

P&Z CASE NO. 433 227 & 229 ROSEMARY AVE REPLAT

FEBRUARY 05, 2024



COMMUNITY DEVELOPMENT

Presented by:
Lety Hernandez
Director

PROPERTY



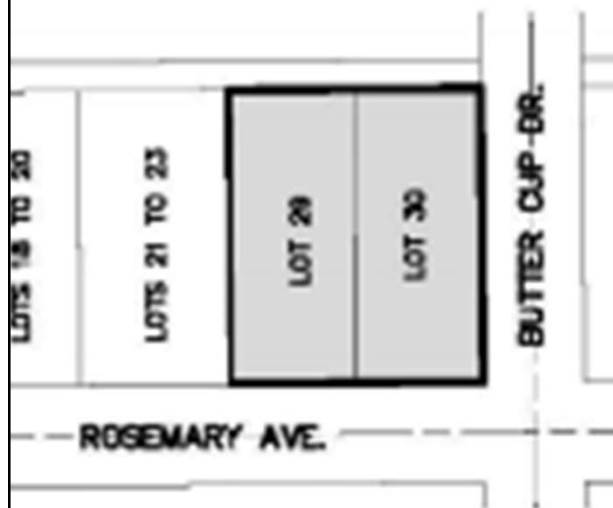
- Single-Family (SF-A)
- North side of Rosemary Ave, west of Buttercup Dr
- Replatting two (2) lots into one (1)

BACKGROUND

- June, 2022
 - P&Z – Approved due to lack of action.
 - Council – Approved.
- 227 Rosemary – Existing residence
- 229 Rosemary – No existing structures



PROPOSED CONDITIONS





POLICY ANALYSIS

- **Sec. 3-12. – Lot Area**
 - Minimum 8,400sq ft
 - Existing 9,060.48sq ft (each)
 - Proposed 18,120.96 sq ft
- **Sec. 3-13. – Lot Width**
 - Minimum 60ft
 - Existing 62.5ft & 62.30
 - Proposed 124.8ft
- Approved by CPS, SAWS, & Public Works



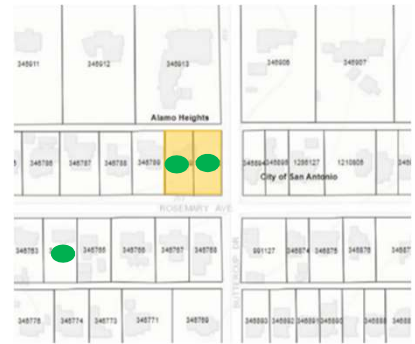
POLICY ANALYSIS

- Approved by CPS, SAWS, & Public Works
- To be considered at February 12, 2024 City Council meeting pending recommendation.



PUBLIC NOTIFICATION

- Postcards – mailed to property owners within a 200-foot radius
- Notices – posted on City website and on the properties
- Legal Notice – posted in official newspaper of the City (SA Express News)
- Responses received:
 - Support: (3) Opposed: (0) Neutral: (0)



P&Z CASE NO. 432 218 CANYON DR REPLAT

FEBRUARY 05, 2024



COMMUNITY DEVELOPMENT

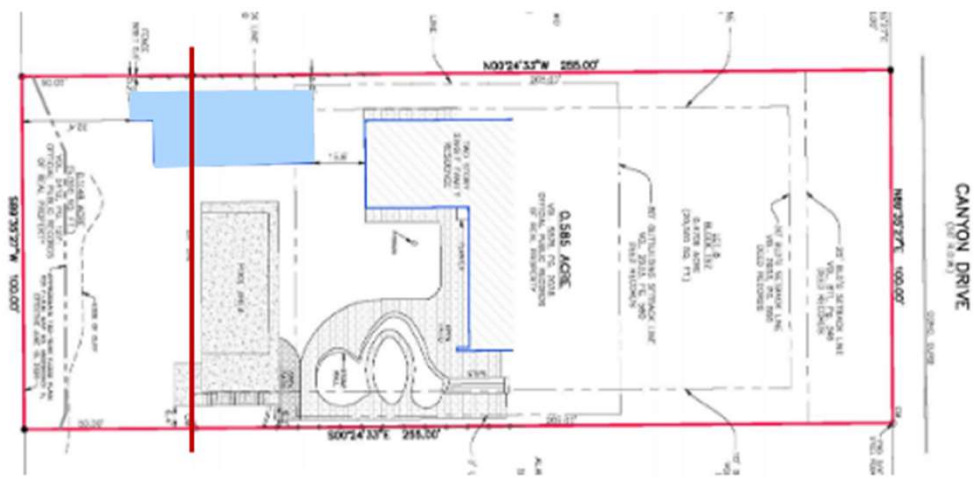
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PROPERTY

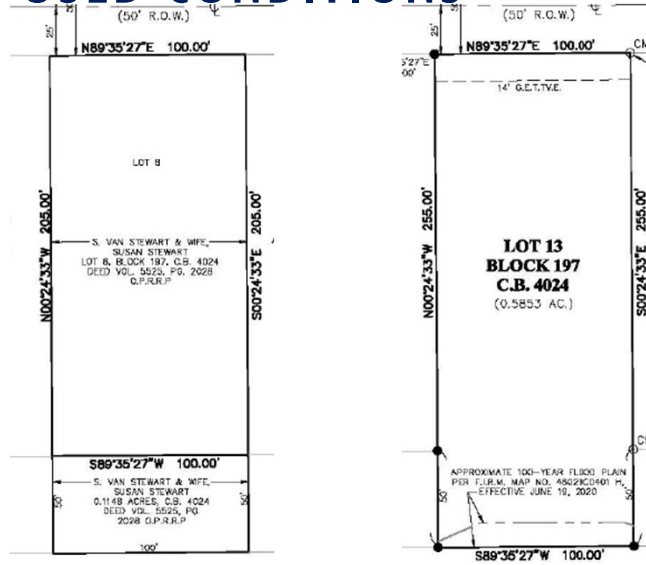


- Single-Family (SF-A)
- South side of Canyon Dr, west of Stonecrest Dr
- Replatting two (2) lots into one (1)

EXISTING CONDITIONS



PROPOSED CONDITIONS



POLICY ANALYSIS



- **Sec. 3-12. – Lot Area**
 - Minimum 8,400sq ft
 - Existing 20,500sq ft
 - Proposed 25,500 sq ft
- **Sec. 3-13. – Lot Width**
 - Minimum 60ft
 - Existing 100ft
 - Proposed 100ft

POLICY ANALYSIS



- Replat would bring accessory structure into compliance
- Approved by CPS, SAWS, & Public Works
- To be considered at February 12, 2024 City Council meeting pending recommendation.

PUBLIC NOTIFICATION



- Postcards – mailed to property owners within a 200-foot radius
- Notices – posted on City website and on the properties
- Legal Notice – posted in official newspaper of the City (SA Express News)
- Responses received:
 - Support: (0) Opposed: (1) Neutral: (0)



P&Z CASE NO. 434 231 ENCINO AVE REPLAT

FEBRUARY 05, 2024



COMMUNITY DEVELOPMENT

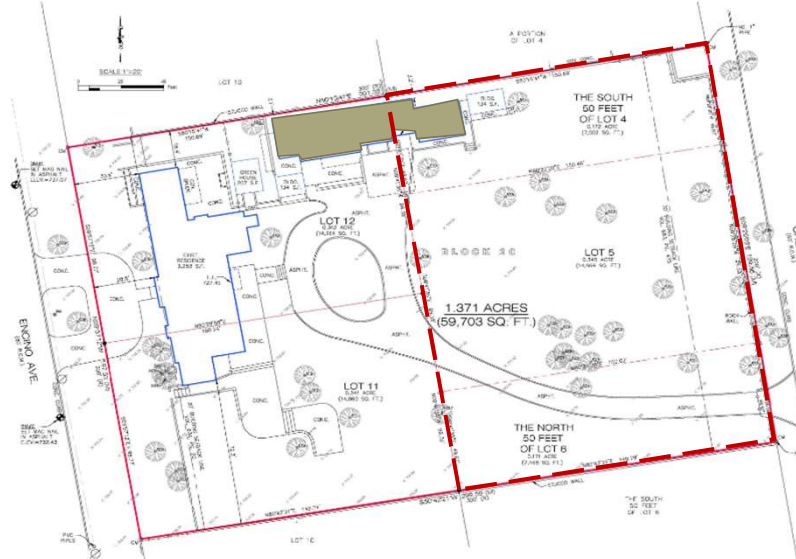
Presented by:
Lety Hernandez
Director

PROPERTY

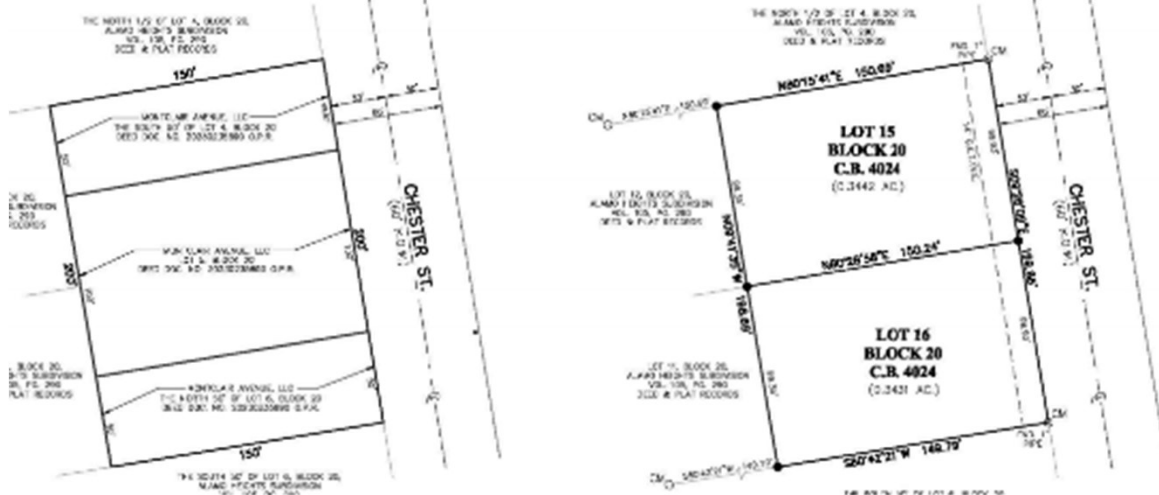


- Single-Family (SF-A)
- East side of Encino Ave between Mary D and Mayflower
- Replatting three (3) lots into two (2)

EXISTING CONDITIONS



PROPOSED CONDITIONS





POLICY ANALYSIS

- **Sec. 3-12. – Lot Area**
 - Minimum 8,400sq ft
 - Existing 30,000sq ft
 - Proposed 14,993.352sq ft (each)
- **Sec. 3-13. – Lot Width**
 - Minimum 60ft
 - Existing 200ft
 - Proposed 100ft (each)



POLICY ANALYSIS

- Demolition of the existing accessory structure would be required prior to release for recordation
- Approved by CPS, SAWS, & Public Works
- To be considered at February 12, 2024 City Council meeting pending recommendation.



PUBLIC NOTIFICATION

- Postcards – mailed to property owners within a 200-foot radius
- Notices – posted on City website and on the properties
- Legal Notice – posted in official newspaper of the City (SA Express News)
- Responses received within 200ft radius:
 - Support: (0) Opposed: (12) Neutral: (0)
- Responses received outside 200ft radius:
 - Support: (0) Opposed: (3) Neutral: (0)

