



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Board of Adjustment Meeting
Wednesday, September 03, 2025 – 5:30 P.M.

Take notice that a regular meeting of the Board of Adjustment of the City of Alamo Heights will be held on **Wednesday, September 03, 2025, at 5:30pm** in the City Council Chambers, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects which may come before it.

Case No. 2451 – 328 Albany St

Application of Puerto BB, LLC, owner, requesting the following variance(s) in order to construct a new single-family residence on the property located at **CB 4050 BLK 76 LOT 21, 22 & 23**, also known as **328 Albany St**, zoned SF-A:

1. A proposed 10ft front yard setback for the main structure instead of the minimum 30 ft front yard setback required per Section 3-14,
2. The proposed 53.95% impervious cover in the front yard setback exceeds the maximum 30% allowed per Section 3-18, and
3. The proposed 48.84% of any lot area covered by the main building and all accessory buildings on the lot exceeds the maximum allowed 40% required per Section 3-17 of the City's Zoning Ordinance.

Plans may be viewed online* (www.alamoheightstx.gov/departments/planning-and-development-services/public-notices) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Tyler Brewer, Senior Planner, (tbrewer@alamoheightstx.gov), Sarah Olivares, Planner, (solivares@alamoheightstx.gov), or Lety Hernandez, Director, (lhernandez@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.

Mr. Brewer,

Thank you for your help for my BOA submission, it is most appreciated. Per your instructions I am requesting the following permission for variance:

1. A proposed 10 ft front yard setback for the main structure instead of the minimum 30 ft front yard setback required per Section 3-14 of the City's Zoning Ordinance.
2. The maximum imperious cover in the front yard setback shall be 53.95 percent of the total square footage within the front yard setback instead of the maximum allowed thirty (30) percent required per Section 3-18 of the City's Zoning Ordinance.
3. The maximum percentage of any lot area covered by the main building and all accessory buildings on the lot shall not exceed 48.84 percent instead of the maximum allowed forty (40) percent required under Section 3-17 of the City's Zoning Ordinance.

Please Note:

1. I have **reduced** the square footage of the house / garage as it relates to the demo review meeting Re: Architectural Review Board Case No. 986F, 328 Albany St, Alamo Heights, TX 78209
2. **The proposed "new house build" setback is in fact farther away from the city curb than the "existing residence".**
3. The proposed "new house build" house is also, most notably, **farther away from the city curb than both of my adjacent neighbors.**
4. Please recall I am asking for a 10' setback from the property line for my new build which equates to a 19' to 23' setback from the curb depending upon which radius of the arc you measure from. The present "curb setback" of the existing house's first plane is at 17'-1" measured from the curb to the center of the existing walkway meeting the first front plane of the house.
5. Please recall that Albany is a winding road with strong elevation changes I am removing the front driveway to aid in the safety of ingress and egress as well as pedestrian safety
6. Coupled with the curb itself being concave on Albany Street, and projecting inward to the lot further confusing what should be considered the "measured distance from front curb." I have tried to be fair and match area for area for the above measured distances.
7. 328 Albany is shallower than a standard lot at 96.4'. This represents a **hardship** with the requirements of a 30' front setback and a 20' rear setback: **Leaving me less than a 47' building envelope front to back. This narrow strip would necessitate a 2-3 story build** in order to have enough SQFT to be habitable by a family.

In Conclusion, I ask that you consider approving a:

- A) More agreeable front yard setback / impervious coverage adjustment for the “front property setback”
- B) Allowance to place all of my all my allowable “Floor to Area Ratio” on 1 story instead of 2-3,**which 2-3 story houses would take away from my neighbors view**, & result in the degradation of the the immediate area’s architectural characteristics,
- C) As ARB board members have indicated: **“One story builds are more amenable than two or two and a half.”**

My request for variance will result in a more pleasant, safe, and architecturally-significant build than exists currently - improving neighborhood architectural conditions.

With warm regards,
Jahan H. Ahmadi, MS
Asgar Holdings Limited
c/o
Puerto BB LLC
512-656-4661

td-b.com

tailored design-build lc

Consultant : TAILORED DESIGN-BUILD L C
Address: 3407 FOOTHILL TERRACE AUS-TX 78731
Phone: 512-656-4661
e-mail: JHA@TD-B.COM

Consultant
Address
Address
Phone
Fax
e-mail

[illegible]

Project number	11.1
Date	5/28/25
Drawn by	JHA
Checked by	JHA
<h1>A0 render</h1>	
Scale	

Date	5/28/25
------	---------

Checked by	JHA
------------	-----

A0 render

Scale

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail

[illegible]

Project number	11.1
Date	5/28/25
Drawn by	JHA
Checked by	JHA

Scale $1/8" = 1'-0"$



GENERAL NOTES:

ALL CONSTRUCTION SHALL CONFORM TO BUILDING CODES REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
ALL IRC SECTIONS AND TABLES REFERENCED REFER TO THE 2021 IRC.

1. BUILDER SHALL VERIFY: ALL LOT DIMENSIONS, EASEMENTS, BUILDING LINES, HEIGHT RESTRICTIONS, ROOF OVERHANG & GUTTER LIMITATIONS, FINISH FLOOR HEIGHTS (W RESPECT TO DRAINAGE & FLOOD PLAIN ISSUES), COVERAGE % AND ALL DEED RESTRICTIONS PRIOR TO COMMENCING CONSTRUCTION.
2. BUILDER & ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY BEFORE COMMENCING ADDITIONAL WORK.
3. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. & FROM HABITABLE ROOMS ABOVE GARAGE BY 5/8" TYPE X GYP. BD. AND COMPLY WITH IRC SEC. R302.
4. ESCAPE/RESCUE WINDOW FROM SLEEPING AREAS SHALL HAVE A MINIMUM OF 5.7 SQ.FT. CLEAR NET OPENING AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". FINISHED SILL HEIGHT SHALL BE A MAXIMUM OF 44" ABOVE THE FLOOR & PER IRC SEC 310.
5. CONTRACTOR IS TO PROVIDE STEEL LINTELS ABOVE ALL OPENINGS WITH MASONRY ABOVE PER IRC SEC. 703.8
6. ONE-HOUR RATED GYPSUM BOARD SHALL BE INSTALLED UNDER STAIRS.
7. PROVIDE CROSS VENTILATION AT ENCLOSED ATTICS PER IRC R006.
8. ELECTRICAL CONTRACTOR TO LOCATE 110V OUTLET WITHIN 25'-0" OF A/C COMPRESSOR (GFI).
9. FIREPLACE CHIMNEY TO BE 2'-0" HIGHER THAN ANY STRUCTURE WITHIN 10'-0" (& 3'-0" MIN. HEIGHT AT RIDGE).
10. FACTORY BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE W/ IRC SECTION R1004 & SHALL BE TESTED IN ACCORDANCE W UL 127.
11. SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER IRC SEC. R314.
12. HANDRAILS SHALL BE INSTALLED ALONG ALL STEPS/STAIRS WITH 4 OR MORE RISERS AND CONFORM TO IRC SEC R311.
13. ALL HORIZONTAL GUARD RAILS WILL BE A MINIMUM OF 30" IN HEIGHT & COMPLY TO IRC SEC R312.
14. WALLS SHALL BE BRACED IN ACCORDANCE OF IRC SEC R602.10.
15. GLAZING SHALL COMPLY WITH IRC SEC. R305
16. ROOF OVERHANGS SHALL NOT EXTEND INTO ANY UTILITY EASEMENTS.
17. IN C.O.S.A., VENTS IN GARAGE PER C.O.S.A. AMENDMENTS TO L.R.C.
18. IN AREAS UNDER IRC 2006 OR LATER, PROJECTIONS LESS THAN 5' FROM PROP. LINE SHALL HAVE A 1-HOUR MIN. FIRE RESISTANCE RATING ON THE UNDERSIDE & SHALL NOT EXTEND TO WITHIN 4' OF PROP. LINE PER R302 & TABLE 302.1.
19. ALL DETAILS SHOWN ARE GENERAL AND ILLUSTRATIVE IN NATURE. BUILDER SHALL BE RESPONSIBLE FOR OVERSEEING AND INSURING ALL WATER-PROOFING, STRUCTURAL, AND OTHER CONSTRUCTION IS BUILT PROPERLY, PER CODES, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS.
20. REFER TO ATTACHED RESIDENTIAL DETAIL SHEET FOR STANDARD DETAILS. NOTIFY ARCHITECT IMMEDIATELY IF NOT INCLUDED IN THIS SET OF DRAWINGS.
21. ALL SITE & SURVEY INFORMATION PROVIDED BY OTHERS.
22. SITE GRADING AND DRAINAGE PLANS BY OTHERS.
23. ALL ENGINEERING DESIGNS INCLUDING, BUT NOT LIMITED TO, CIVIL, GEOTECHNICAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED BY OTHERS.

td-b.com

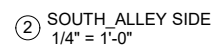
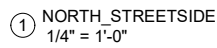
tailored design-build lc

Consultant : TAILORED DESIGN-BUILD L C
Address: 3407 FOOTHILL TERRACE AUS-TX 78731
Phone: 512-656-4661
e-mail: JHA@TD-B.COM

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail



328 ALBANY ST
78209

Project number	11.1
Date	5/28/25
Drawn by	JHA
Checked by	JHA
<h1>A3 ele N/S</h1>	
Scale	1/4" = 1'-0"

td-b.com

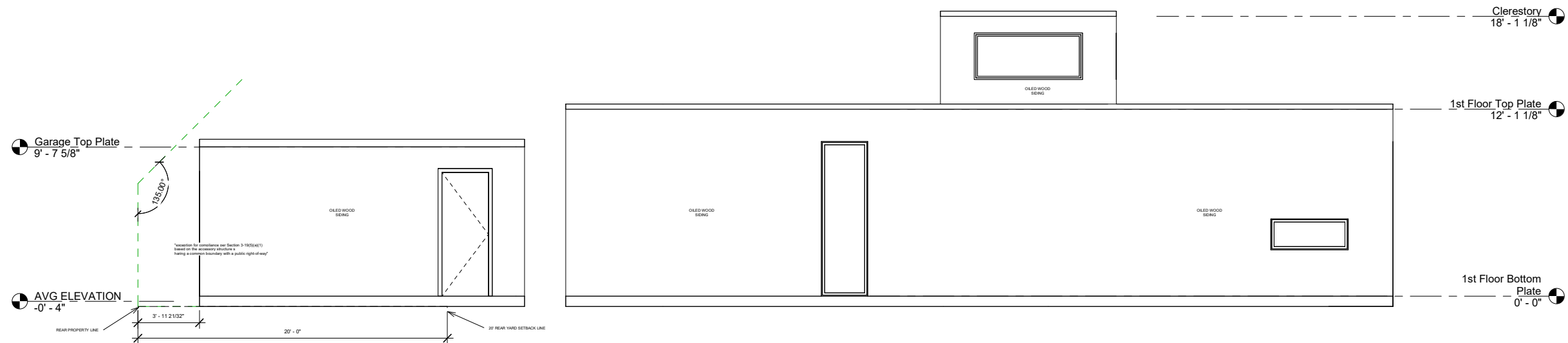
tailored design-build lc

Consultant : TAILORED DESIGN-BUILD L C
Address: 3407 FOOTHILL TERRACE AUS-TX 78731
Phone: 512-656-4661
e-mail: JHA@TD-B.COM

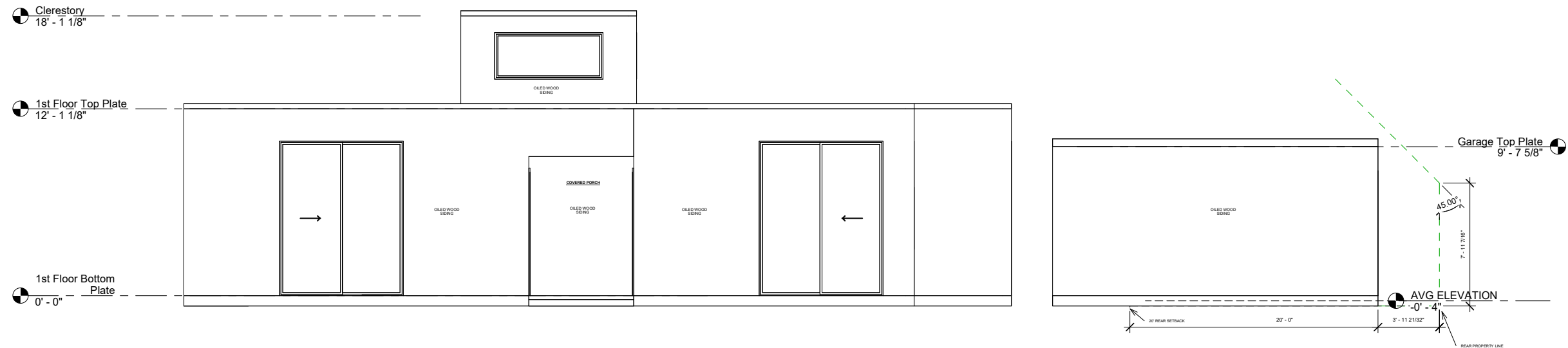
Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail



② EAST_EXISTING CURBCUT SIDE
1/4" = 1'-0"



① WEST
1/4" = 1'-0"

[illegible]

328 ALBANY ST
78209

Project number	11.1
Date	5/28/25
Drawn by	JHA
Checked by	JHA

A4 ele E/W

Scale	1/4" = 1'-0"
-------	--------------

td-b.com

tailored design-build lc

Consultant : TAILORED DESIGN-BUILD L C
Address: 3407 FOOTHILL TERRACE AUS-TX 78731
Phone: 512-656-4661
e-mail: JHA@TD-B.COM

Consultant
Address
Address
Phone
Fax
e-mail

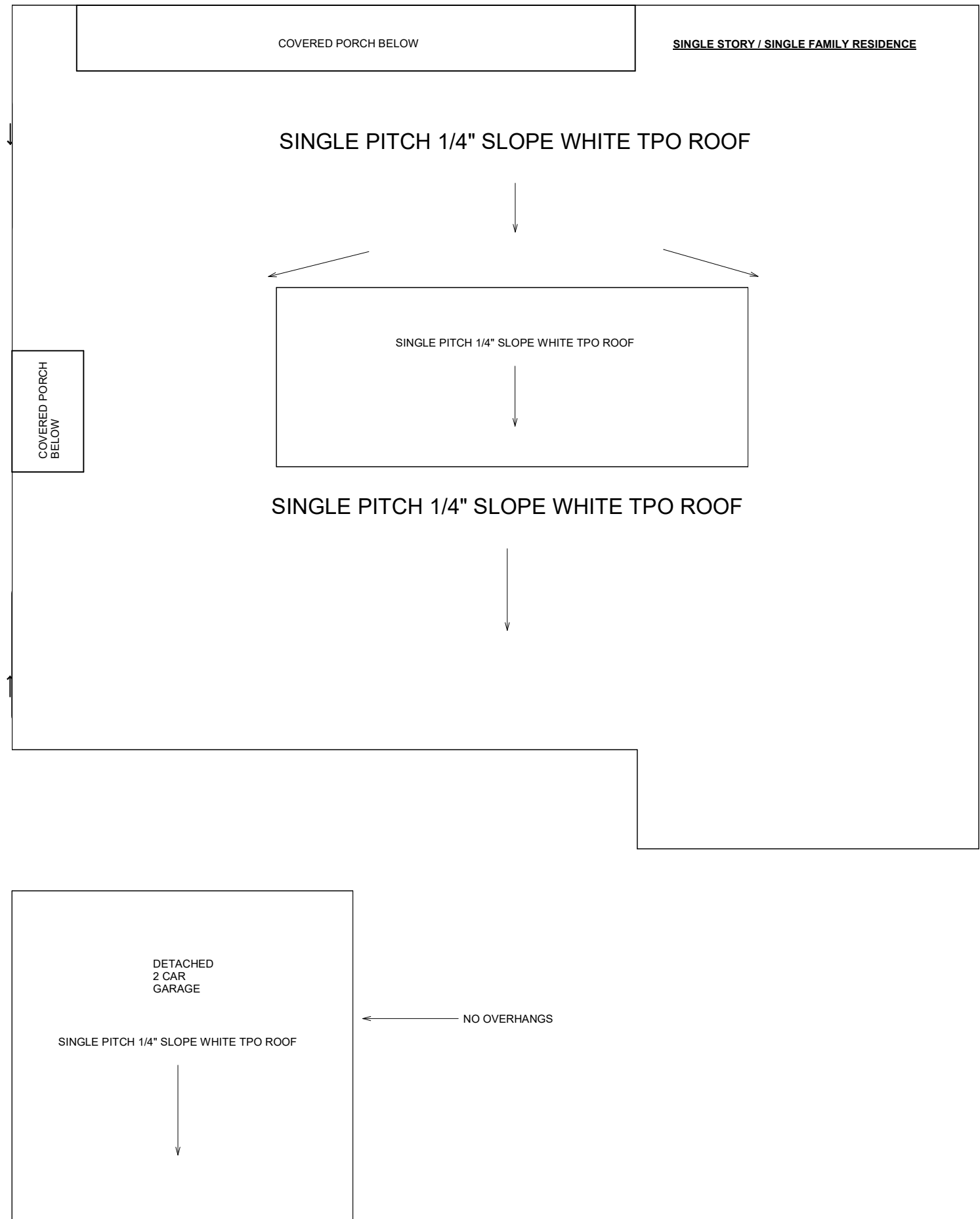
[illegible]

328 ALBANY ST
78209

Project number	11.1
Date	5/28/25
Drawn by	JHA
Checked by	JHA

A5 roof plan

Scale	1/4" = 1'-0"
-------	--------------



① Roof Plan
1/4" = 1'-0"

td-b.com

tailored design-build lc

Consultant : TAILORED DESIGN-BUILD L C
Address: 3407 FOOTHILL TERRACE AUS-TX 78731
Phone: 512-656-4661
e-mail: JHA@TD-B.COM

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail



① 3D View Streetscape Perspective

[illegible]

328 ALBANY ST
78209

Project number	11.
Date	5/28/2
Drawn by	JH
Checked by	JH

3D Views (1)

Scale