



CITY OF ALAMO HEIGHTS

COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
Tuesday, December 17, 2019 – 5:30 P.M.
6116 Broadway St – City Council Chambers

Case No. 790 F – 507 Normandy

Request of William Isaacs of Property Investment Group, LLC, owner, for the compatibility review of the proposed design located at 507 Normandy in order to construct a new single family residence with accessory structure under Demolition Review Ordinance No. 1860 (April 12, 2010).

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB's recommendation for all demolition/final design review applications. Please check the ARB posted results on the City's website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online* (<http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/>) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Brenda Jimenez (bjimenez@alamoheightstx.gov), Lety Hernandez (lhernandez@alamoheightstx.gov), or Nina Shealey (nshealey@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case. Please note that plans will not be available online for all case types and floor plans will not be available online.

Dear Architectural Review Board,

We recently bought 507 Normandy with the intention of adding on to it and remodeling the existing home. We quickly learned that the existing structure does not have a foundation that is in good enough condition to do so. As a result we are asking your permission to tear down the existing and build a new cottage in its place. We have taken careful consideration in our design so that it compliments and preserves the existing cottage feel of the neighborhood. See rendering below.

Best regards,

Dave Isaacs



Property Address: 507 Normandy
Original Architect: cottage

Architecture Type: cottage
Year Built:

Lot Coverage*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Lot area		7500	7500	
Main house footprint		1360	1691	
Front porch		180	498	
Side porch 1				
Side porch 2				
Rear porch				
Garage footprint		576	484	
Carport footprint				
Shed footprint		144		
Breezeways				
Covered patio structure				
Other accessory structures				
Total (total lot coverage/lot area):		22100/7500	2673/7500	
Total Lot Coverage:		.301	.356	
Floor Area Ratio (FAR)**	Applicant	Staff	Applicant	Staff
Lot area		7500	7500	
Main house: 1st floor		1360	1691	
Main house: 2nd floor			484	
Garage: 1st floor		576		
Garage: 2nd floor				
Other structures (unless exempted - see below) SHED		144		
Total (total FAR/lot area):		20800/7500	3522/7500	
Total FAR:		.277	.469	
Height of Main Structure:				

*Lot coverage is defined as the percentage of the total lot area covered by a roof, floor or other buildings excepting eaves. Carports, sheds, porches, covered pedestrian walkways, breezeways, arbors, gazebos and covered patios are included in lot coverage calculations (Exception: The maximum lot coverage shall exclude free-standing entryway arbors with open-air lattice framework under fifty (50) square feet in area and eight (8) feet in height, and other free-standing open-air lattice/trellis structures located within a side or rear yard up to twelve (12) feet in height, totaling three hundred (300) square feet or less and subject to other standards governing accessory structures.

**Floor area ratio (FAR) is defined as the ratio of the total above ground gross floor area of all structures on a site to the total square footage of a lot (for example, a FAR of .53 for a seven thousand five hundred (7,500) square foot lot is three thousand nine hundred seventy-five (3,975) gross square feet (.53 X 7,500) of floor area). The following areas shall be included when computing the gross floor area:

- (1) Exterior walls: The thickness of the wall shall be included in the calculation;
- (2) Above grade floor area: Any room that has a wall surface that extends more than three (3) feet above grade;
- (3) Laundry rooms, mechanical rooms, storage rooms, built-in cabinets and media niches;
- (4) Mezzanines and lofts;
- (5) Floor area used by stairways, elevators, escalators and similar features. The floor area of each run of stairs shall be counted once;
- (6) Vaulted ceilings: the floor area shall be counted at the actual floor area only and not in the air spaces;
- (7) Usable spaces (generally defined as having a five (5) foot minimum height) such as rooms, closets and cabinets under a run of stairs;
- (8) Exterior structures and additions with a solid roof and enclosed on more than two (2) sides in whole or part with permanent solid walls or windows such as porches, balconies, patios and breezeways;
- (9) Attached and detached garages and carports; and
- (10) Accessory buildings such as sheds, pool houses, guest houses, bonus rooms and second units.

The following areas shall not be included when computing the gross floor area:

- (1) Below grade floor area: any area that has a wall surface that extends less than three (3) feet above grade;
- (2) Porches, balconies, patios, breezeways, decks, overhangs, eaves, cantilevers and awnings with solid roof-like cover, but not enclosed on more than two (2) sides;
- (3) Porches, balconies, patios, breezeways and decks that do not have a solid roof-like cover; and
- (4) Attic space that is not habitable. If made habitable in the future, shall be included in floor area ratio.

Definitions as listed per City of Alamo Heights "Code of Ordinances" can be found at www.municode.com (Ch. 3 "Zoning," Sec. 3-2 "Definitions")

Property Address: 507 Normandy

Total Impervious Cover Sq. Ft. for Stormwater Development Fee*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Footprint of all structures			2634	
Driveway/Parking Pad			5000 1293	
Walkways			96	
Swimming Pool/Spa			-	
Other impervious cover: _____			-	
Total impervious surface cover (in this project):			4039	
Total impervious surface cover <i>removed/existing</i> (in this project):				
Total impervious surface cover sq. ft. (proposed minus removed = net figure for this project)*			4039	
Stormwater Development Fee*				

Impervious Surface Cover within front yard setback**	Applicant	Staff	Applicant	Staff
Front yard setback area			1250	1250 A
Footprint of any structure(s)			2634	
Driveway/Parking Pad			1293	280
Walkways			96	49
Other impervious cover: _____				
Impervious surface cover within front yard setback in this project			96	299 B
Impervious surface cover <i>removed/existing</i> within front yard setback in this project				-
Impervious surface cover net proposed sq. ft. within front yard setback			96	299
Impervious surface cover proposed within front yard setback			B / A	B / A
Maximum 30% allowed for SF-A and SF-B Districts				239

*The stormwater development fee shall be equivalent to the net additional square footage of total impervious surface area (excluding public sidewalks) of the property multiplied by \$0.40.

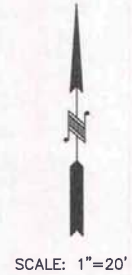
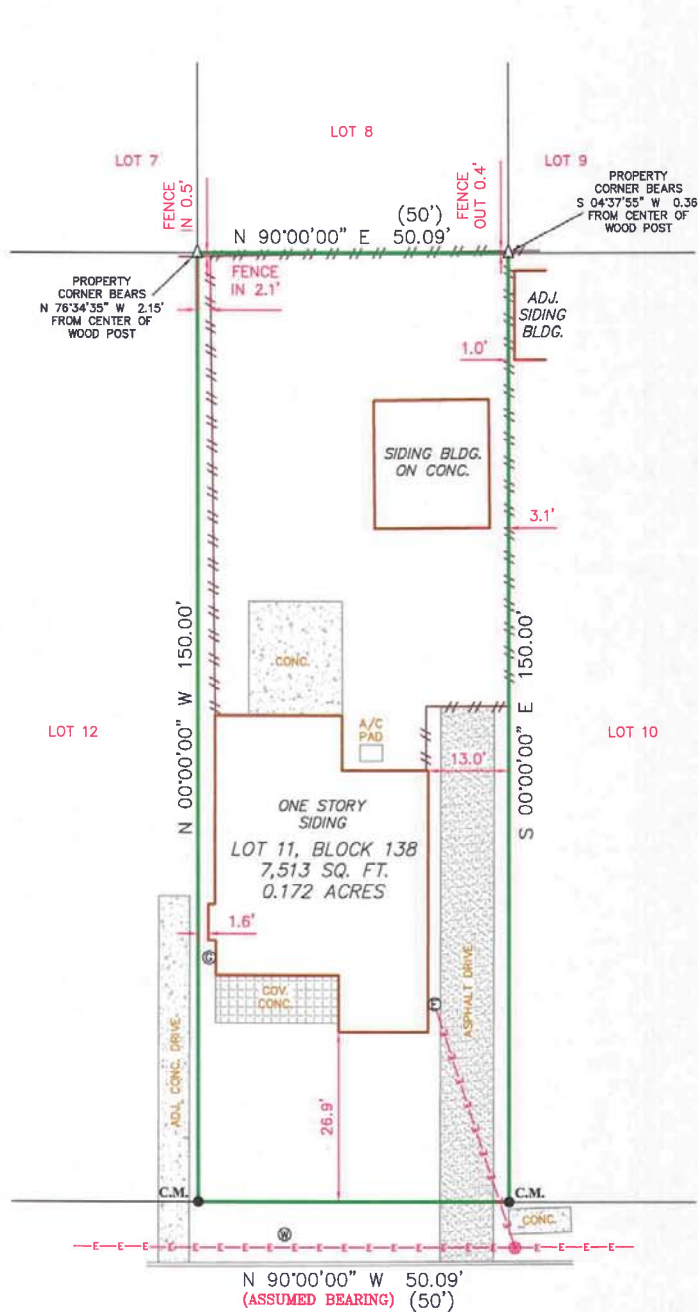
Exemptions. The following real property, only, shall be exempt from the provisions of this section:

- (1) Property owned by the City of Alamo Heights and/or dedicated to right-of-way for public streets and/or to provide drainage service; and
- (2) Property with proper construction and maintenance of a privately owned drainage or stormwater system wholly sufficient to provide all the drainage or stormwater service for that property.

**Depending on property's zoning district, the maximum impervious surface allowed within the front yard setback area is 30% (per Sec. 3-18) and 40% (per Sec. 3-50; please refer to Code for other regulations).

Impervious cover. Ground surfaces including concrete or paved driveways, sidewalks, parking lots, building and other improvements that resist the infiltration of water, thereby resulting in water runoff. Impervious cover includes any surface material or surface treatment or surface condition which sheds fifty (50) percent or more of rainfall, or water, which falls on it.

City of Alamo Heights "Code of Ordinances" can be found at www.municode.com (Ch. 3 "Zoning," Sec. 3-18, Sec. 3-50; Ch. 13 "Storm Drainage," Sec. 13-29 "Stormwater development fee" and Sec. 13-1 "Definitions").



**NORMANDY AVENUE
(50' R.O.W.)**

NOTE:
THE ORIGINAL PLAT OF RECORD IS WITHOUT BEARINGS.

NOTE:
NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.

NOTE:
BEARINGS SHOWN HEREON ARE ASSUMED.

NOTE:
THIS PROPERTY IS SUBJECT TO RESTRICTIVE COVENANTS, EASEMENTS, AGREEMENTS, AND/OR SETBACK LINES (IF ANY) AS FOLLOWS: VOLUME 105, PAGE 290, DEED AND PLAT RECORDS; VOLUME 391, PAGE 366, DEED RECORDS, BEXAR COUNTY, TEXAS.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:



FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48029C, Panel No. 0405 G, which is Dated 09/29/2010. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X1. Because this is a boundary survey, the surveyor did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or State or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <https://msc.fema.gov/portals>.

Property Address:
507 NORMANDY AVENUE

Property Description:
LOT 11, BLOCK 138, ALAMO HEIGHTS, SITUATED IN BEXAR COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 105, PAGE 290, DEED AND PLAT RECORDS, BEXAR COUNTY, TEXAS.

Owner:
PROPERTY INVESTMENT GROUP LLC

I, MARK J. EWALD, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plat represents an actual survey made on the ground under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, to the best of my knowledge and belief, except as shown herein.

Mark J. Ewald

MARK J. EWALD
Registered Professional Land Surveyor
Texas Registration No. 5095

FIRM REGISTRATION NO.
10111700

Westar Alamo
LAND SURVEYORS, L.L.C.
P.O. BOX 1845 BOERNE, TEXAS 78005
PHONE (210) 372-9500 FAX (210) 372-9999

LEGEND

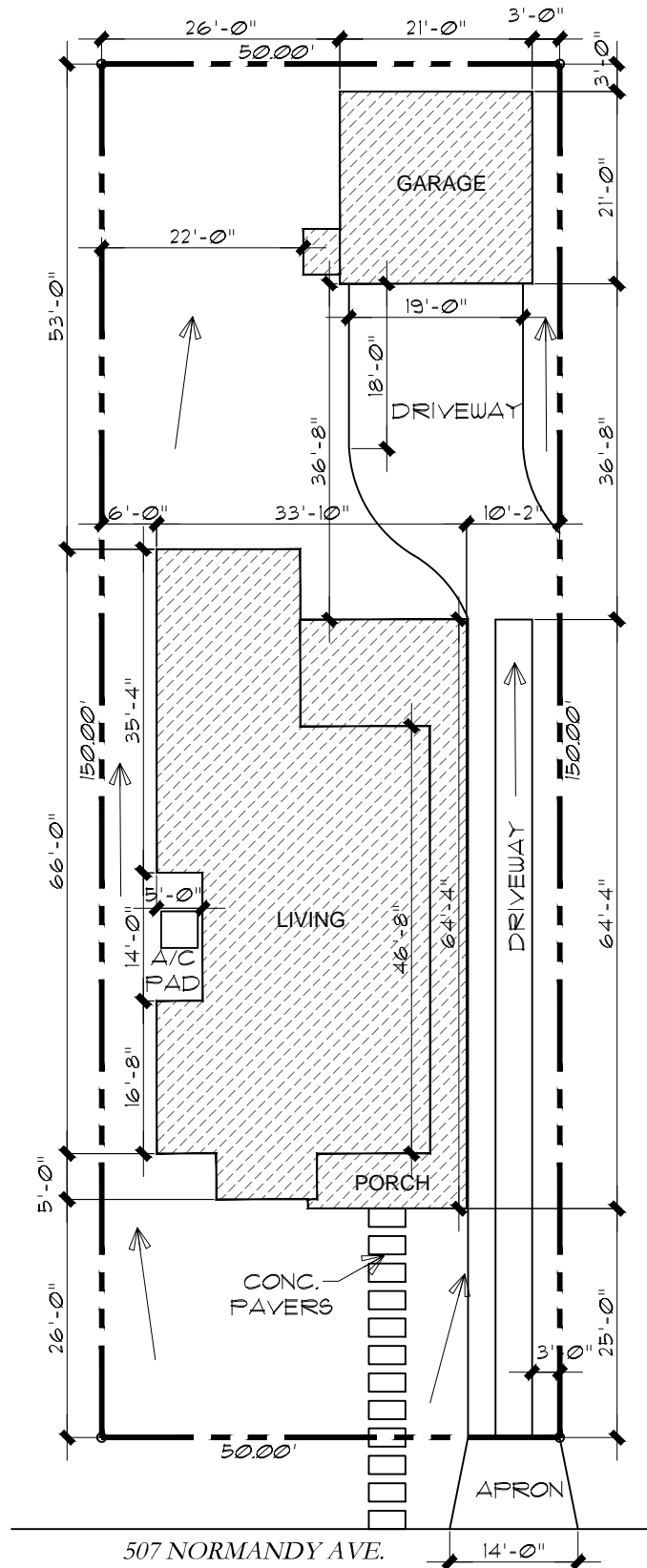
- ▲ = CALCULATED POINT
- = FND 1/2" IRON ROD
- () = RECORD INFORMATION
- B.S. = BUILDING SETBACK
- C.M. = CONTROLLING MONUMENT
- ⊕ = POWER POLE
- ⊖ = ELECTRIC METER
- ⊙ = GAS METER
- ⊗ = WATER METER
- = WOOD FENCE
- = OVERHEAD ELECTRIC

DRAWN BY: BLE

STATE OF TEXAS
REGISTERED
MARK J. EWALD
5095
PROFESSIONAL
LAND SURVEYOR

GROUND COVERAGE

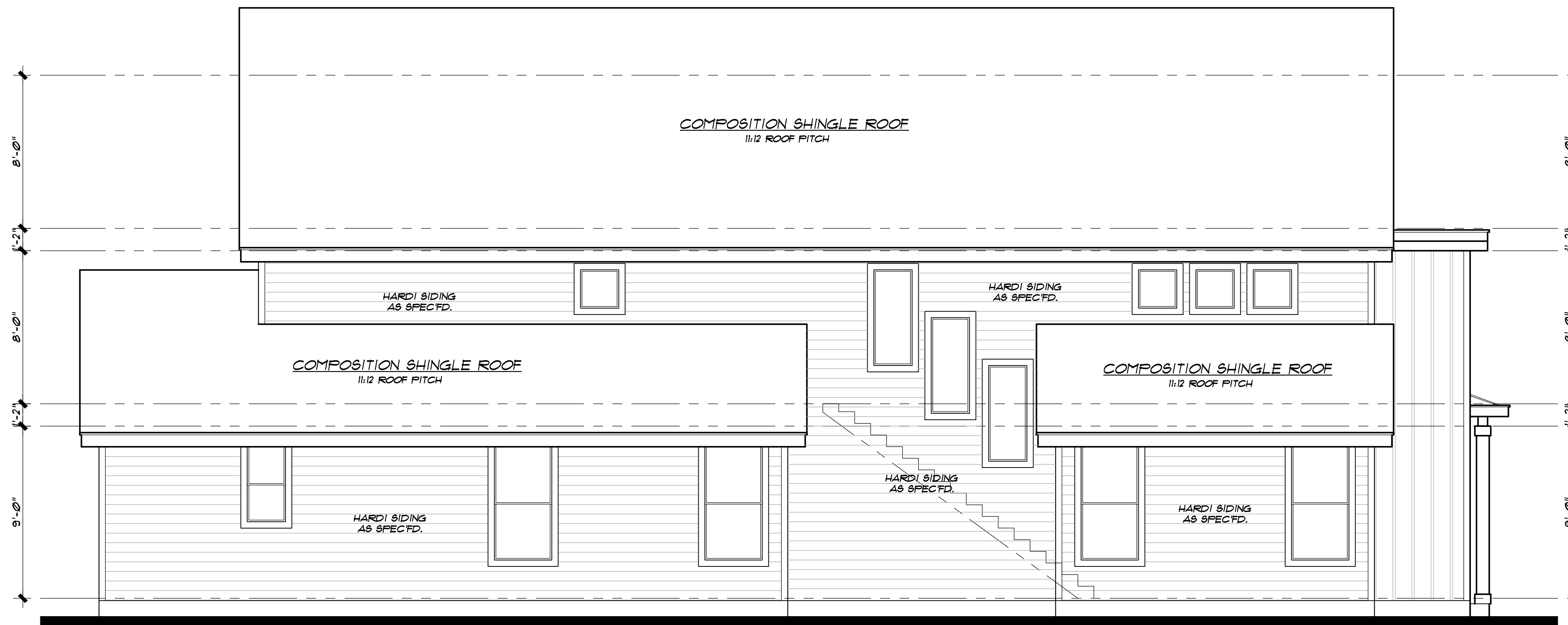
TOTAL LOT AREA	7500 SQFT
LANDSCAPE AREA	3946 SQFT
HOUSE SLAB AREA	2173 SQFT
GARAGE SLAB AREA	461 SQFT
A/C PAD AREA	16 SQFT
DRIVEWAY AREA	1183 SQFT
APRON AREA	110 SQFT
CONC PAVERS AREA	96 SQFT
IMPERVIOUS COVER	3901 SQFT



SITE PLAN

SCALE: 1" = 20'-0"

ALAMO HEIGHTS
 LOT: 11, BLOCK 138
 BEXAR COUNTY, TEXAS



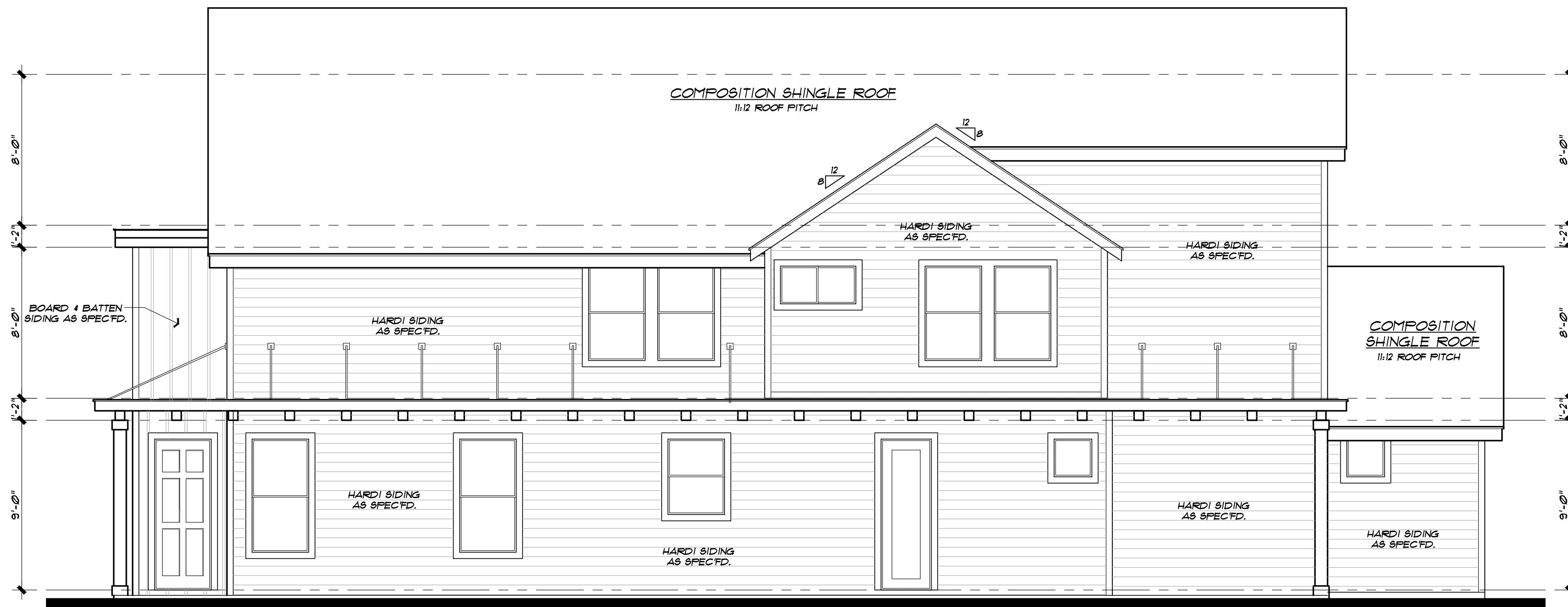
Left Elevation

SCALE: 1/4"=1'-0"



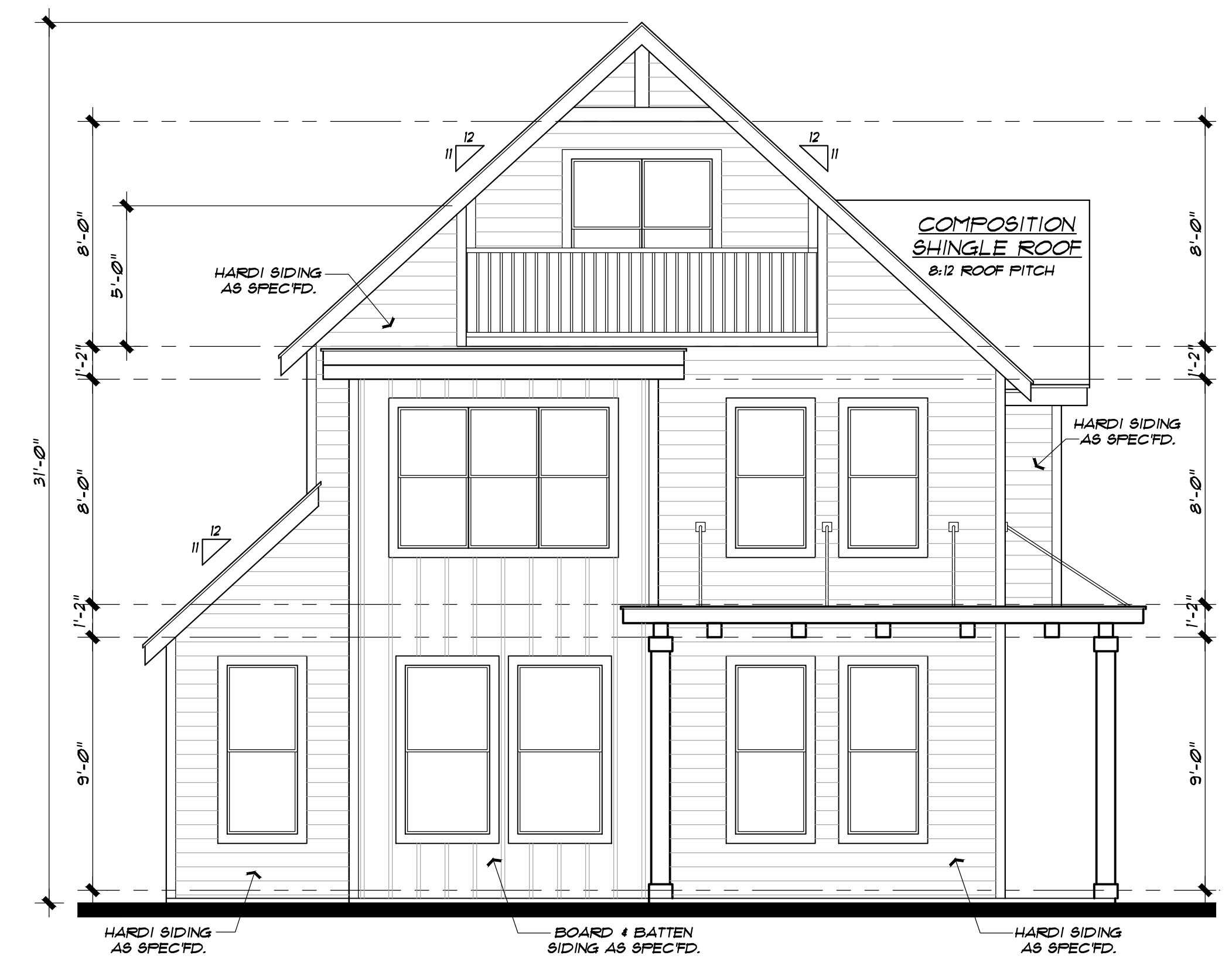
Rear Elevation

SCALE: 1/4"=1'-0"



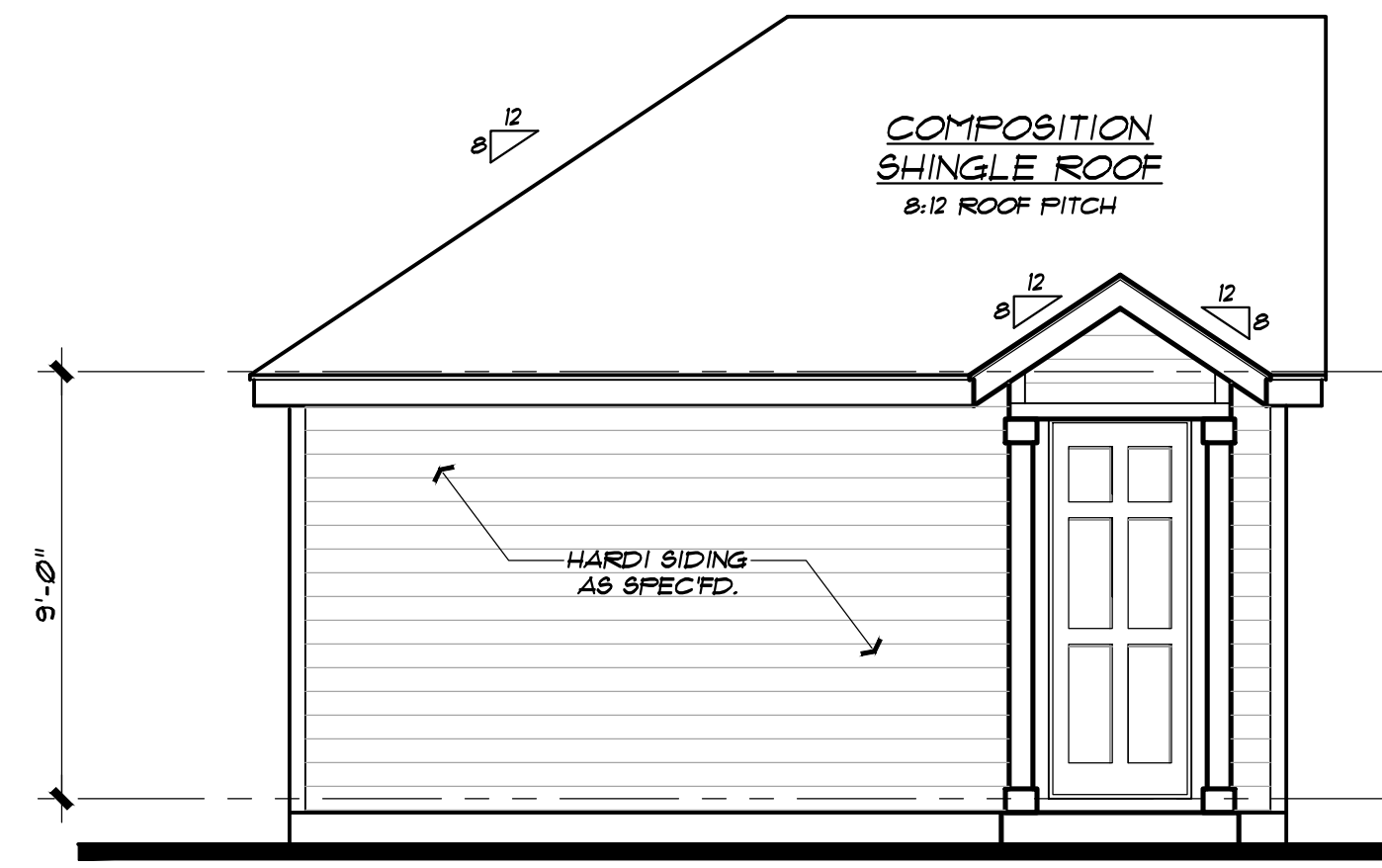
Right Elevation

SCALE: 1/4"=1'-0"

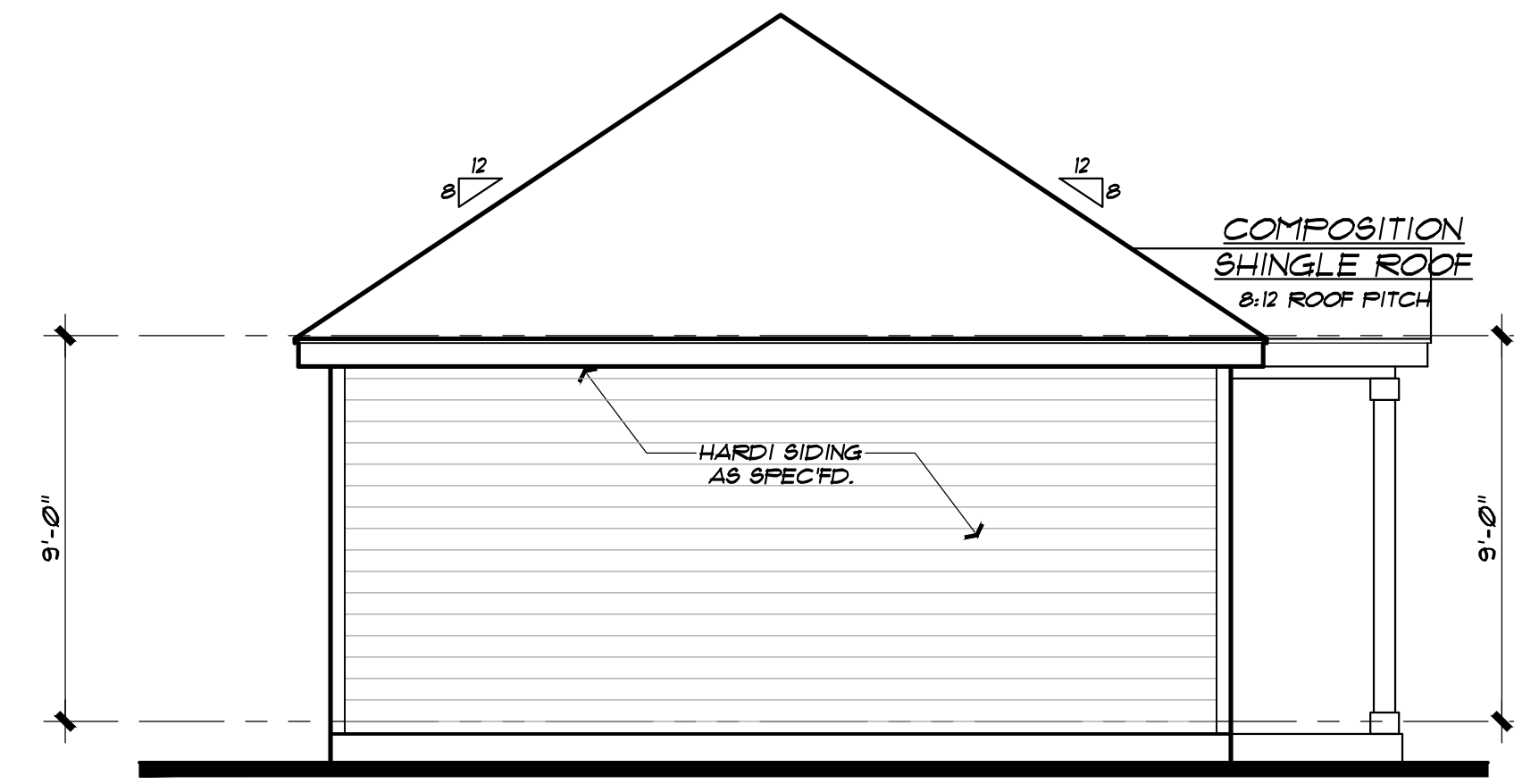


Front Elevation

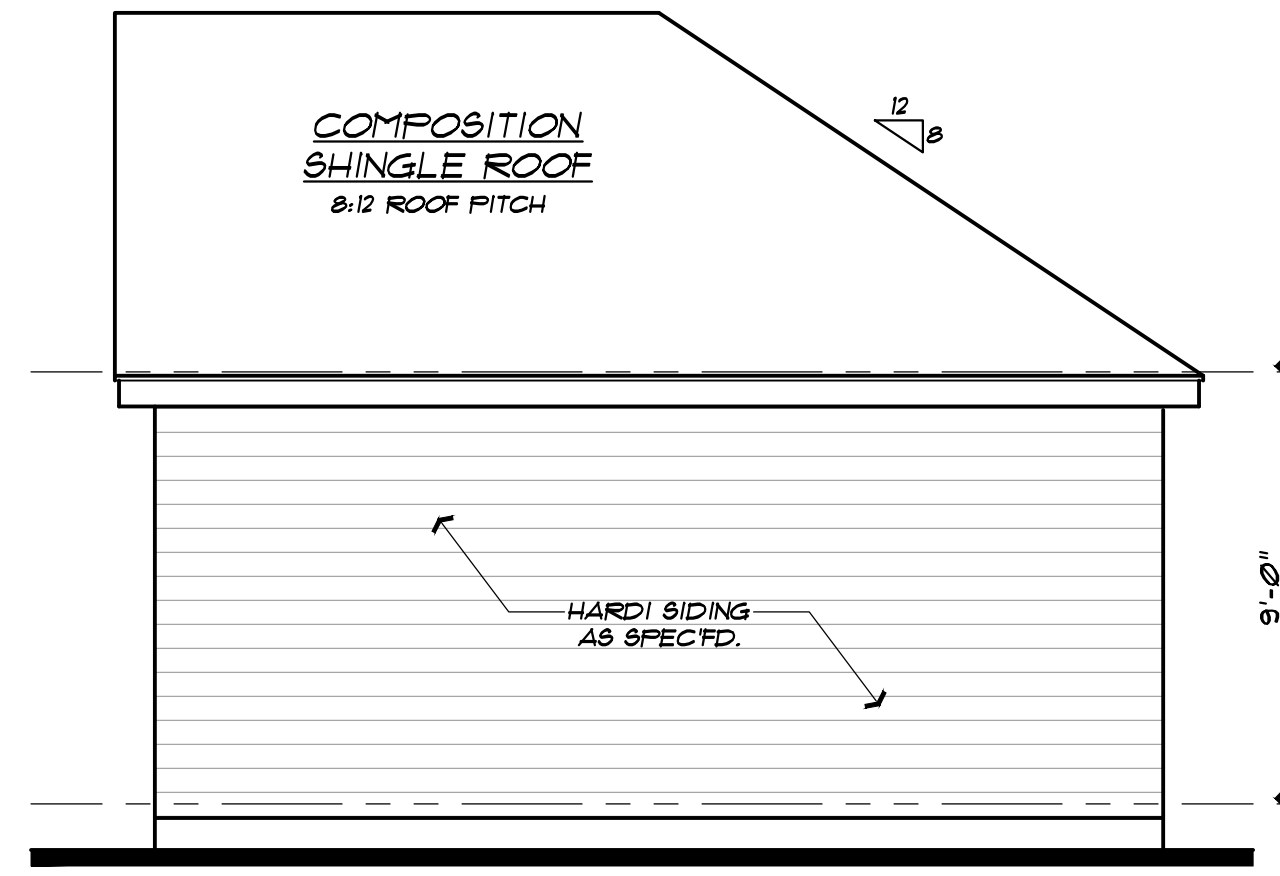
SCALE: 1/4"=1'-0"



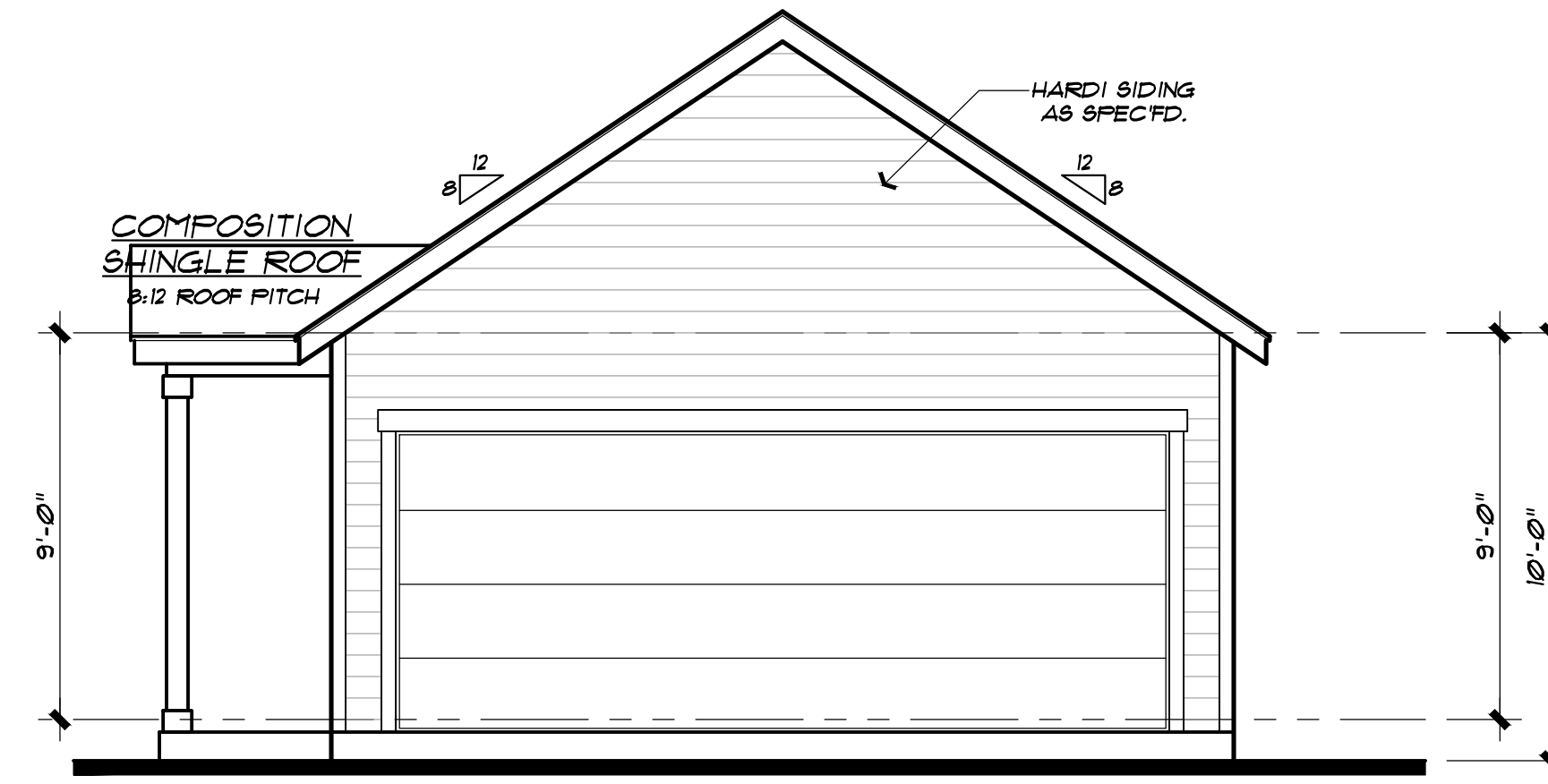
Left Elevation SCALE: 1/4"=1'-0"



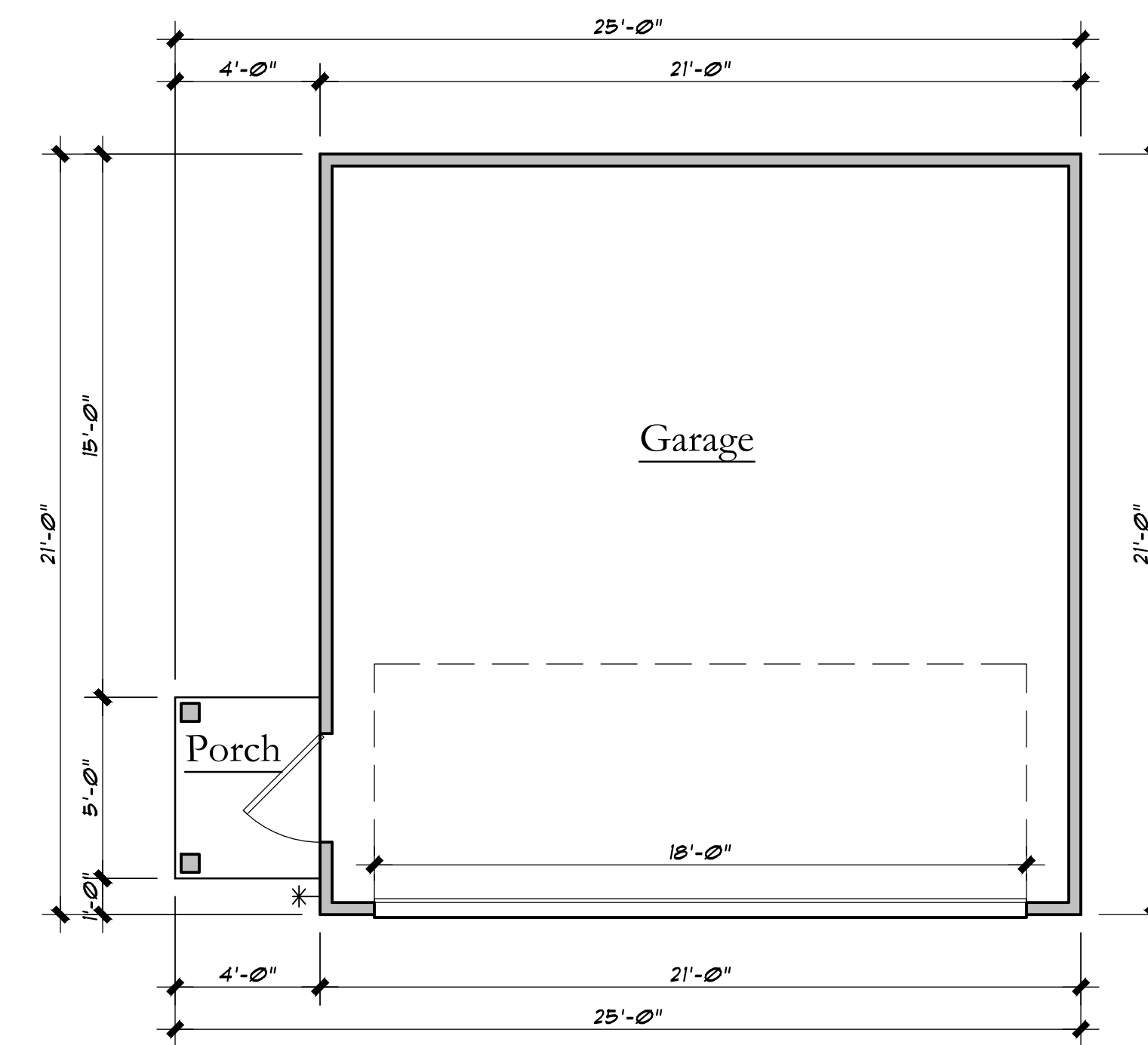
Rear Elevation SCALE: 1/4"=1'-0"



Right Elevation SCALE: 1/4"=1'-0"



Front Elevation SCALE: 1/4"=1'-0"



Garage Plan SCALE: 1/4"=1'-0"

APPROX. GARAGE FOOTAGES

GARAGE	441 #
PORCH	20 #
TOTAL AREA:	461 #

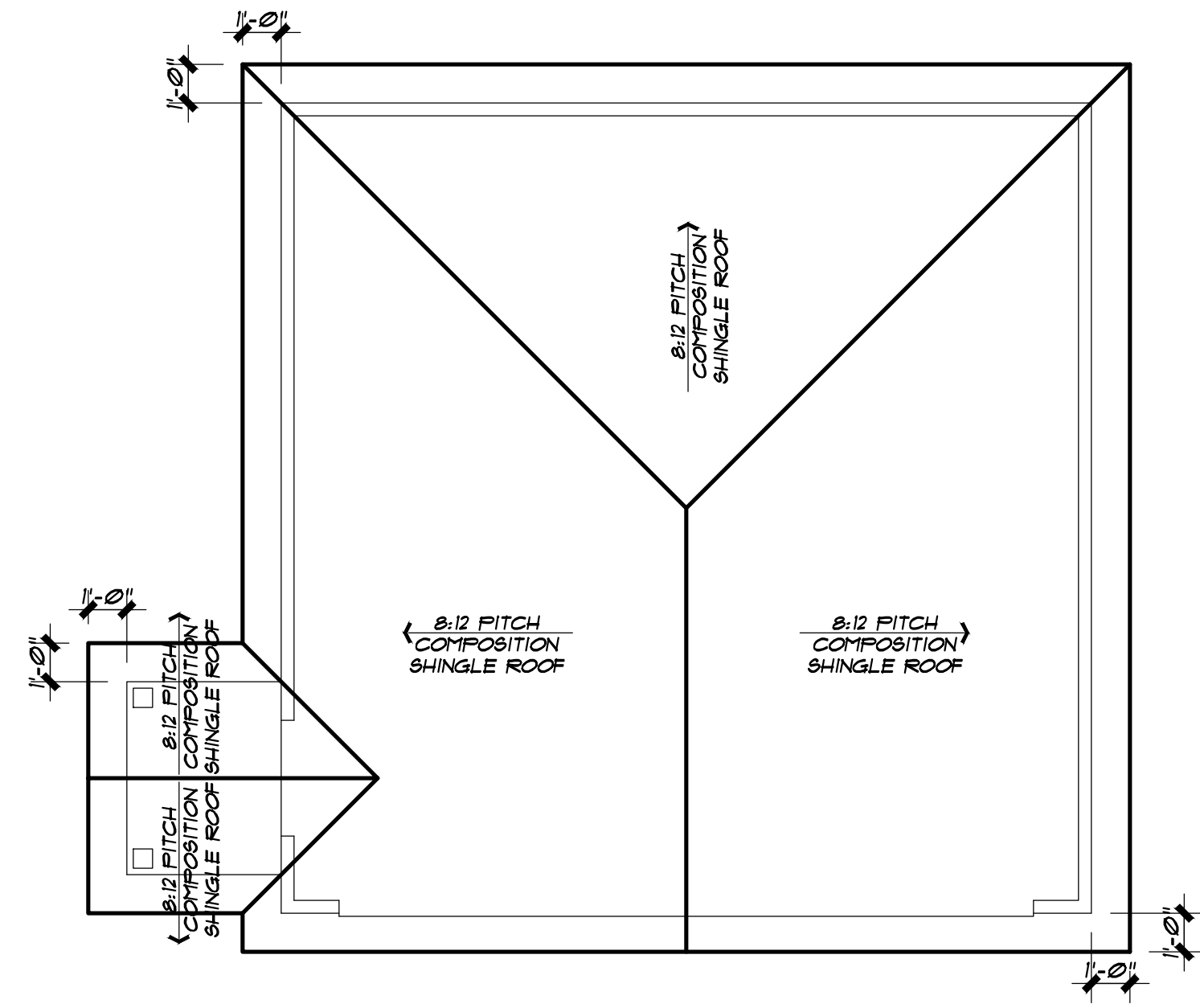
a design for

G:\Dave Isaacs\LDG01.JPG

Spec Home
507 Normandy

JOB NO: Review
sheet 3 of 4
Date: 12/02/2019
Drawn By: SORIANO

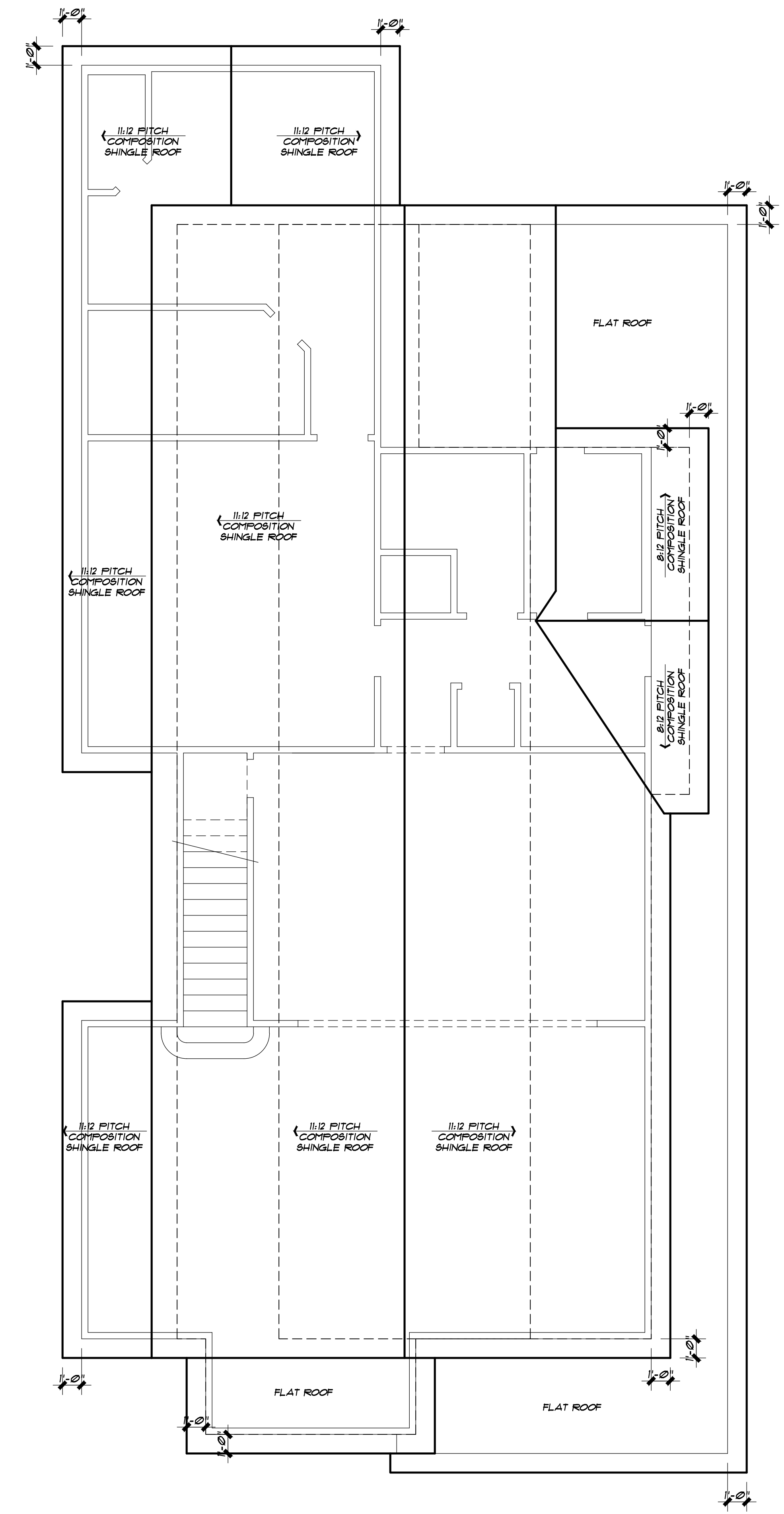
f. e. soriano designs
* San Antonio, Texas * (210) 393-2291 * email: houseplans@att.net *



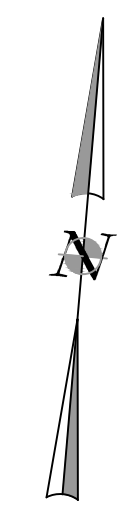
Garage Roof Plan SCALE: 1/4"=1'-0"



Front Elevation SCALE: 1/4"=1'-0"



Roof Plan SCALE: 1/4"=1'-0"



Current street scape



509



507



501

Normandy Ave

510



504



500



Proposed street scape



509



507



501

Normandy Ave

510



504



500



