

## 132 Normandy – Architecture Review Board Review

Date: 3/21/2025

Owner: John Goudge

Owner's Mailing Address: 305 Castano Ave  
San Antonio, TX 78209

Property Address: 132 Normandy  
San Antonio, TX 78209

### Cover Letter

Our project is requesting to remove the current house and build a new 3100 square foot house. The current house has been gutted on the inside and only walls remain. Between that, the foundation issues, and current layout the cost to improve the house to current standards would out way the cost to build new. The goals of this project are:

1. Provide a four-bedroom three-bathroom house in the heart of Alamo Heights
2. Keep the neighborhoods charm in a new build

The house will have five-inch Hardie siding consistent with other houses on the block and in the area, it will also have a large front porch consistent with older homes in the neighborhood. The roof will be a composite shingle roof consistent with neighboring houses. We will use new wood-clad windows, combining the older style with modern technology to prolong the life of the windows. We will build a new house while keeping styles that are consistent with the older style in the area.

|                              | Existing    | New         | %             |                                | Existing    | New         |
|------------------------------|-------------|-------------|---------------|--------------------------------|-------------|-------------|
| Lot                          | 7500        | 7500        |               | Footprint of all structures    | 1584        | 2334        |
| Main house: 1st floor*       | 1248        | 1616        |               | Driveway/Parking Pad           | 250         | 875         |
| Main house: 2nd floor        | 0           | 1506        |               | Walkways                       | 80          | 80          |
| Front porch*                 | 72          | 155         |               | Swimming Pool/Spa              | 0           | 0           |
| Side porch*                  | 0           | 0           |               |                                |             |             |
| Rear porch*                  | 192         | 0           |               | <b>Total Impervious Cover:</b> | <b>1914</b> | <b>3289</b> |
| Garage/Carport: 1st floor*   | 264         | 403         |               |                                |             |             |
| Garage - 2nd Flor            | 0           | 0           |               |                                |             |             |
| Shed*                        |             |             |               |                                |             |             |
| Breezeway*                   |             |             |               |                                |             |             |
| Covered Patio Structure*     |             | 160         |               |                                |             |             |
| <b>Total Square Footage:</b> | <b>1584</b> | <b>3840</b> |               |                                |             |             |
| <b>Total Lot Coverage*</b>   | <b>1584</b> | <b>2334</b> | <b>31%</b>    |                                |             |             |
| <b>FAR</b>                   | <b>1248</b> | <b>3525</b> | <b>47.00%</b> |                                |             |             |

Proposed height 27'-11"

**100 Block of Normandy**









**200 / 300 Block of Normandy (Other Houses)**







**Front / North Elevation**





**West Elevation**



**East Elevation**





**Back / South Elevation**



**Garage Elevation**

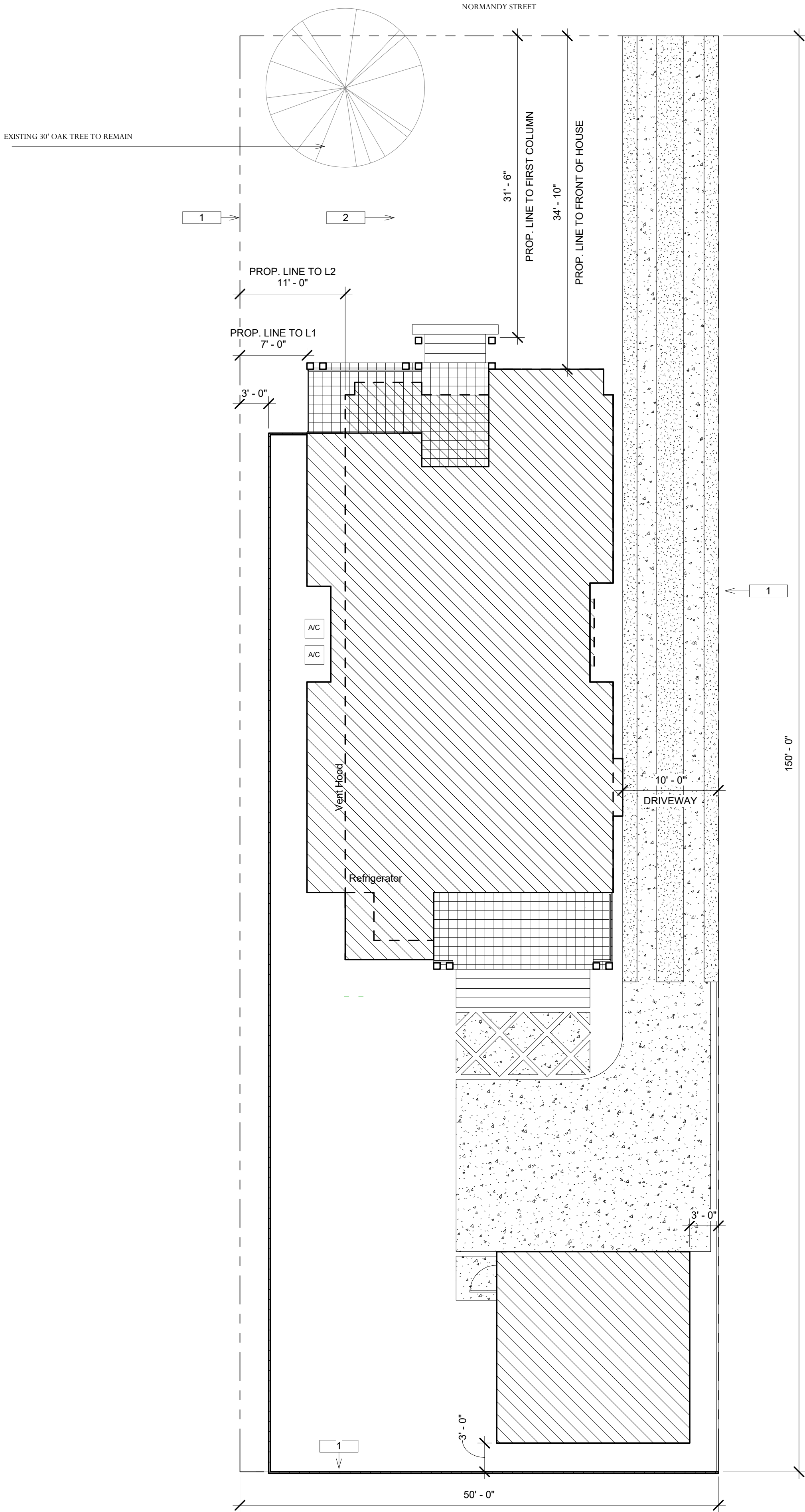




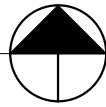
## **Backyard**





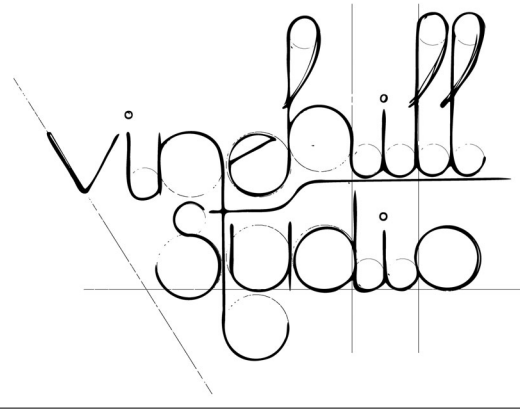


1 Site Plan  
1/8" = 1'-0"



| Keynote Legend |                                      |
|----------------|--------------------------------------|
| Key Value      | Keynote Text                         |
| 1              | Property Line                        |
| 2              | Landscaping to be designed by others |

| Site Plan Legend |  |
|------------------|--|
|                  | MAIN HOUSE FIRST FLOOR (GROSS): 1616 R <sup>2</sup>  |
|                  | MAIN HOUSE SECOND FLOOR (GROSS): 1506 R <sup>2</sup> |
|                  | GARAGE FIRST FLOOR (GROSS): 403 R <sup>2</sup>       |
|                  | COVERED FRONT PORCH (GROSS): 164 R <sup>2</sup>      |
|                  | COVERED BACK PORCH (GROSS): 160 R <sup>2</sup>       |
|                  | CONCRETE DRIVEWAY                                    |
|                  | PERMEABLE MATERIAL                                   |
|                  | LANDSCAPING T.B.D.                                   |
|                  | PROPERTY LINE  |
|                  | NEW 8' WOOD FENCE                                    |



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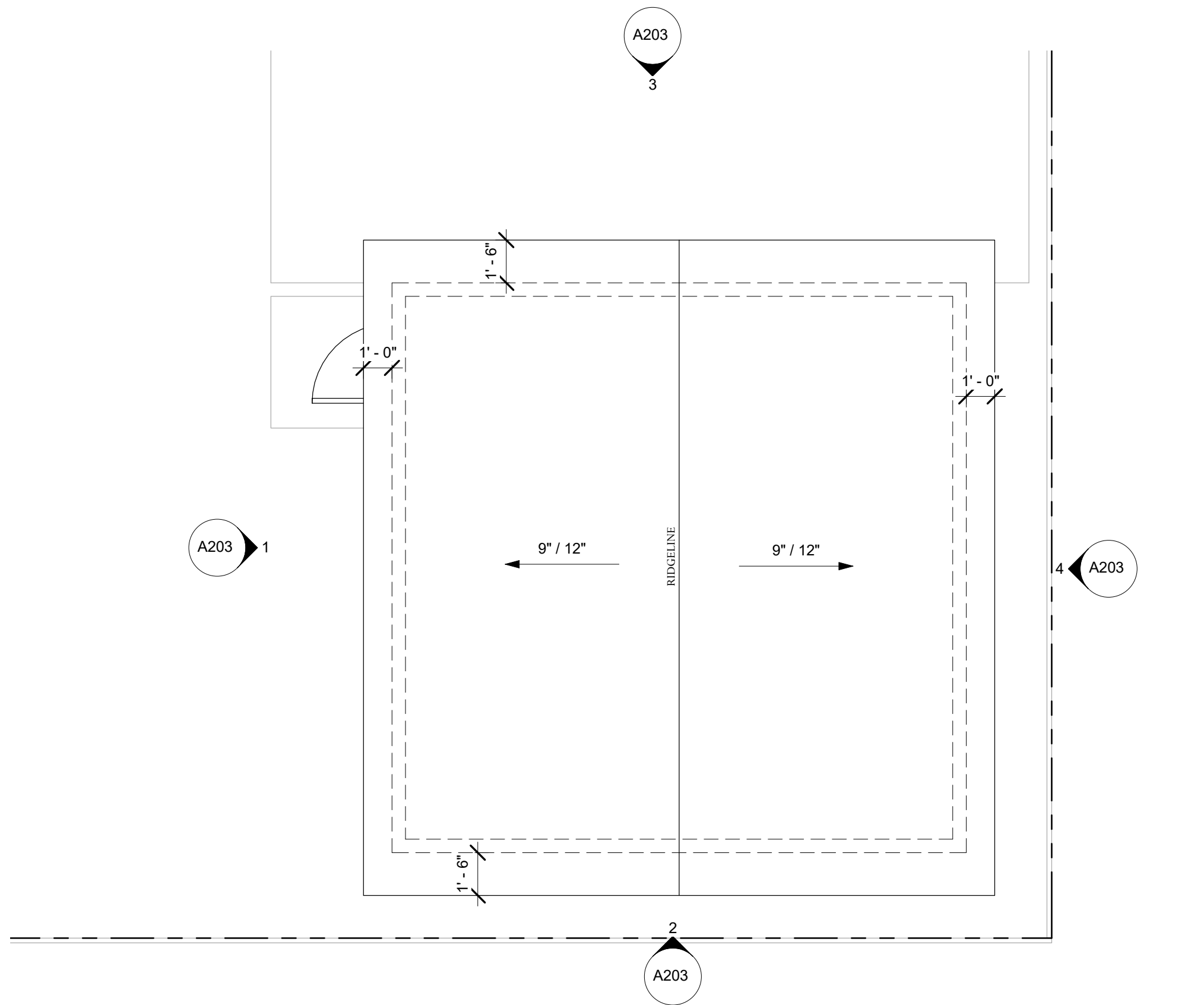
# JCG HOMES

132 Normandy Ave

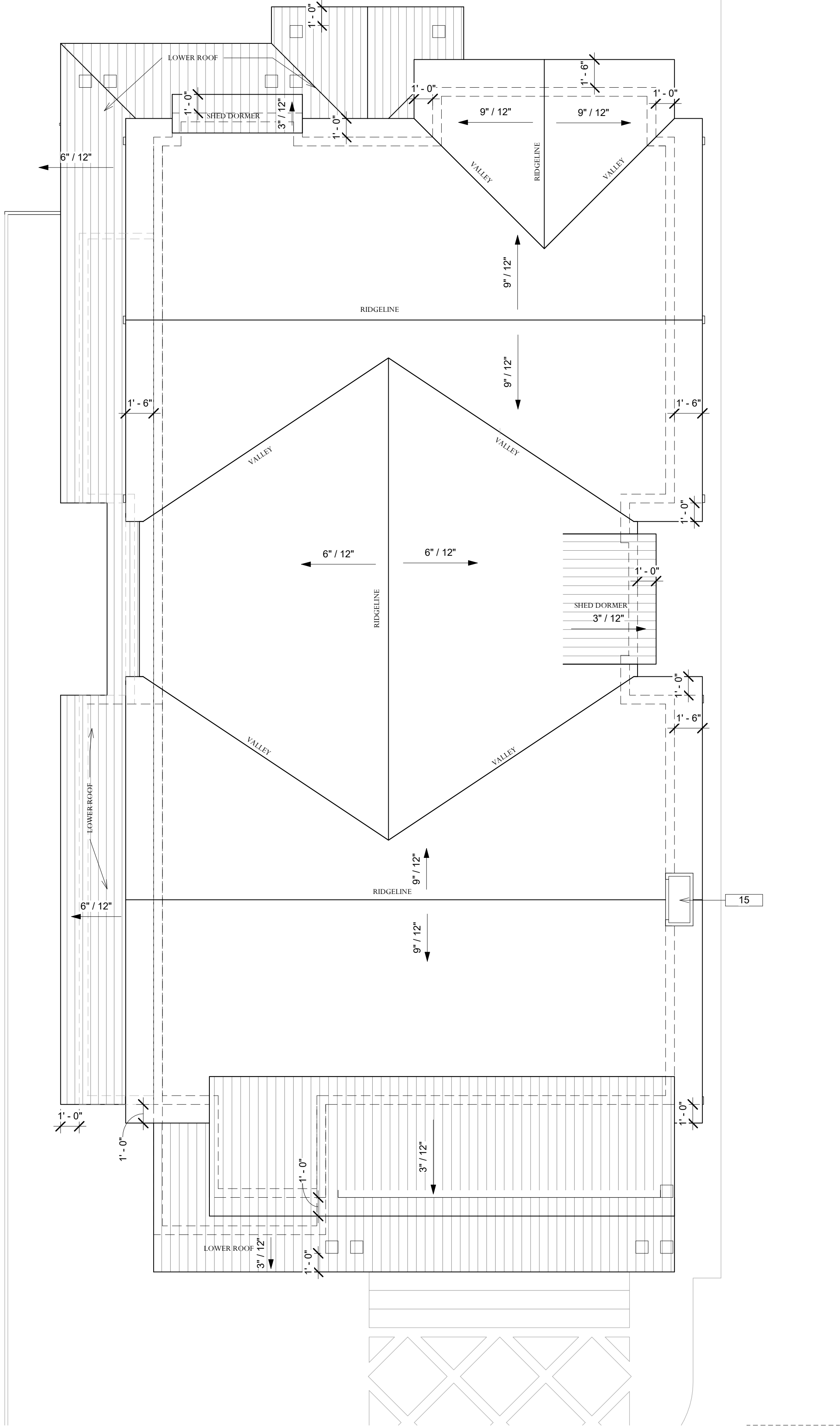
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|-------------|----------------|
| project #   | 00003          |
| date        | 01 / 30 / 2025 |
| drawn by    | AQW            |
| sheet title | Site Plan      |

|         |              |
|---------|--------------|
| sheet # | A100         |
| scale   | As indicated |





② Roof Plan - Garage  
1/4" = 1'-0"



① Roof Plan - Main House  
1/4" = 1'-0"

Keynote Legend

| Key Value | Keynote Text |
|-----------|--------------|
| 15        | Chimney cap  |

Roof Plan Materials Legend

STANDING SEAM METAL ROOF

COMPOSITE SHINGLE ROOF

Site Plan Key

project #

00003

date

07/17/2023

drawn by

AQW

sheet title

Roof Plans

sheet #

A103

scale

As indicated

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132 Normandy Ave

project #

00003

date

07/17/2023

drawn by

AQW

sheet title

Roof Plans

sheet #

A103

scale

As indicated





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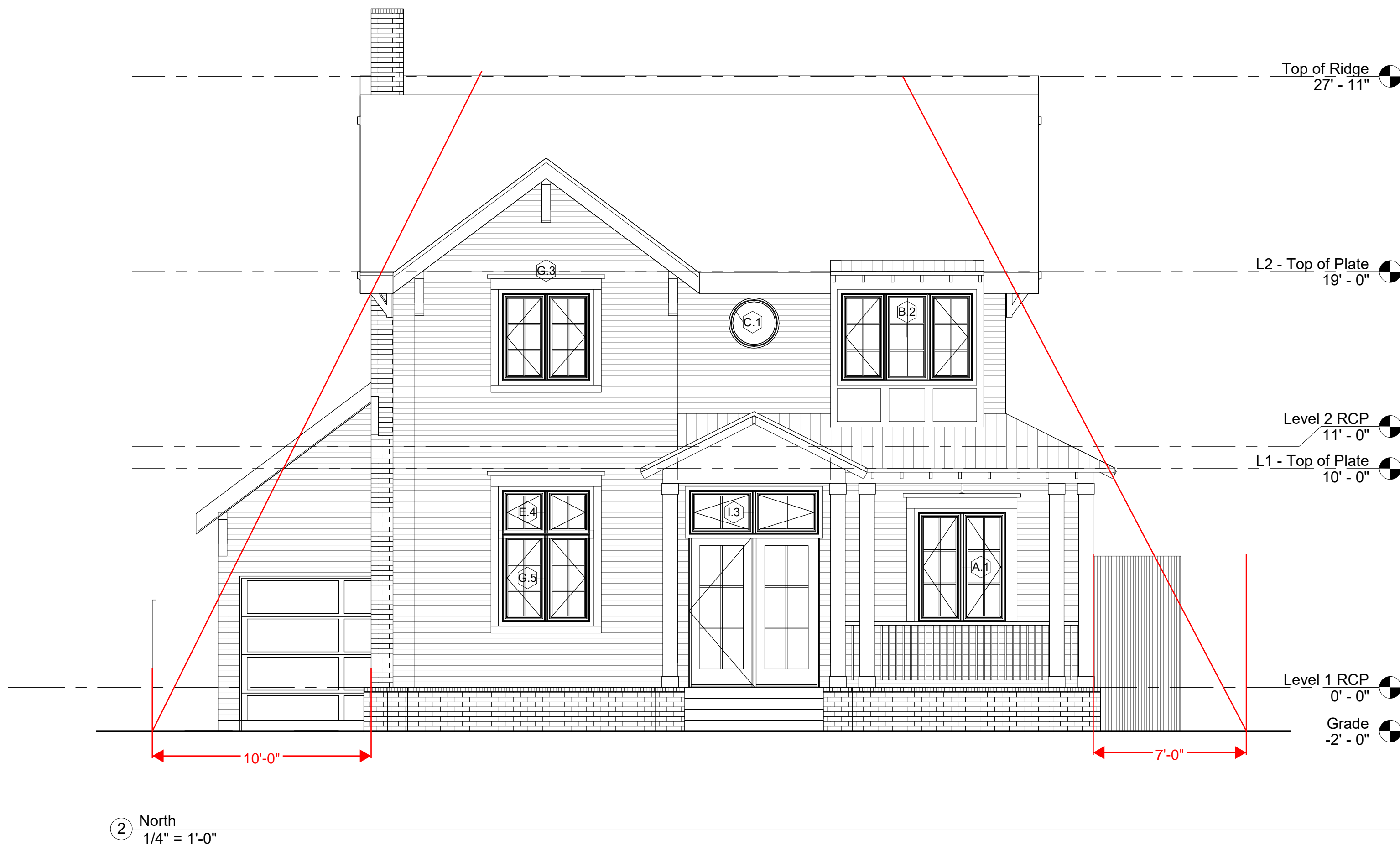
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date 07/17/23  
drawn by AQW  
sheet title

Elevations

sheet #

A201

scale 1/4" = 1'-0"



2 North  
1/4" = 1'-0"

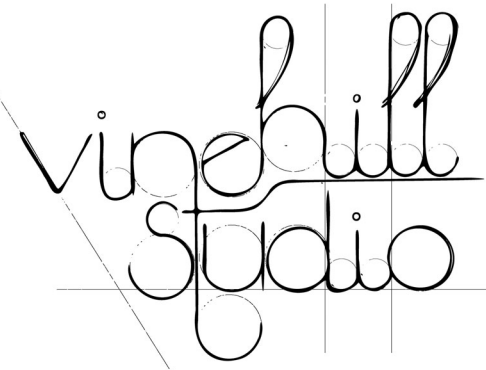


1 East  
1/4" = 1'-0"

Exterior Materials Legend

- HORIZONTAL SIDING - PAINT
- BRICK PLINTH
- NEW 8" CEDAR PLANK FENCE
- STANDING SEAM METAL ROOF
- COMPOSITE SHINGLE ROOF





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132 Normandy Ave



② South  
1/4" = 1'-0"



① West  
1/4" = 1'-0"

Exterior Materials Legend

- HORIZONTAL SIDING - PAINT
- BRICK PLINTH
- NEW 8" CEDAR PLANK FENCE
- STANDING SEAM METAL ROOF
- COMPOSITE SHINGLE ROOF

project # 00003  
date 07/17/23  
drawn by AQW  
sheet title

Elevations

sheet #

A202

scale 1/4" = 1'-0"





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project # 00003

date 07/17/23

drawn by AQW

sheet title

Elevations -  
Garage

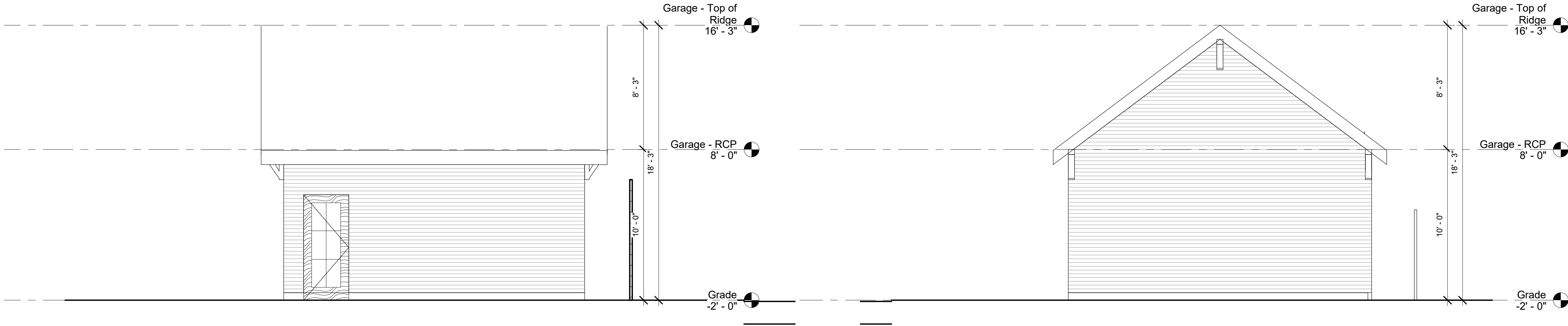
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A203

scale 1/4" = 1'-0"

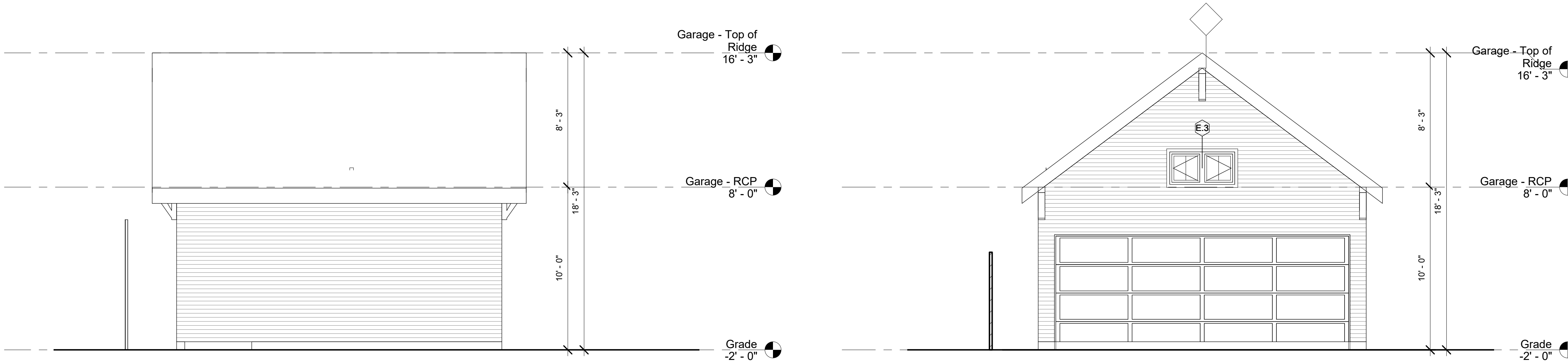
Exterior Materials Legend

- HORIZONTAL SIDING - PAINT
- BRICK PLINTH
- NEW 8" CEDAR PLANK FENCE
- STANDING SEAM METAL ROOF
- COMPOSITE SHINGLE ROOF



① Garage - West  
1/4" = 1'-0"

② Garage - South  
1/4" = 1'-0"



④ Garage - East  
1/4" = 1'-0"

③ Garage - North  
1/4" = 1'-0"





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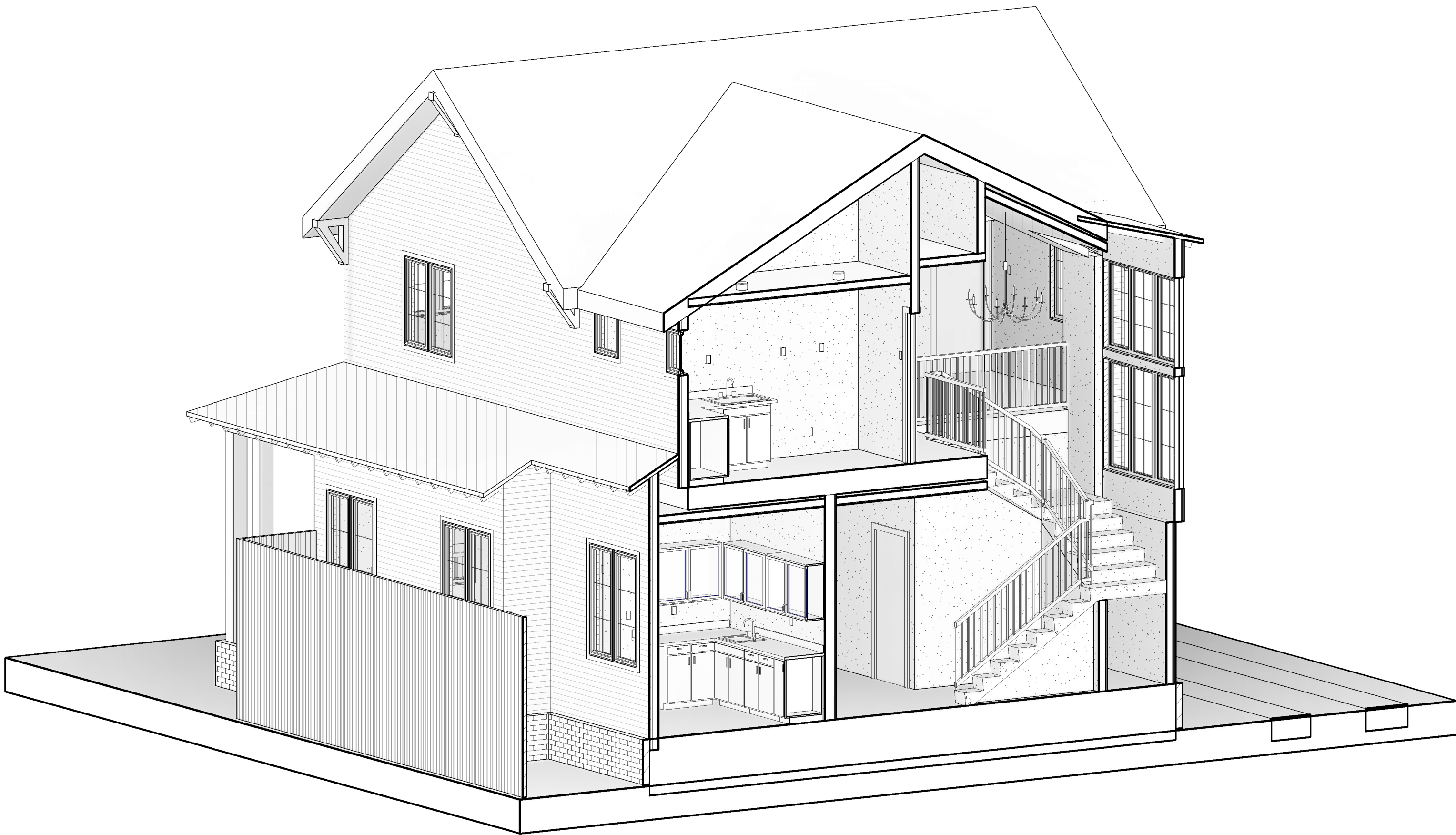
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sheet title

Isometrics

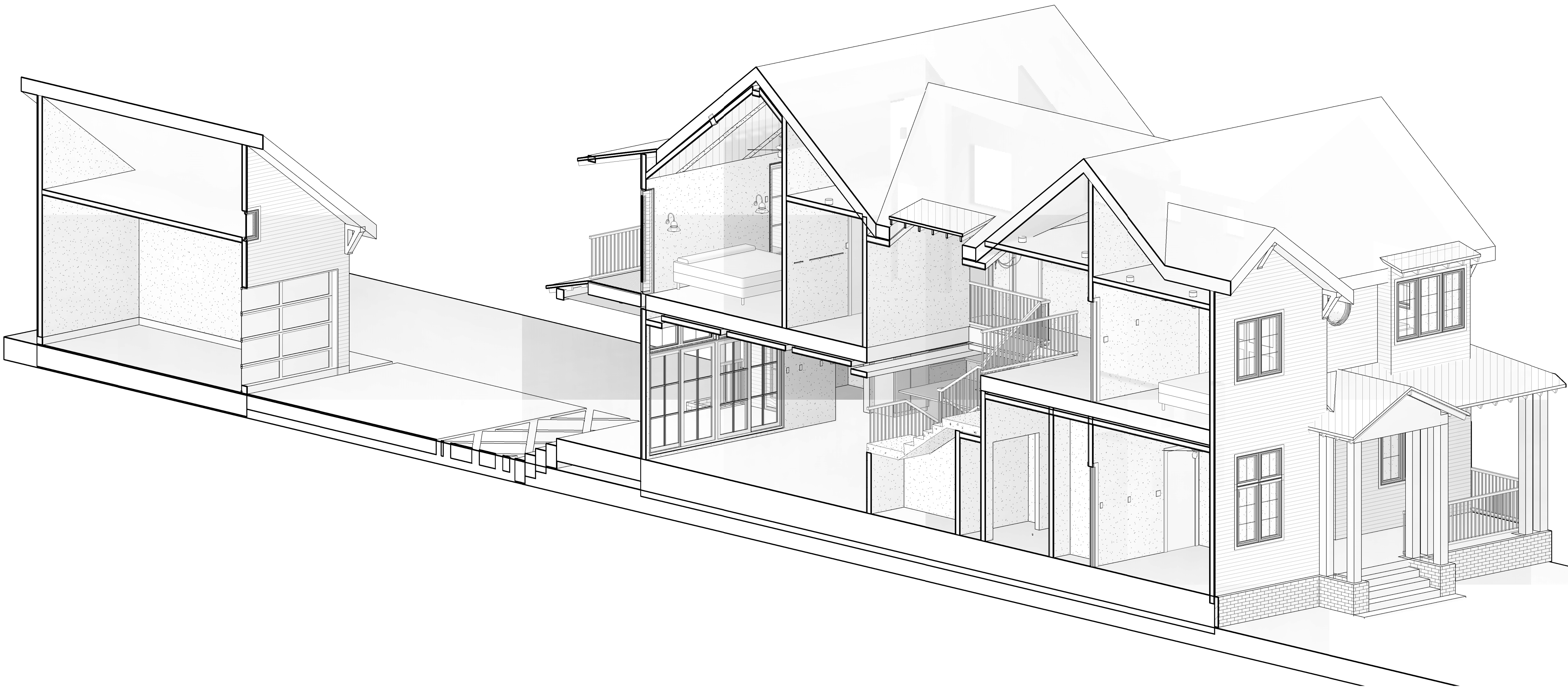
sheet #

A901

scale



2 Section Iso - Cross Section



1 Section Iso - Longitudinal