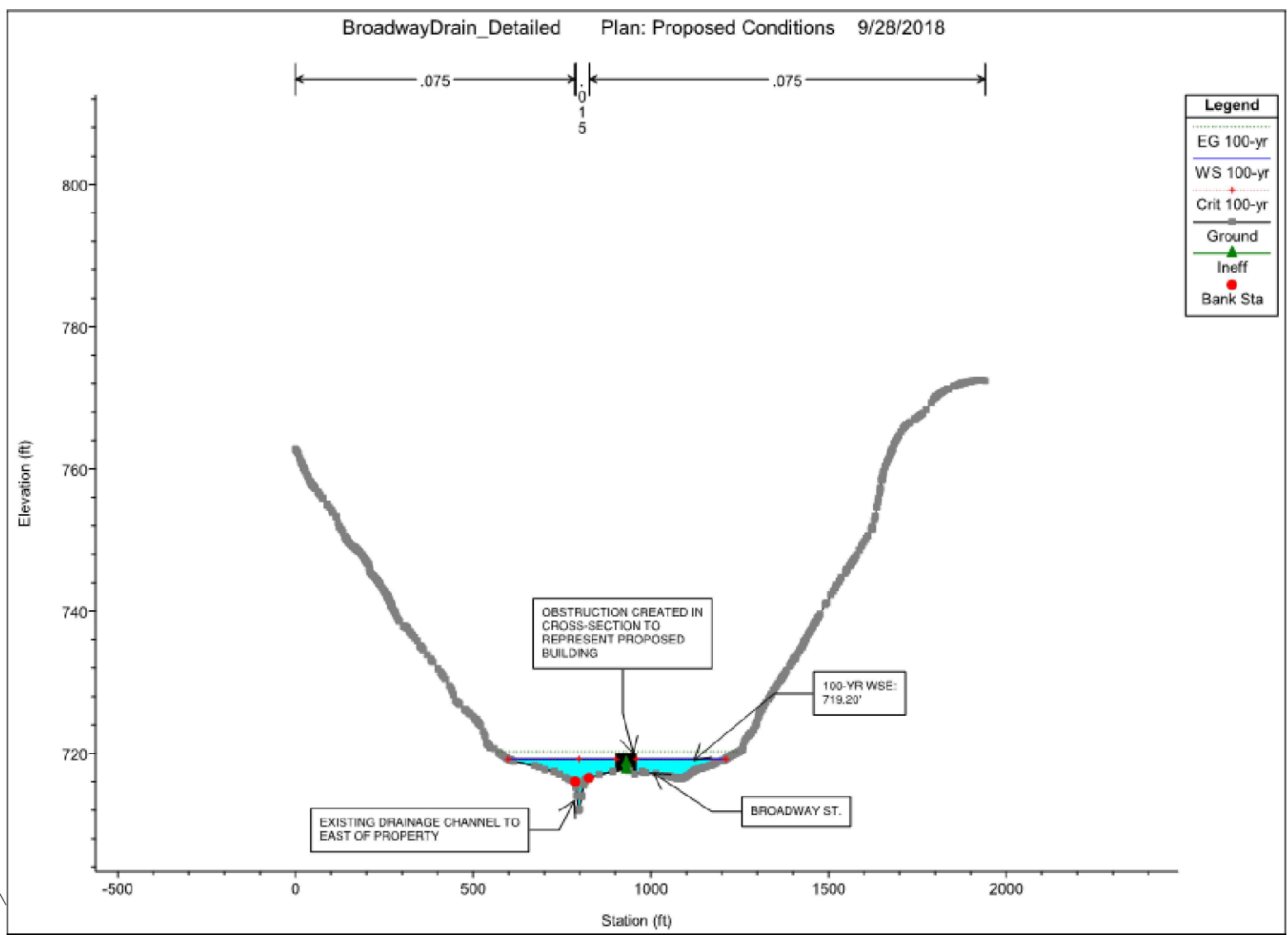
- LEGEND:
- PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SPOT ELEVATION
 - TOP OF RETAINING WALL ELEVATION
 - GUTTER ELEVATION
 - FINISH FLOOR ELEVATION
 - PROPOSED STRUCTURAL SLAB
 - PROPOSED CONCRETE SIDEWALK



SOL STUDIO
ARCHITECTS

824 BROADWAY ST. #110
SAN ANTONIO, TEXAS
78105
210.240.8864
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DRAINAGE AND FLOODPLAIN NOTES:

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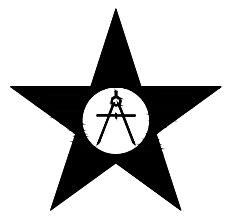
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TEXAS REGISTERED ENGINEERING FIRM # 1304

CONTACT	MAIN OFFICE	BRANCH OFFICE
WWW.MSNGR.COM P.O. BOX 970 12719 SPECTRUM DR., STE. 100 SAN ANTONIO, TX 78249 PHONE: (830) 228-5446 FAX: (830) 885-2170	6477 FM 311 SPRING BRANCH, TX 78070 PHONE: (210) 342-6700	
CONTACT: LANCE KLEIN, P.E.		PROJECT #: 1750LSLT.002

LOK Properties - Broadway

5410 Broadway Street
Alamo Heights, Texas 78209

REVISIONS

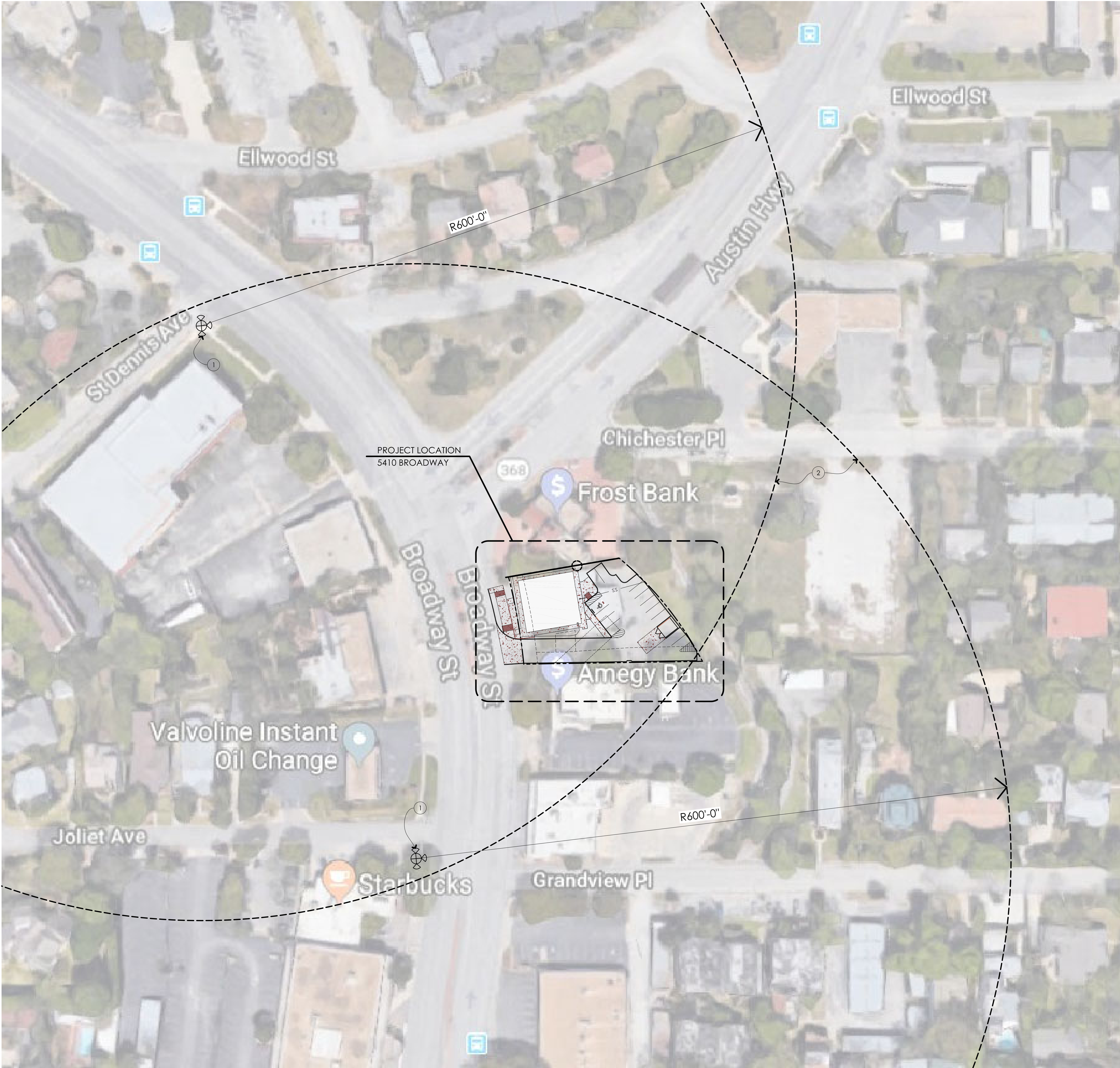
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PROJECT NO. 2017080
18 JULY 2018

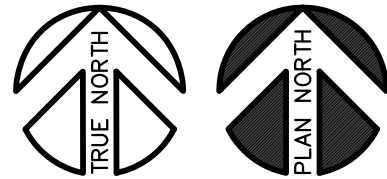
PROPOSED
DRAINAGE AREA
MAP

SHEET
C07.1

11 OF 11 SHEETS



1 FIRE PROTECTION PLAN
SCALE: 1:50



KEY NOTES

- 1 APPROXIMATE EXISTING FIRE HYDRANT LOCATION
- 2 COVERAGE OVER PROPOSED BUILDING

LEGEND

- FE FIRE EXTINGUISHER CABINET
- EXIT ACCESS PATH (WITH TRAVEL DISTANCE IN FEET) MAX TRAVEL DISTANCE = 100'
- WALL PARTITION TYPE SYMBOL
- FIRE HYDRANT

REVISED PERMIT DRAWINGS

REVISIONS		
No.	Description	Date
1	PERMIT REVISIONS	10.15.18
PROJECT NO. 2017080		
15 OCTOBER 2018		
FIRE PROTECTION PLAN		
SHEET		
A110		
2 OF 12 SHEETS		

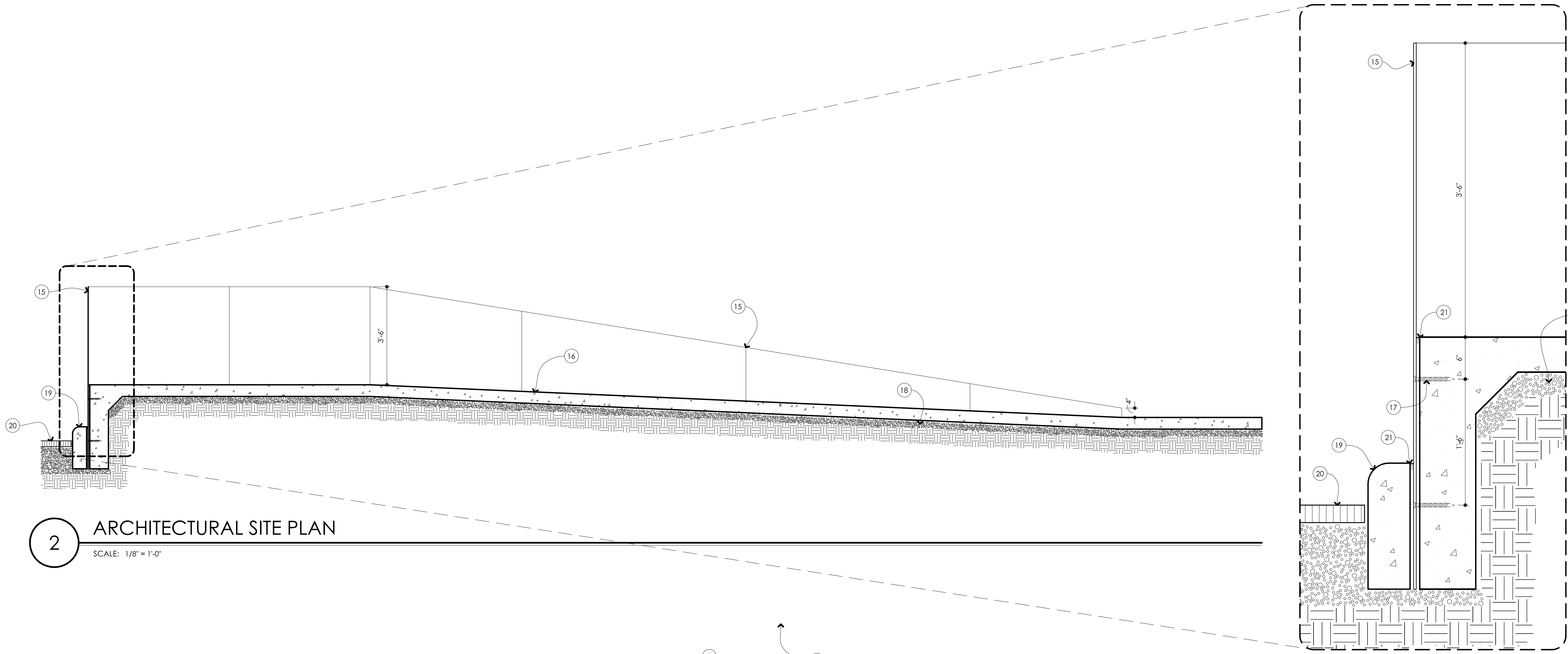
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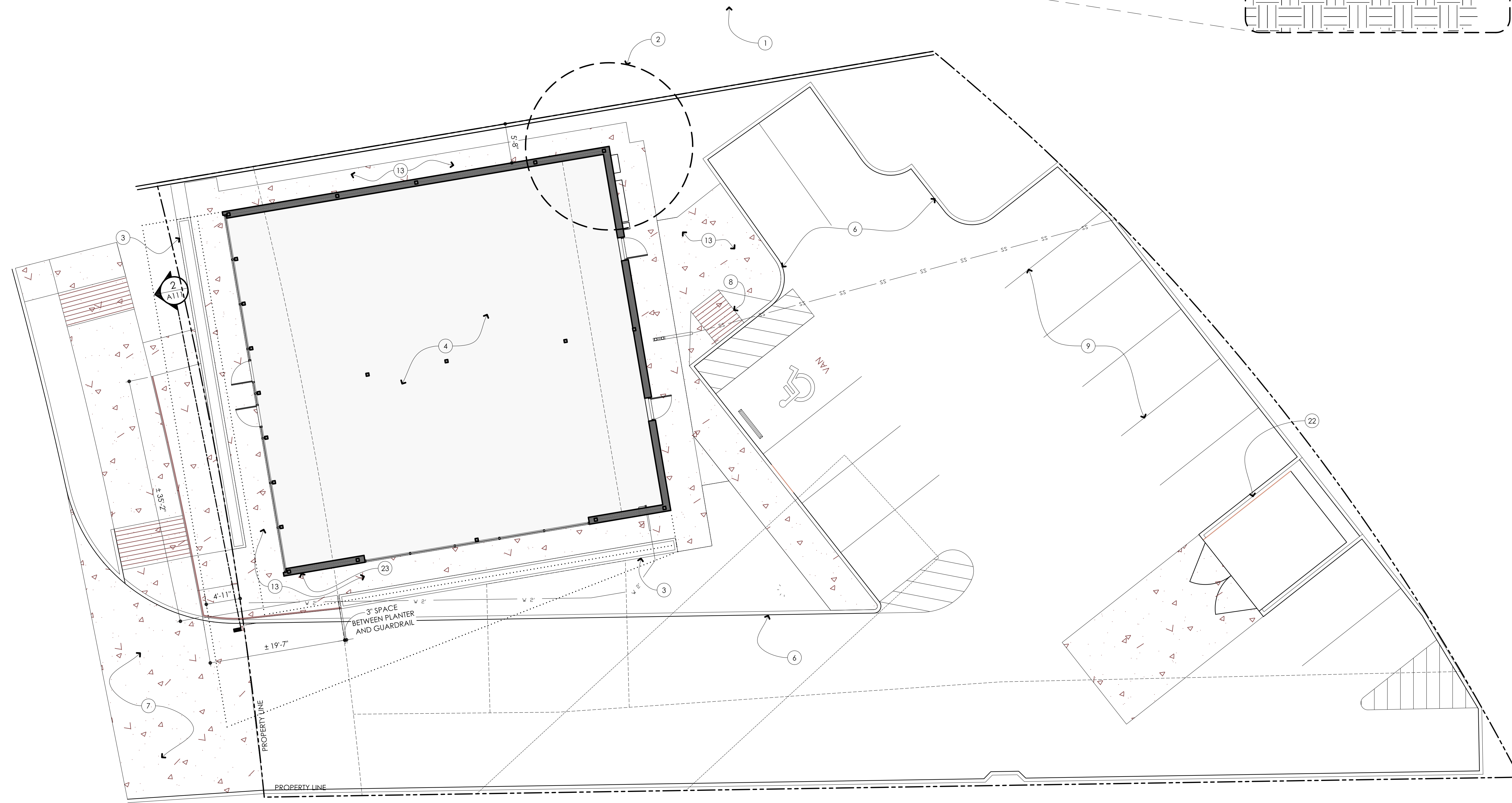
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2 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES

- EXISTING BUILDING ON ADJACENT LOT TO REMAIN
- RADIUS OF REQUIRED 1 HOUR FIRE RATED WALL / UL#U404
- CONCRETE PLANTER
- NEW BUILDING / SEE NEW CONSTRUCTION PLAN
-
- CURB / SEE CIVIL DRAWINGS
- CONCRETE APRON / SEE CIVIL DRAWINGS
- CONCRETE HANDICAP CURB RAMP / SEE CIVIL DRAWINGS
- NEW PARKING STRIPING
-
- EXISTING ALLEYWAY TO REMAIN
- EXISTING TREE TO REMAIN / SEE LANDSCAPE ARCHITECT DRAWINGS
- CONCRETE FLATWORK / SEE CIVIL DRAWINGS
- SITE IMPROVEMENTS / SEE CIVIL DRAWING
- 3/8" CORTEN STEEL GUARDRAIL PANEL ANCHORED TO CONCRETE FOUNDATION / SLOPE IN ACCORDANCE WITH ELEVATION DRAWING
- CONCRETE SLOPED PAVEMENT / SEE CIVIL DRAWINGS
- CONNECT CORTEN STEEL GUARDRAIL PANEL TO FACE OF CONCRETE USING 1/2" EPOXY EMBEDDED ANCHOR BOLTS AT 3'-0" O.C. MAX.
- COMPACTED FILL OVER COMPACTED GRADE / SEE CIVIL AND STRUCTURAL DRAWINGS
- CONCRETE CURB POURED AFTER INSTALLATION OF GUARDRAILS
- ASPHALT PAVEMENT / SEE CIVIL DRAWINGS
- SEALANT OVER COMPRESSIBLE FILLER / TOP BETWEEN CHANGE IN MATERIAL
- FUTURE DUMPSTER AND ENCLOSURE / N.I.C.
- INSTALL KNOX BOX AT LOCATION INDICATED ON DRAWINGS PER FIRE MARSHALL DIRECTION

LEGEND

- FE FIRE EXTINGUISHER CABINET
EXIT ACCESS PATH (WITH TRAVEL DISTANCE IN FEET) MAX TRAVEL DISTANCE = 100'
A WALL PARTITION TYPE SYMBOL



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PROJECT NO. 2017080
15 OCTOBER 2018

ARCHITECTURAL SITE PLAN

SHEET

A111

3 OF 12 SHEETS

REVISED PERMIT DRAWINGS

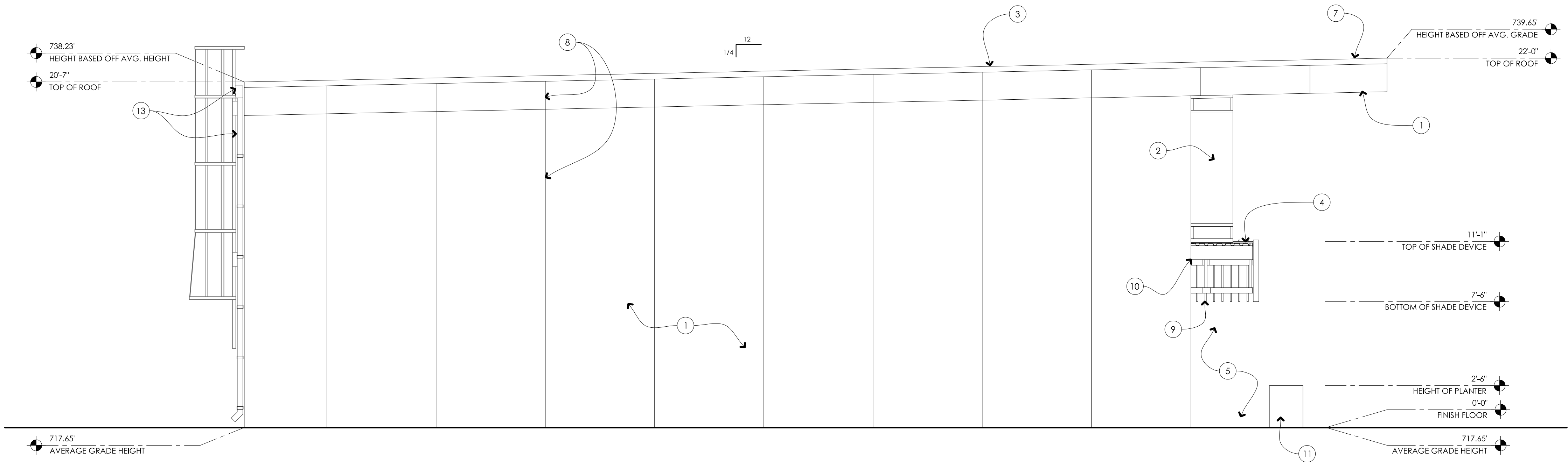


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KEY NOTES

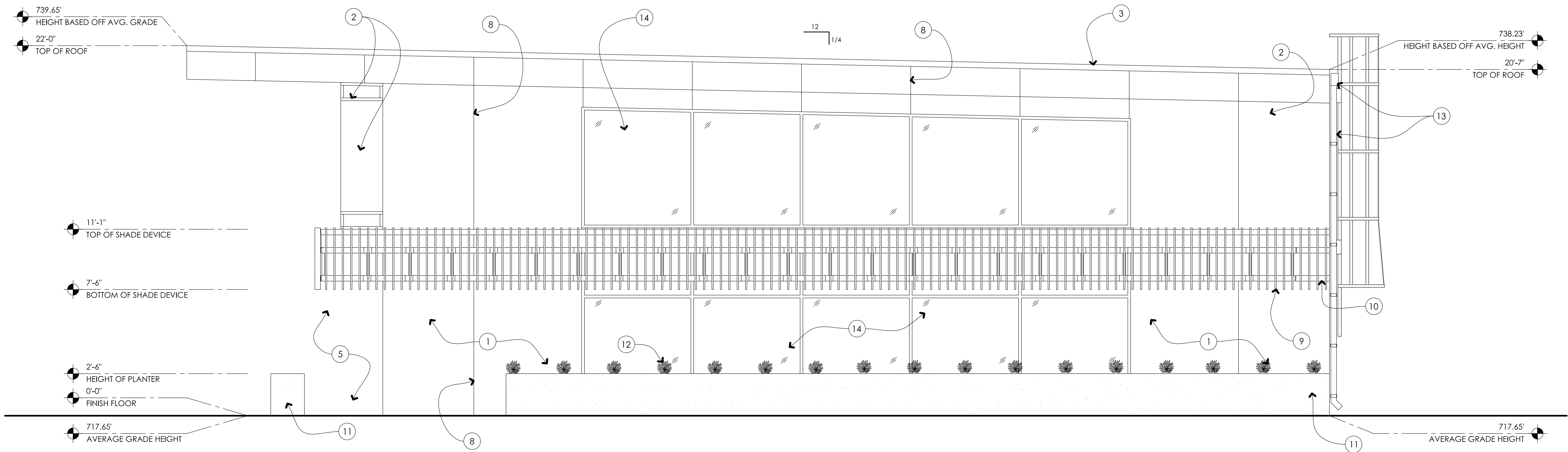
- 3-COAT CEMENT PLASTER SYSTEM OVER GALVANIZED SELF-FURRING LATH
- PERFORATED METAL SHADE DEVICES / SEE WALL SECTIONS
- SINGLE PLY MEMBRANE ROOFING / SEE ROOF PLAN AND WALL SECTIONS
- ROOF OF SHADE DEVICE
- OPEN TO BEYOND
-
- PRE-FINISHED METAL ROOFING FLASHING / SEE WALL SECTIONS
- CONTROL JOINTS / ALIGN WITH STOREFRONT WINDOW SYSTEM
- WOOD SLATS AT SHADE DEVICE / SEE WALL SECTIONS
- STEEL FRAME TO SUPPORT SHADE DEVICE / SEE WALL SECTIONS / PAINT
- CONCRETE PLANTER
- INSTALL PLANTINGS BETWEEN UPLIGHTING AT PLANTER
- PRE-FINISHED METAL GUTTER AND DOWNSPOUT SYSTEM ANCHORED TO NEAREST WALL AT 4'-0" O.C. MAX.
- NEW STOREFRONT GLAZED WINDOW SYSTEM / SEE WINDOW SCHEDULE
- CEMENT PLASTER HEADER TO TRANSITION BETWEEN SOFFIT AND STOREFRONT WINDOW / PAINT



1

NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



2

SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

REVISED PERMIT DRAWINGS

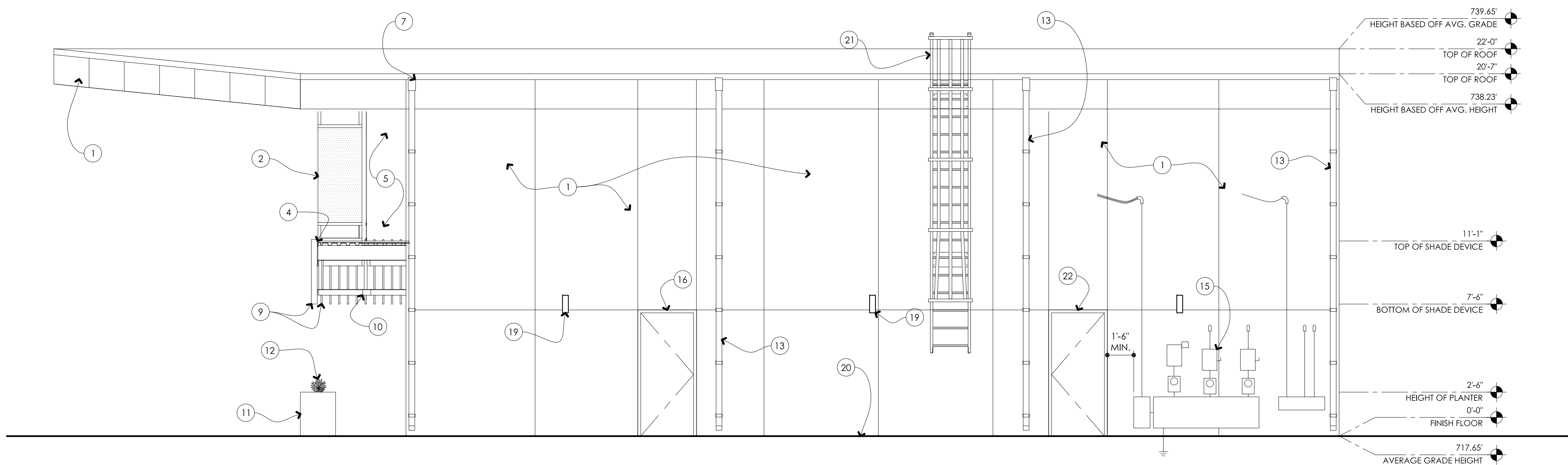
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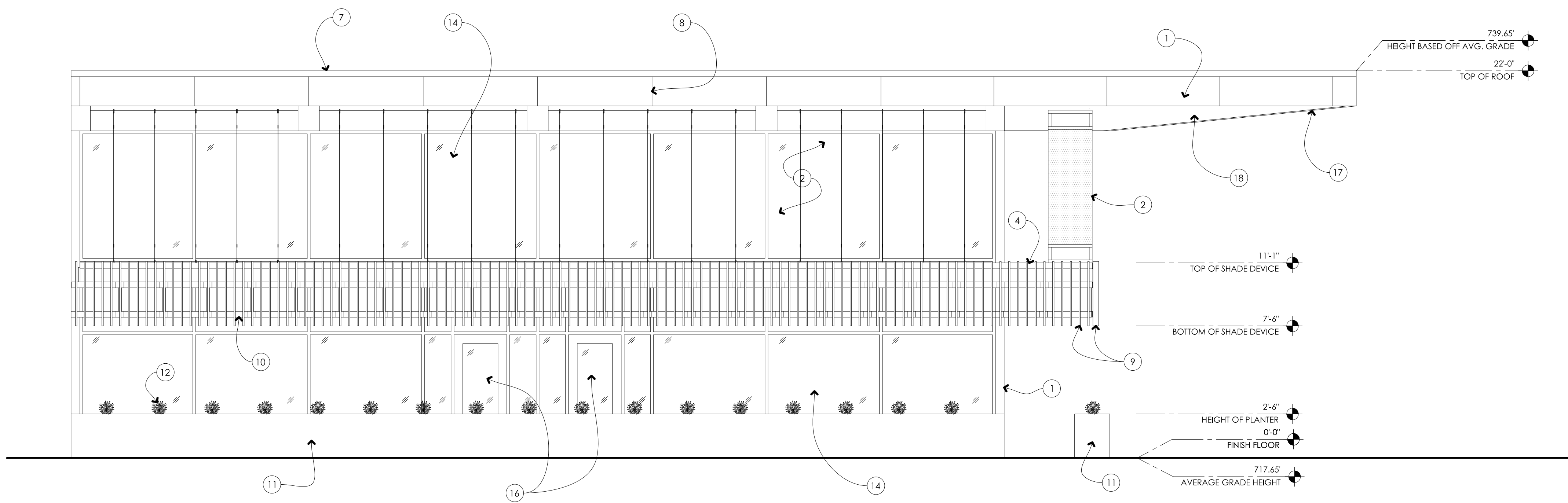
PROJECT NO. 2017080
15 OCTOBER 2018

EXTERIOR ELEVATION

SHEET
A410
8 OF 12 SHEETS



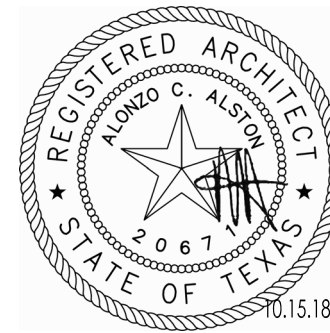
1 EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

- 3-COAT CEMENT PLASTER SYSTEM OVER GALVANIZED SELF-FURRING LATH
- PERFORATED METAL SHADE DEVICES / SEE WALL SECTION
- SINGLE PLY MEMBRANE ROOFING / SEE ROOF PLAN AND WALL SECTIONS
- ROOF OF SHADE DEVICE
- OPEN TO BEYOND
-
- PRE-FINISHED METAL ROOFING FLASHING / SEE WALL SECTIONS
- CONTROL JOINTS / ALIGN WITH SHADE DEVICES
- WOOD SLATS AT SHADE DEVICE / SEE WALL SECTIONS
- STEEL FRAME TO SUPPORT SHADE DEVICE / SEE WALL SECTIONS / PAINT
- CONCRETE PLANTER
- INSTALL PLANTINGS BETWEEN UPLIGHTING AT PLANTER
- PRE-FINISHED METAL GUTTER AND DOWNSPOUT SYSTEM ANCHORED TO NEAREST WALL AT 4'-0" O.C. MAX.
- NEW STOREFRONT GLAZED WINDOW SYSTEM / SEE WINDOW SCHEDULE
- ELECTRICAL METERS, PANELS, ETC. / SEE FLOOR PLAN AND MEP DRAWINGS
- DOOR, FRAME AND HARDWARE / SEE FLOOR PLAN AND DOOR SCHEDULE
- PRE-FINISHED FLASHING TRIM AT EDGE OF UNDERSIDE OF SOFFIT / SEE SECTION AND RCP
- TRESPA SOFFIT FINISH MATERIAL / SE RCP AND SECTIONS
- SCONCE LIGHTING / SEE RCP AND MEP DRAWINGS
- CONCRETE FOUNDATION PAVEMENT / SEE FLOOR PLAN / SEE CIVIL PLANS AND STRUCTURAL PLANS / SLOPE AWAY FROM BUILDING AT 1:48 MAX.
- INSTALL PREFABRICATED STEEL ROOF ACCESS LADDER WITH SAFETY CAGE ON EXTERIOR OF BUILDING THROUGH WALL TO SOLID BLOCKING FOR SUPPORT
- FUTURE DOOR LOCATION / INSTALL FRAMING TO ALLOW FOR FUTURE INSTALLATION OF DOOR / INSTALL EXTERIOR WALL FINISH TO MATCH ADJACENT WALL FINISHES



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No.	Description	Date
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EXTERIOR ELEVATION

SHEET
A411

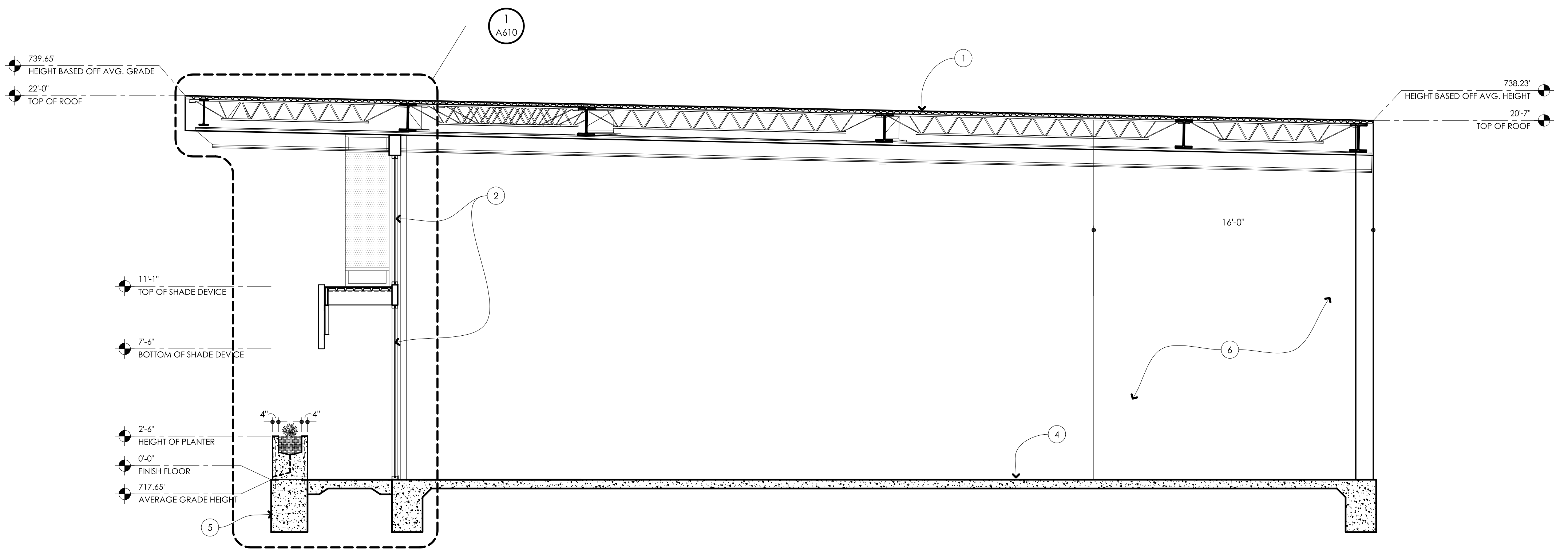
9 OF 12 SHEETS



1 FRONT VIEW OF EXISTING CONDITIONS
SCALE: 1/4" = 1'-0"



2 SIDE VIEW OF EXISTING CONDITIONS
SCALE: 1/4" = 1'-0"



5 BUILDING SECTION
SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 TPO ROOFING SYSTEM OVER RIGID BOARD OVER 3" R17.4 RIGID INSULATION OVER STEEL DECK
- 2 TINTED DOUBLE GLAZED STOREFRONT SYSTEM WITH A U-FACTOR OF .50 AND A SHGC OF .25
- 3 3-COAT CEMENT PLASTER WALL OVER GALVANIZED METAL LATH OVER 30# BUILDING FELT OVER 5/8" SHEATHING OVER 6" (NON-BEARING) METAL STUD FRAMED WALL (TO DECK) WITH R-19 BATT INSULATION INSTALLED WITHIN CAVITY BETWEEN STUDS / TYP.
- 4 CONCRETE FOUNDATION / SEE STRUCTURAL DRAWINGS
- 5 INSTALL 3' DEEP CONCRETE FOUNDATION AT PLANTERS / TYP.
- 6 EXTENT OF FIRE RATED WALL CONSTRUCTION



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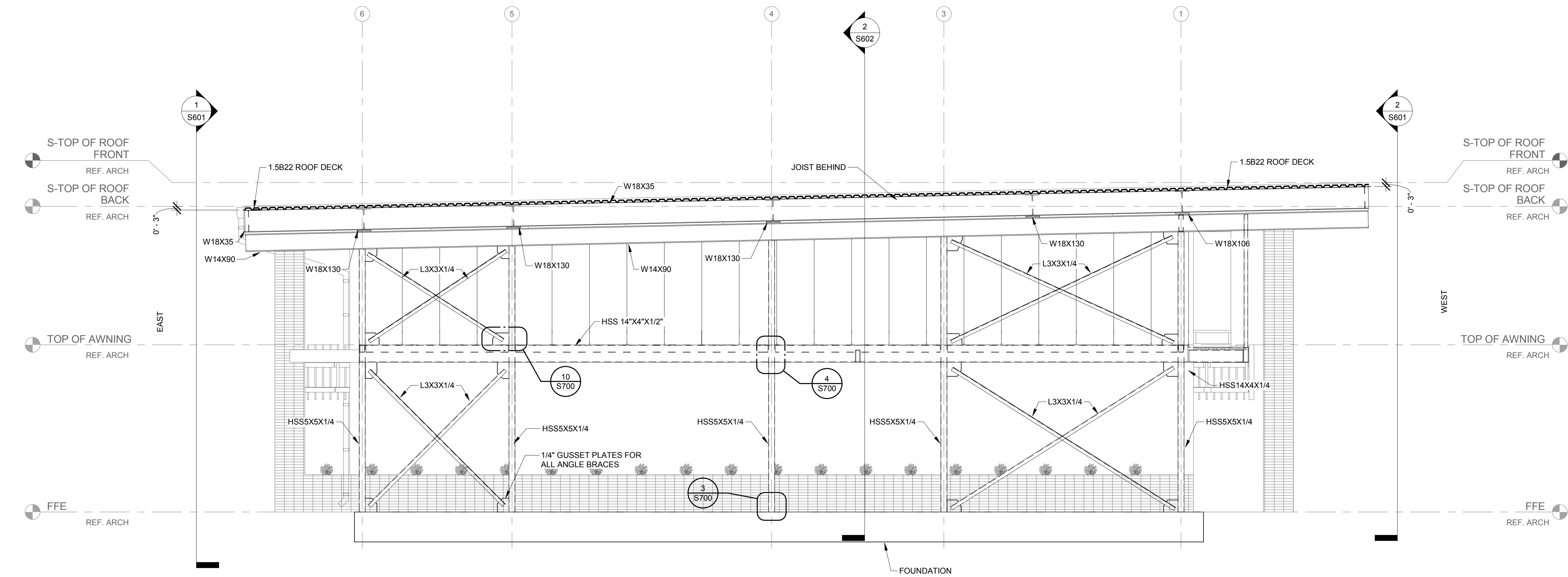
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1	PERMIT REVISIONS	10.15.18

PROJECT NO. 201708D
15 OCTOBER 2018

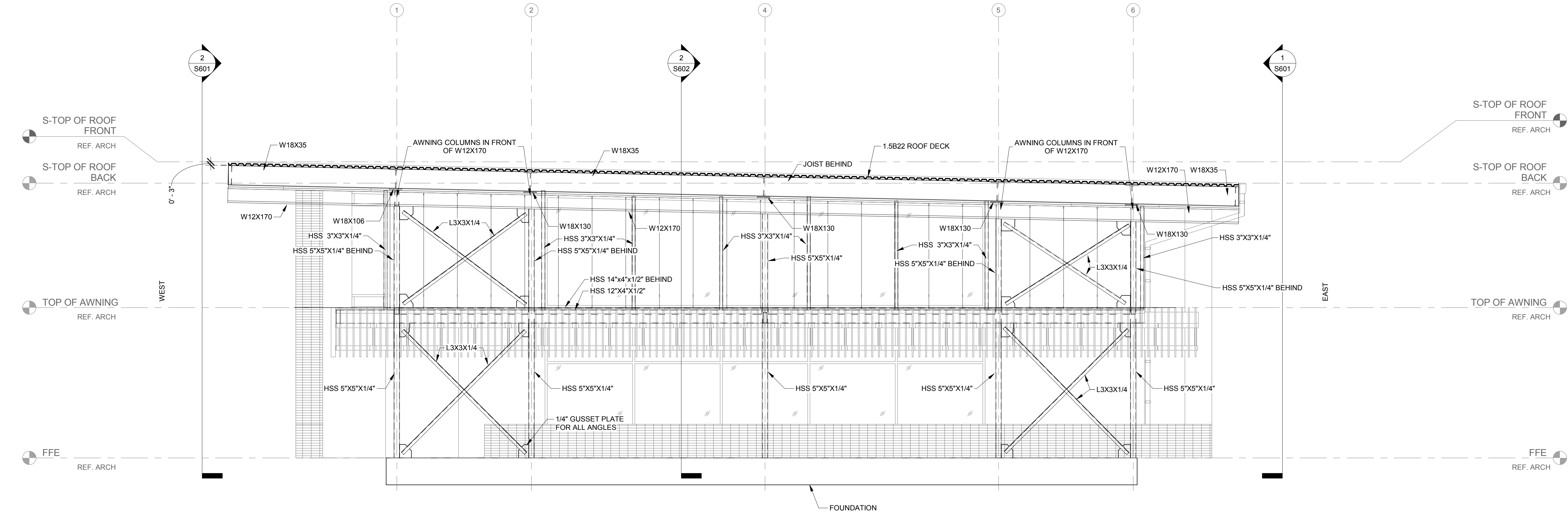
BUILDING SECTION

SHEET
A510

10 OF 12 SHEETS



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

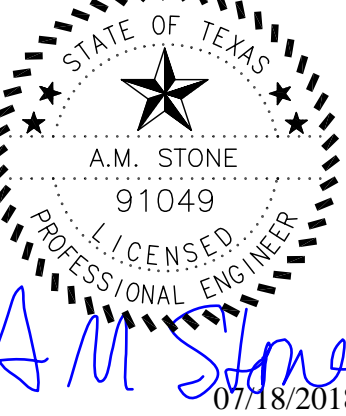
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- ARCHITECTURAL AND STRUCTURAL USE A FINISH FLOOR ELEVATION (FFE) OF 0'-0". ALL HEIGHT ELEVATIONS WILL BE USED STARTING WITH 0'-0" AND WILL BE DENOTED AS SUCH UNLESS OTHERWISE NOTED ON PLANS.
- READ THESE CONSTRUCTION DOCUMENTS IN CONJUNCTION WITH THE ARCHITECTURAL CONSTRUCTION DOCUMENTS, AND REFER TO ANY SPECIFIC DISCIPLINE INFORMATION WITH THE CONSTRUCTION DOCUMENTS FROM THAT DISCIPLINE.
- ALL NON STRUCTURAL WALLS ARE SHOWN ON PLANS FOR CLARITY. REFER TO THE ARCHITECTURAL CONSTRUCTION DOCUMENTS FOR SPECIFIC LOCATIONS.
- DIMENSIONS ARE SHOWN FROM GRID LINE TO GRID LINE OR CENTERLINE TO CENTERLINE. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL CONSTRUCTION DOCUMENTS.

KEYED NOTES

- W14X90 BEAM
- W5X16 BRACE
- L3X3X1/4 BRACE
- W18X153 BEAM
- BAR JOIST SIZE NOT DETERMINED
- W10X33 BRACE
- HSS5X5X1/4 COLUMN
- W8X40 BEAM



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REVISIONS		
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PROJECT NO. 8517SOLST.001
23 MAY 2018

STRUCTURAL ELEVATIONS

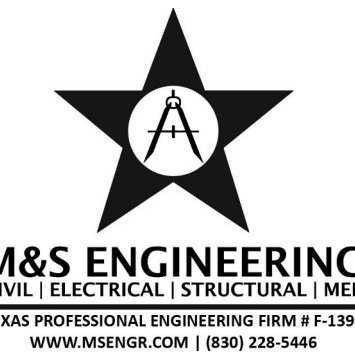
SHEET
S600
OF --- SHEETS

GENERAL NOTES

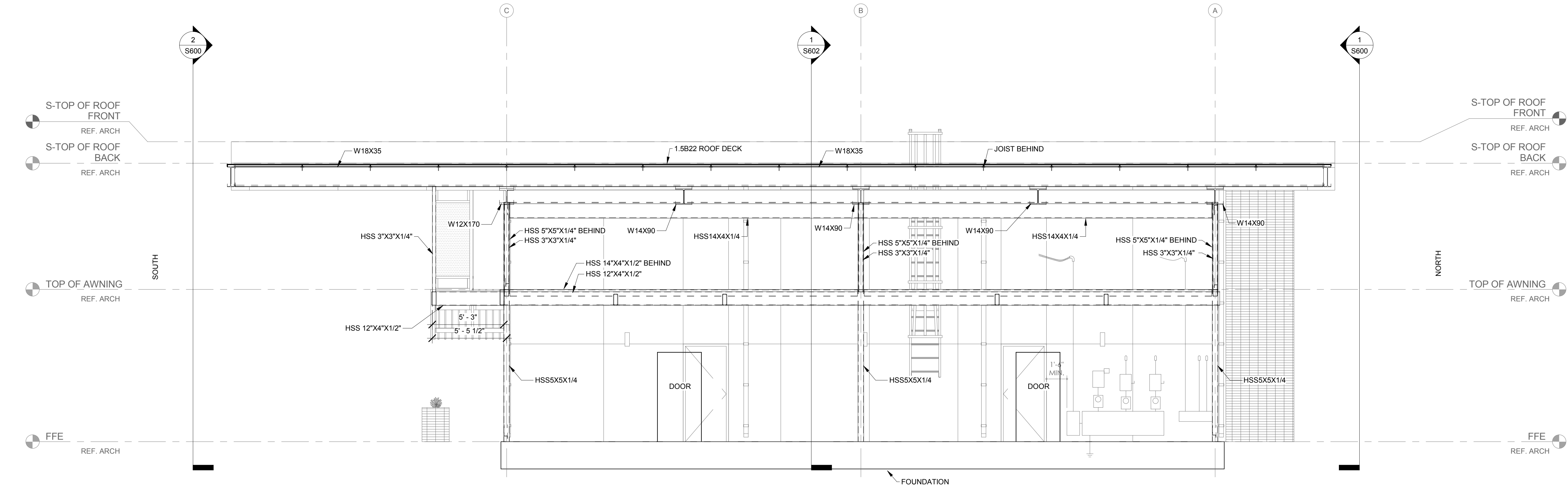
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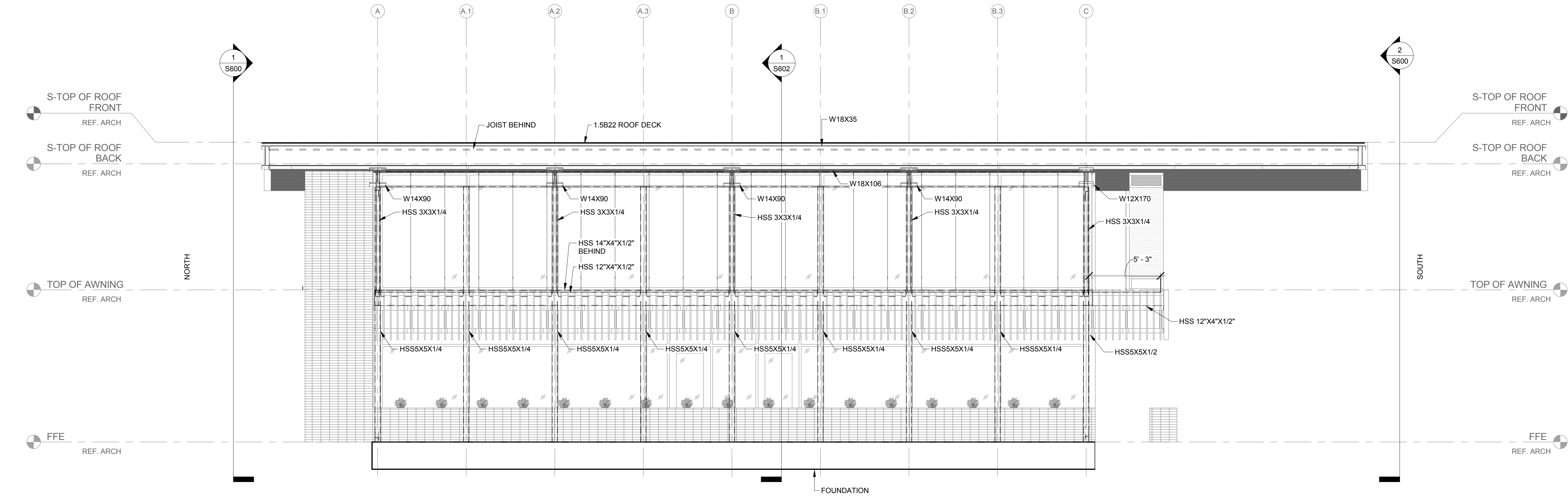
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A.M. Stone
07/18/2018



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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REVISIONS		
No.	Description	Date

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23 MAY 2018

STRUCTURAL ELEVATIONS

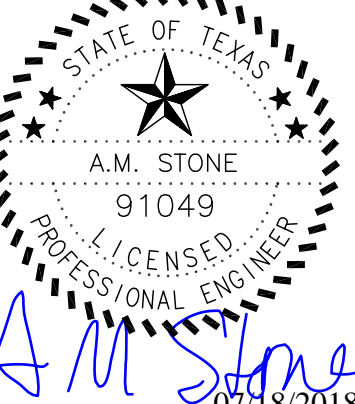
SHEET
S601
OF --- SHEETS

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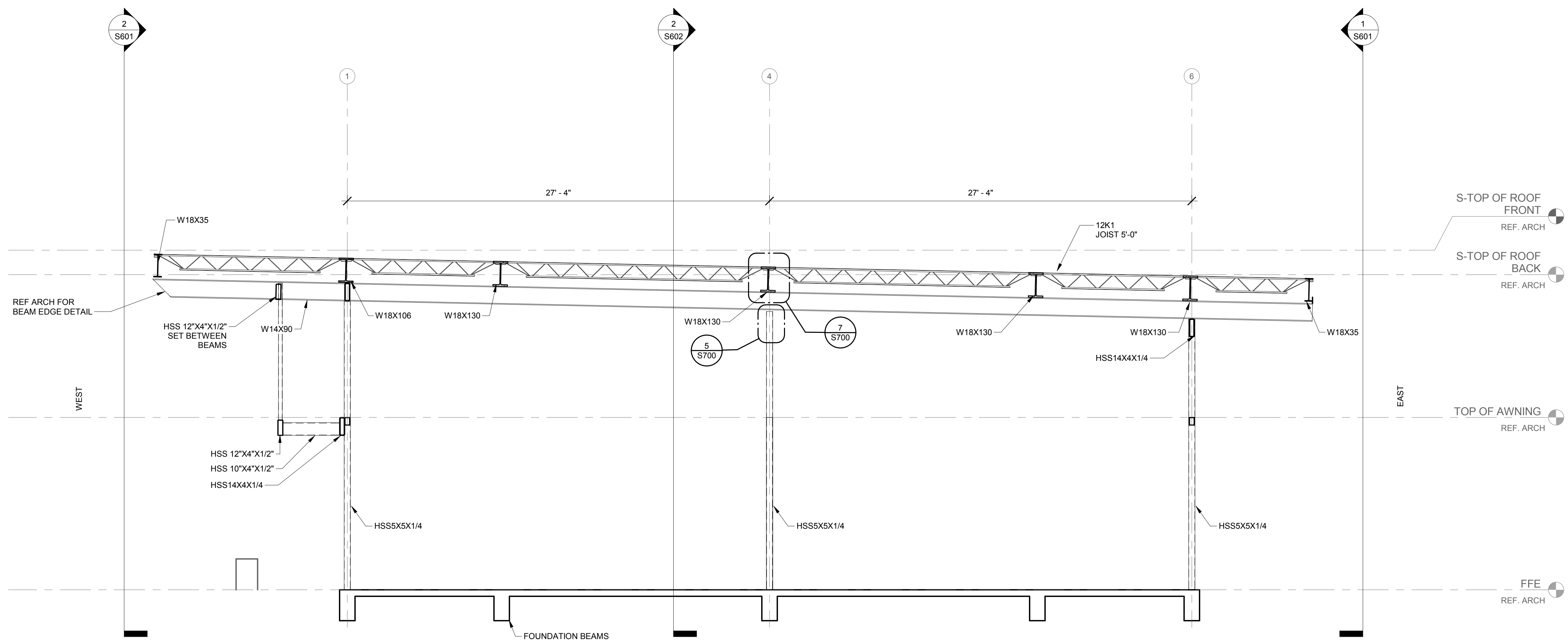
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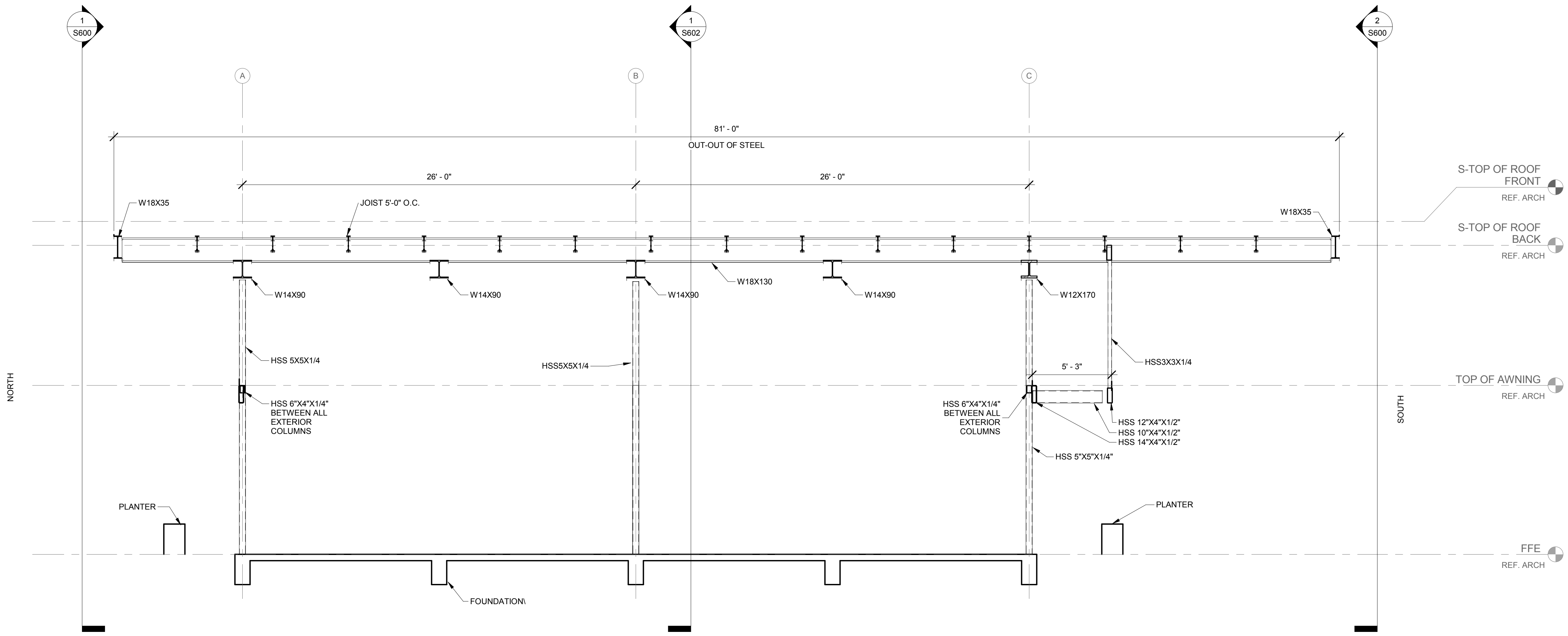
STRUCTURAL ELEVATIONS

SHEET
S602

OF -- SHEETS








1 CENTER CUT EAST TO WEST
SCALE: 1/4" = 1'-0"



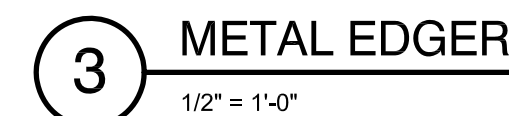
2 CENTER CUT NORTH TO SOUTH
SCALE: 1/4" = 1'-0"



LEGEND:

	PROPERTY LINE
	PROPOSED STRUCTURAL SLAB
	PROPOSED CONCRETE
	PROPOSED CURB
	PROPOSED ADA RAMP

THE OWNER AND SUBSEQUENT OWNERS OF THE LANDSCAPED PROPERTY, OR THE MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPED AREAS. SAID AREAS SHALL BE MAINTAINED SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF REFUSE AND DEBRIS. ALL PLANTED AREAS SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY AND WATERED AS NECESSARY TO ENSURE CONTINUOUS HEALTHY GROWTH AND MAINTAIN THE DESIRED APPEARANCE OF ALL DEAD PLANT MATERIAL WITH PLANTS OF EQUAL SIZE. IF THAT PLANT MATERIAL WAS USED TO MEET THE REQUIREMENTS OF THIS ARTICLE, ALL PROPERTY WITHIN THE CITY LIMITS WILL ADHERE TO CITY DROUGHT MANAGEMENT PROGRAM WHEN WATERING.



1. PVIOUS LANDSCAPE AREA IS MEASURED AT 1,636.9 SF
2. ASIATIC JASMINE BEDS SHALL HAVE A CONTINUES LAYER OF DOUBLE SHREDDED HARDWOOD MULCH 3 INCHES DEEP.



5410 Broadway Street Alamo Heights, TX 78209

L. H. BELL LANDSCAPE ARCHITECT, P.C.

JOB NO: 2018.06

DATE: 10-24-18

DRAWN BY: MF

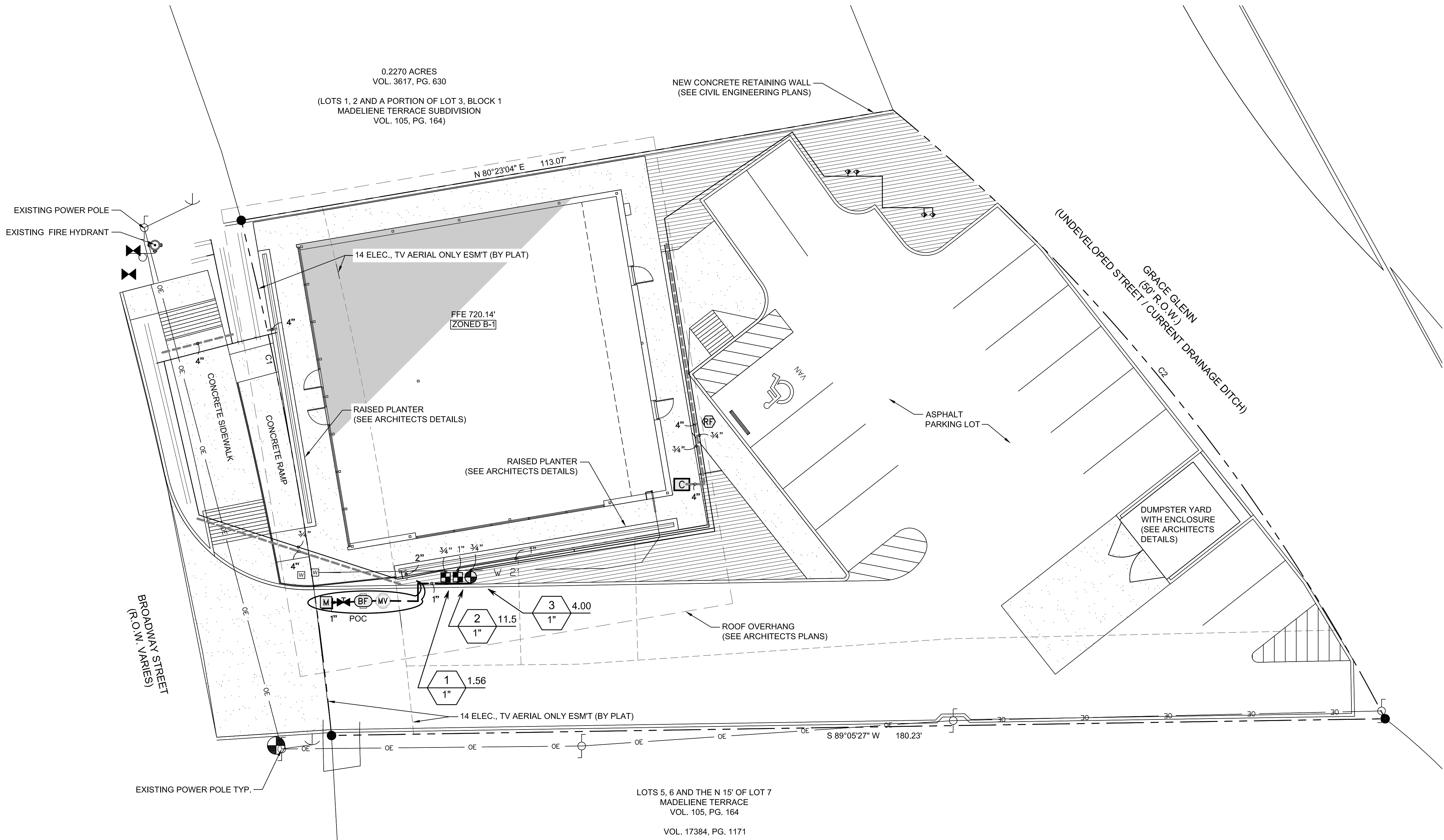
CHECKED BY: LHE



SHEET

L-1

1 OF 3



1 IRRIGATION PLAN

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	595.00'	89.58'	89.49'	N 09°56'13" W	8°37'33"
C2	338.00'	134.82'	133.93'	S 38°56'08" E	22°51'14"
(C1)	595.00'	89.00'	---	---	8°34'13"
(C2)	338.00'	134.80'	---	---	22°51'02"

LEGEND:	
	PROPERTY LINE
	PROPOSED STRUCTURAL SLAB
	PROPOSED CONCRETE
	PROPOSED CURB
	PROPOSED ADA RAMP

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird 1808-SAM-1400 Flood 1401 Flood Bubbler 6.0" popup with check valve	4	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird XCZLF-100-PRF Low Flow, 0.2-10gpm, with 1" Low Flow Valve valve and 1" Pressure Regulating RBY filter and 40psi pressure regulator.	2	
	Area to Receive Dripline Rain Bird XFD-06-12 XFD On-Surface Pressure Compensating Landscape Dripline. 0.6 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	1,303 l.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	1	
	Shut Off Valve Spear SCH 80 ball valve	1	
	Rain Bird PEB-PRS-D 1" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	1	
	Double check backflow preventer with wye strainer. 1"	1	
	Rain Bird ESP4ME 4 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Applications.	1	
	Rain Bird WR2-RFS Wireless Rain/Freeze Sensor.	1	
	Water Meter 2" (Existing Meter)	1	
	Irrigation Lateral Line: PVC Class 200 SDR 21	412.4 l.f.	
	Irrigation Mainline: PVC Class 200 SDR 21	31.0 l.f.	
	Pipe Sleeve: PVC Class 200 SDR 21	96.2 l.f.	
	Valve Cutout Valve Number Valve Flow Valve Size		
NOTE: MATERIAL QUANTITIES ARE ONLY AN ESTIMATE AND SHOULD BE VERIFIED BY CONTRACTOR			

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM
1	Rain Bird XCZLF-100-PRF	1"	Area for Dripline	1.56
2	Rain Bird XCZLF-100-PRF	1"	Area for Dripline	11.47
3	Rain Bird PEB	1"	Bubbler	4.00

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK
1	Rain Bird XCZLF-100-PRF	Area for Dripline	0.96 in/h	1	63	98.1
2	Rain Bird XCZLF-100-PRF	Area for Dripline	0.96 in/h	1	63	722.8
3	Rain Bird PEB	Bubbler	5.21 in/h	1	12	48
TOTALS:					138	868.9

CRITICAL ANALYSIS

Generated: 2018-10-24 20:37
P.O.C. NUMBER: 01
Water Source Information: (Existing Meter)

FLOW AVAILABLE
Water Meter Size: 2"
Flow Available: 70.55 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 65.00 psi
Elevation Change: 5.00 ft
Service Line Size: 2"
Length of Service Line: 20.00 ft
Pressure Available: 62.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 11.47 gpm
Flow Available at POC: 70.55 gpm
Residual Flow Available: 59.07 gpm

Critical Station: 2
Design Pressure: 30.00 psi
Friction Loss: 1.84 psi
Fittings Loss: 0.18 psi
Elevation Loss: 0.00 psi
Loss through Valve: 12.20 psi
Pressure Req. at Critical Station: 44.23 psi
Loss for Fittings: 0.04 psi
Loss for Main Line: 0.45 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 3.00 psi
Loss for Master Valve: 1.96 psi
Loss for Water Meter: 0.40 psi
Critical Station Pressure at POC: 60.08 psi
Pressure Available: 62.00 psi
Residual Pressure Available: 11.92 psi

PROVIDED LANDSCAPE AREA 1,636.9 SF

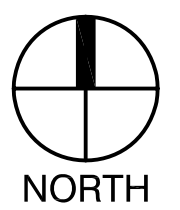


REVISIONS		
NO	DATE	DESCRIPTION

LOK Properties Broadway
5410 Broadway Street Alamo Heights, TX 78209

L. IL. BELL LANDSCAPE ARCHITECT, P.C.
FLORIANE LANDSCAPE ARCHITECTURE ILLUSTRATION
400 EAST RAMSEY ROAD, SUITE 200, SAN ANTONIO, TEXAS 78216
TELEPHONE: (210) 346-5529 EMAIL: lb.bell@lbellandbell.com

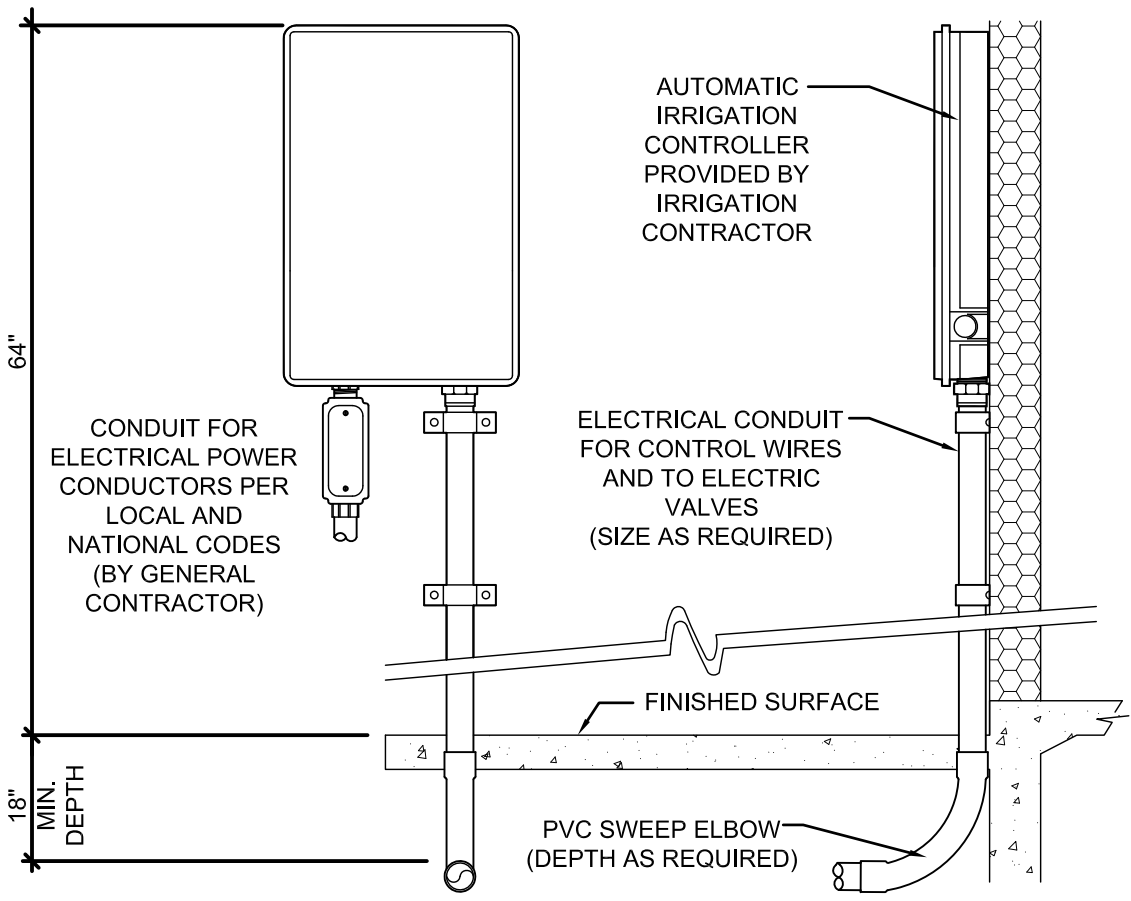
JOB NO: 2018.06
DATE: 10-24-18
DRAWN BY: MP
CHECKED BY: LHB



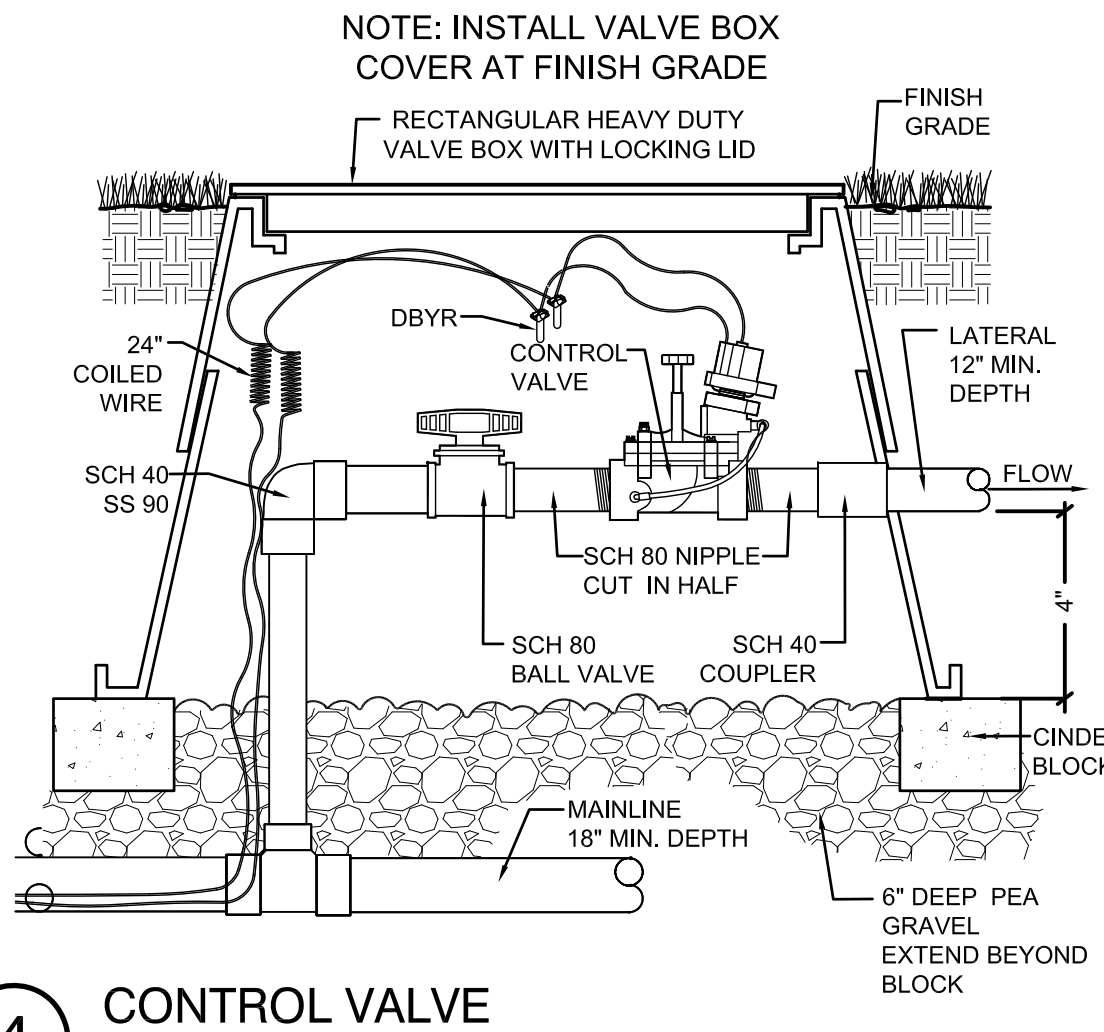
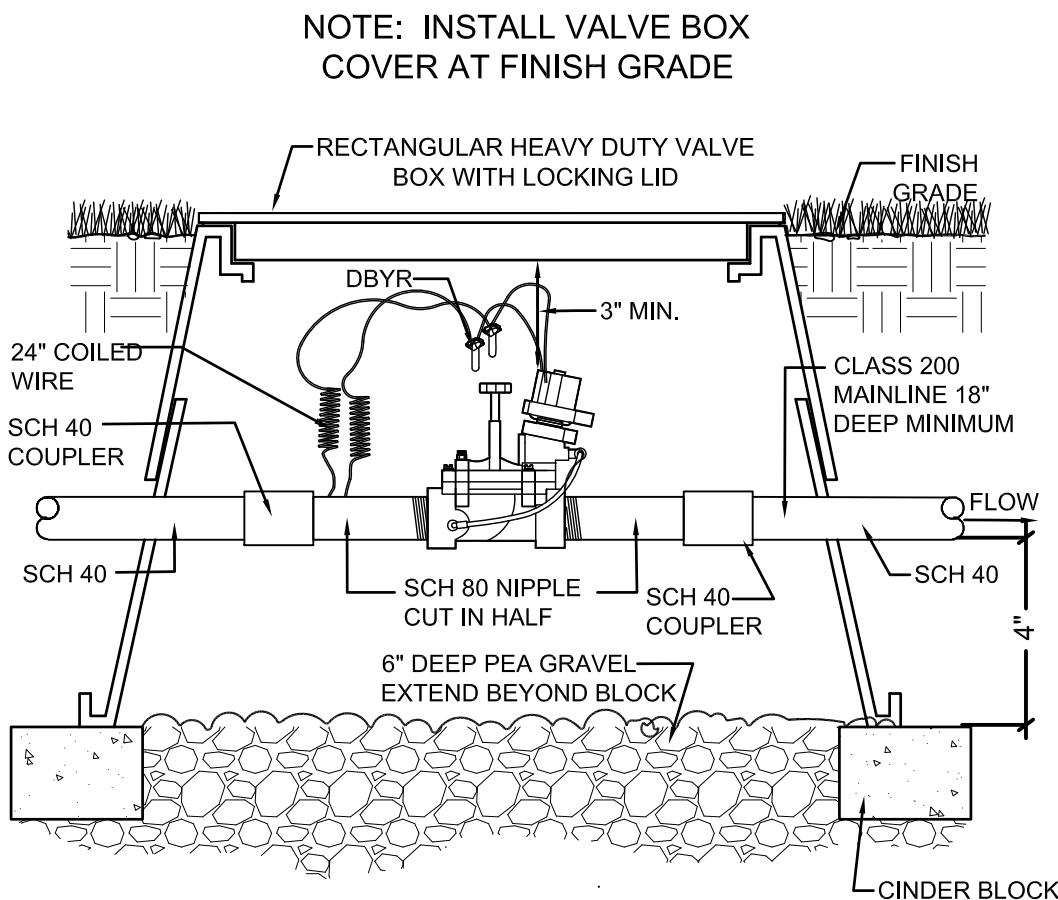
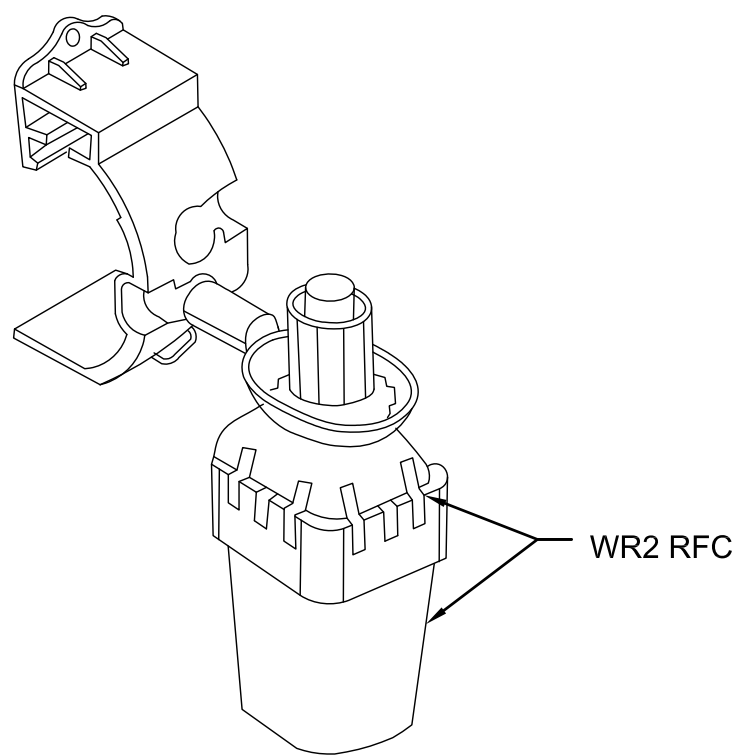
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VALVE BOXES

- NDS 6" Round Black Valve Box and Bolt Down Green Cover #D109-G
- NDS 10" Round Black Valve Box and Bolt Down Green Cover #111BCB
- NDS 14"x19" Rectangular Black Valve Box and Bolt Down Green Cover #113BCB
- NDS 17"x30" Rectangular Black Valve Box and Bolt Down Green Cover #124BCB



NOTE: WEATHER STATION MUST BE MOUNTED ABOVE FENCE OR OTHER OVERHEAD OBSTRUCTION.



1 IRRIGATION CONTROLLER

NOT TO SCALE

2 RAIN/FREEZE SENSOR

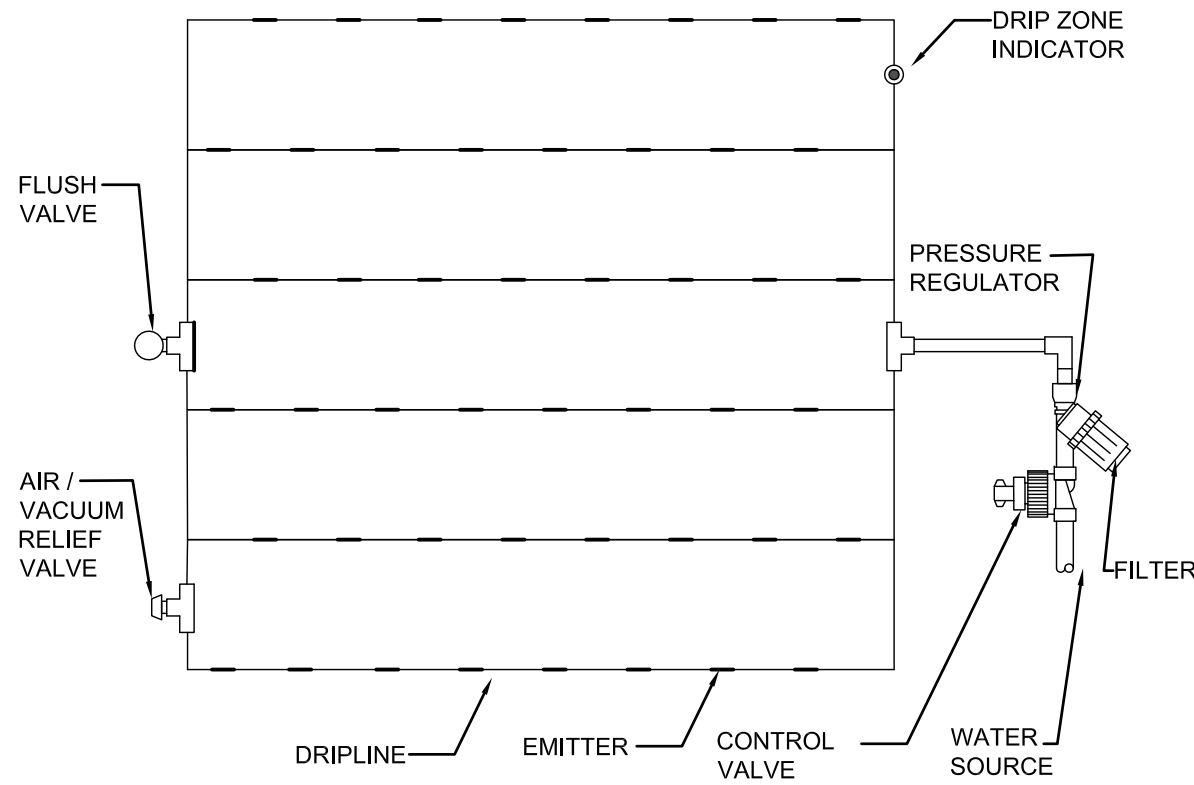
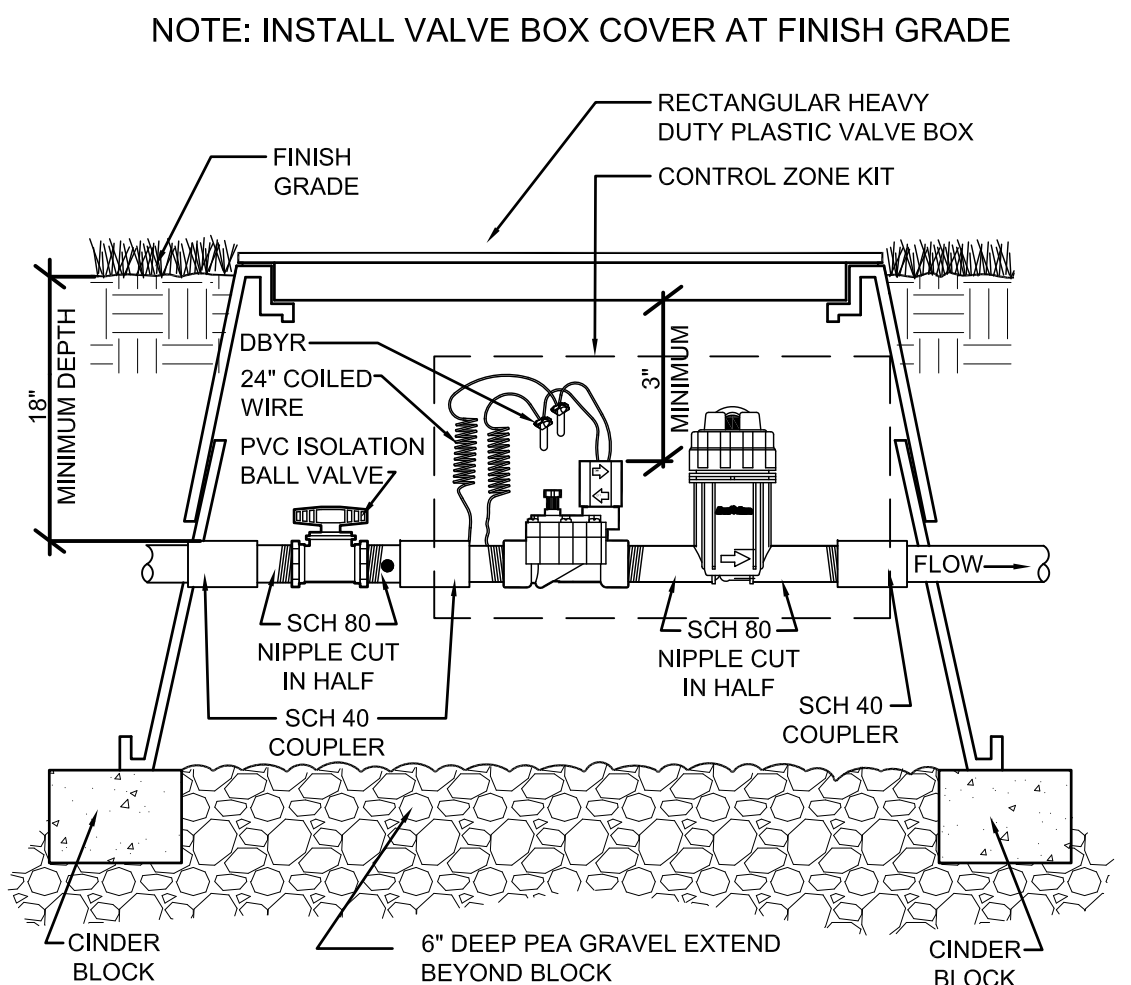
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3 MASTER CONTROL VALVE

NOT TO SCALE

4 CONTROL VALVE

NOT TO SCALE



5 DRIP CONTROL ZONE

NOT TO SCALE

6 COMMON DRIPLINE

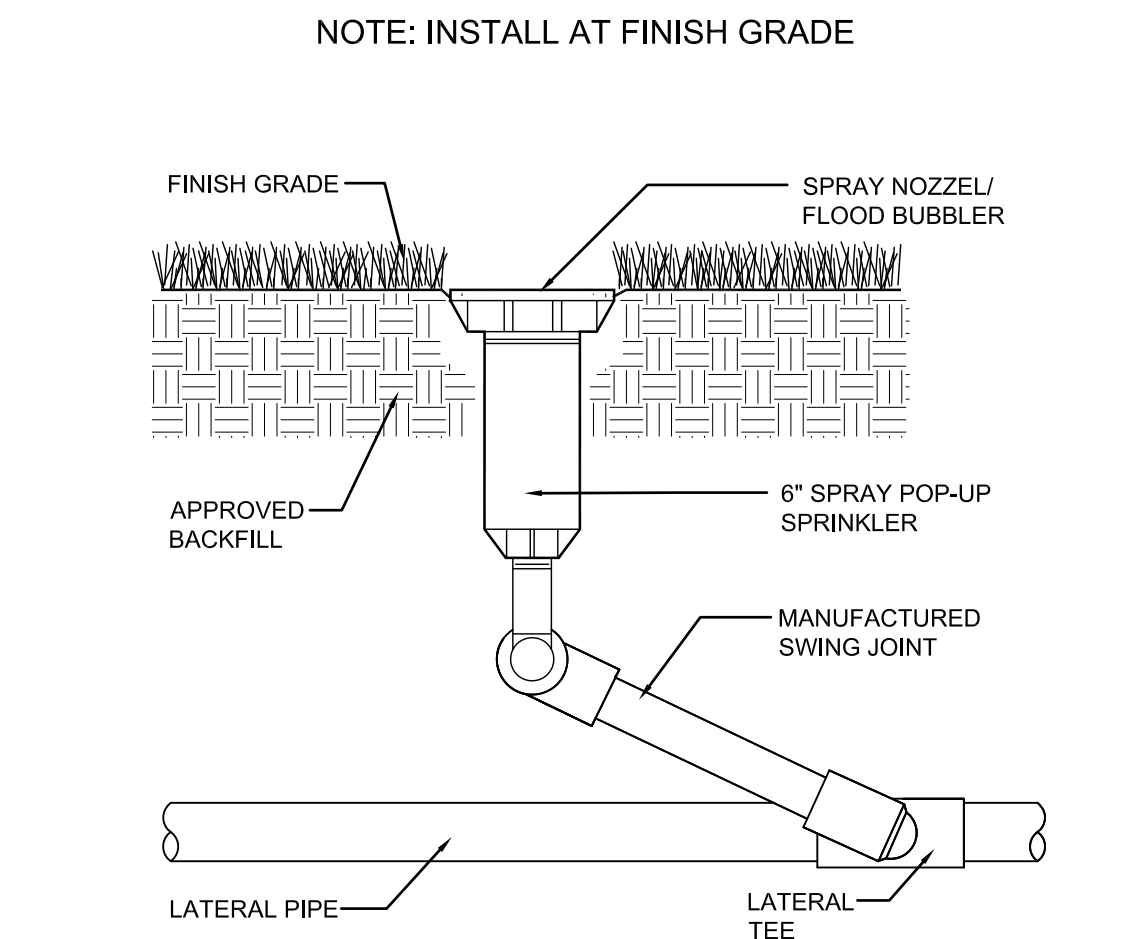
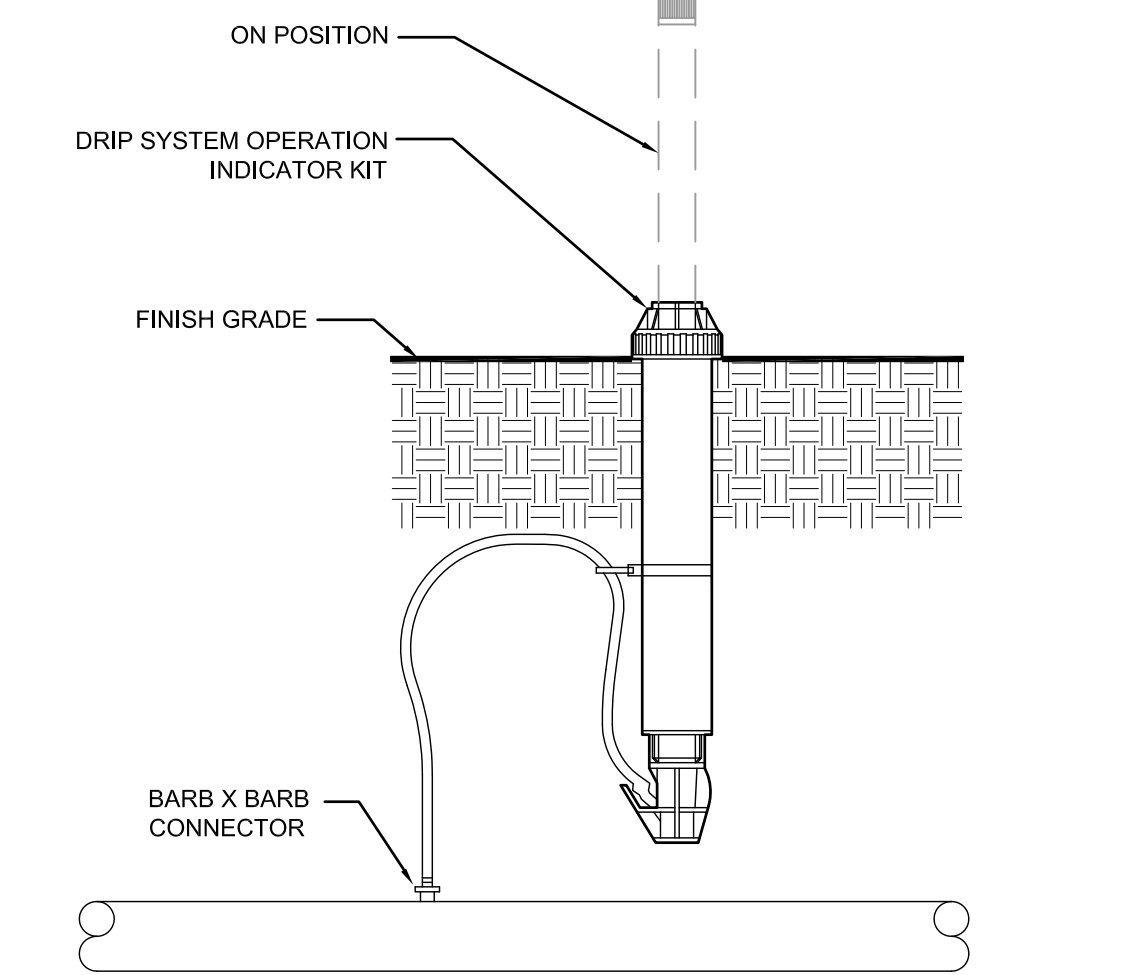
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7 DRIPLINE LATERAL DIAGRAM

NOT TO SCALE

8 DRIPLINE FLUSHING VALVE

NOT TO SCALE



9 DRIP ZONE INDICATOR

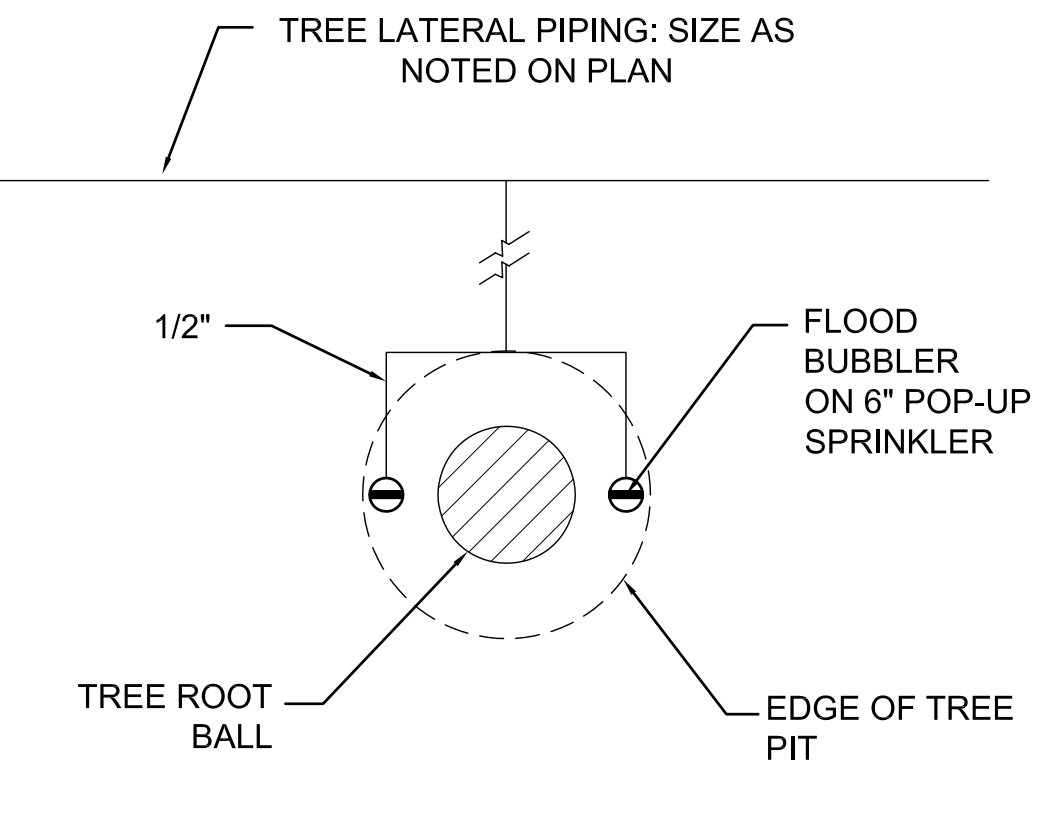
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10 TREE BUBBLER

NOT TO SCALE

11 TREE BUBBLER PLAN DIAGRAM

NOT TO SCALE



IRRIGATION NOTES

1. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE SPECIFICATIONS AND ALL SUBMITTED REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT FOR SITE INSPECTIONS AS SPECIFIED IN THE SPECIFICATIONS. FAILURE TO NOTIFY LANDSCAPE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR FROM INSPECTION APPROVAL AND WILL REQUIRE THE CONTRACTOR TO UNCOVER WORK AS REQUIRED FOR APPROVAL AT THE COST OF THE CONTRACTOR. IRRIGATION CONTRACTOR IS TO INFORM LANDSCAPE ARCHITECT OF THE START DATE OF WORK.
2. THE IRRIGATION CONTRACTOR IS REQUIRED BY LAW TO NOTIFY TEXAS ONE CALL (811) 72 HOURS PRIOR TO ANY EXCAVATION. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. IRRIGATION CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES WEATHER OR NOT TEXAS ONE CALL IS NOTIFIED.
3. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WITHOUT VERIFYING ACTUAL ON-SITE WATER PRESSURE FROM THE SOURCE. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTACLES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
4. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS AS REQUIRED TO ACCOMPLISH IRRIGATION INSTALLATION.
5. DUE TO SCALE OF DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS SLEEVES, ETC., WHICH MAY BE REQUIRED. IRRIGATION CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEM, PLANTING AND ARCHITECTURAL FEATURES. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS AND WITHIN PROPERTY LINES.
6. IT IS THE IRRIGATION CONTRACTORS RESPONSIBILITY TO COORDINATE PIPING WITH THE LANDSCAPE SUBCONTRACTOR TO AVOID CONFLICT WITH PLANTING MOVE PIPING TO ALLOW PROPER PLACEMENT OF PLANT MATERIAL BEDS.
7. NO MACHINE TRENCHING IS TO BE DONE WITHIN DRIP LINE OF TREES. TRENCHING IS TO BE DONE BY HAND OR BY TUNNELING UNDER ROOT SYSTEM BY METHOD APPROVED BY LANDSCAPE ARCHITECT. PIPING LAYOUT IS DIAGRAMMATIC AND PIPING SHALL BE ROUTED AROUND EXISTING PLANT MATERIAL TO AVOID DAMAGE TO EXISTING PLANTS. DO NOT CUT ANY ROOT OVER 3/4" DIAMETER. ANY CUTS MADE SHALL BE CLEAN AND WITHOUT FRAVED ENDS.
8. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR SLEEVES AND CHASES WHEREVER PIPING OR CONDUIT PASSES, UNDER ALL PAVING, THROUGH WALLS, ETC. ALL SLEEVE LOCATIONS MAY NOT BE SHOWN ON PLAN. COORDINATE WITH ARCHITECTURAL AND CIVIL DRAWINGS. GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS AS REQUIRED. ALL SLEEVE AND CHASE LOCATIONS ARE NOT NOTED ON PLAN. ALL SLEEVES SHALL BE SCH 40 PVC, SIZED TWICE THE DIAMETER OF PIPE OR COMBINATION OF PIPES ENCLOSED WITHIN THE SLEEVE.
9. ALL WORK WILL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEXAS ADMINISTRATIVE CODE CHAPTER 344, 344.72-344.77.
10. IF ACTUAL SITE STATIC PRESSURE EXCEEDS DESIGN PRESSURE BY 10%, A PRESSURE REDUCING VALVE SHALL BE INSTALLED. SEE SPECIFICATIONS.
11. PRESSURE AT ANY POINT WITHIN A ZONE SHALL NOT VARY BY MORE THEN 10% FROM THE DESIGN SPRINKLER OPERATING PRESSURE. SEE SPECIFICATIONS FOR TESTING.
12. ALL IRRIGATION WORK SHALL BE INSTALLED UNDER THE SUPERVISION OF A LICENSED (IN THE STATE OF TEXAS) IRRIGATION CONTRACTOR.
13. OBTAIN COVERAGE TEST APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING SODDING OR SEEDING.
14. ALL UNDESIGNATED END LATERAL PIPING SHALL BE 3/4" IN SPRAY ZONES AND 3/4" IN ROTARY ZONES.
15. IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) (MC-178), P.O. BOX 13087, AUSTIN TX. 78711-3087 TCEQ'S WEB SITE IS: www.tceq.state.tx.us

TO WHOM IT MAY CONCERN:

I, LESLIE H. BELL, A LICENSED IRRIGATOR IN THE STATE OF TEXAS, DO CERTIFY THAT THE IRRIGATION PLAN SUBMITTED CONFORMS TO THE IRRIGATION DESIGN, EQUIPMENT STANDARDS SET OUT IN THE CITY OF ALAMO HEIGHTS UNIFIED DEVELOPMENT CODE AND ALSO WITH THE REQUIREMENTS OF CHAPTER 344, 344.72-344.77 OF THE TEXAS ADMINISTRATIVE CODE. IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY P.O. BOX 13087, AUSTIN, TEXAS 78711-3087. IF FURTHER INFORMATION IS NEEDED, PLEASE CONTACT ME AT 1-210-340-5959.

YOURS TRULY,

Leslie H. Bell

LESLIE H. BELL
LICENSED IRRIGATOR #9280



REVISIONS		
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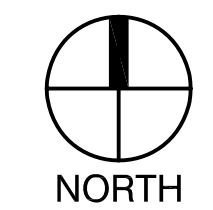
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FLORIANE LANDSCAPE ARCHITECTURE
400 EAST RANSBY ROAD, SUITE 200, SAN ANTONIO, TEXAS 78216
TELEPHONE: (210) 340-5959 EMAIL: l@lbelllandscape.com

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