



**CITY OF ALAMO HEIGHTS**  
**COMMUNITY DEVELOPMENT SERVICES DEPARTMENT**  
**6116 BROADWAY**  
**SAN ANTONIO, TX 78209**  
**210-826-0516**

**Board of Adjustment Meeting**  
**Wednesday, December 06, 2023 – 5:30 P.M.**

Take notice that a regular meeting of the Board of Adjustment of the City of Alamo Heights will be held on **Wednesday, December 06, 2023, at 5:30pm** in the City Council Chambers, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects which may come before it.

***INSTRUCTIONS FOR TELECONFERENCE: The City will make reasonable efforts to allow members of the public to participate via audio by dialing 1- 346-248-7799 and enter access number 893 9488 9735#. If you would like to speak on a particular item, when the item is considered, press \*9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.***

***The City cannot guarantee participation by phone due to unforeseen technical difficulties or provide prior notice if they occur; therefore, the City urges your in-person attendance if you require participation.***

**Case No. 2400 – 730 Corona Ave**

Application of Evan Morris of Lake Flato Architects representing Connie & Sandy McNab, owners, requesting the following variance(s) in order to construct a new single-family residence with detached carport at the property located at **CB 4024, BLK 140, LOT NE IRR 21.31FT OF 1, N IRR 50.48FT OF 2 & 3**, also known as **730 Corona Ave**, zoned SF-A:

1. The proposed detached carport is located to the side of the proposed main structure instead of to the rear as required per Section 3-21 and
2. The detached accessory building is located to the side of the main building instead of to the rear as required per Section 3-85(1) of the City’s Zoning Code.

**Plans may be viewed online\* ([www.alamoheightstx.gov/departments/planning-and-development-services/public-notices](http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices)) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Michelle Ramos, Planner, ([mramos@alamoheightstx.gov](mailto:mramos@alamoheightstx.gov)) or Lety Hernandez, Director, ([lhernandez@alamoheightstx.gov](mailto:lhernandez@alamoheightstx.gov)) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.**



City of Alamo Heights  
**Residential Permit Application\***

COMMUNITY DEVELOPMENT SERVICES DEPARTMENT  
6116 Broadway, Alamo Heights, Texas 78209  
CDS Dept. v: (210) 826-0516 f: (210) 832-2299  
Fire Dept. v: (210) 824-1281 f: (210) 828-3006

General Permit Information [Please print legibly]			Permit # (assigned by Staff):	
Project Address: 730 Corona Ave. Alamo Heights, TX, 78209		Application Date: 11-08-2023		
Project Type – Please check all that apply:				
<input checked="" type="checkbox"/> New construction 2186 sq. ft. <input type="checkbox"/> Addition _____ sq. ft. <input type="checkbox"/> Remodel/Alterations _____ sq. ft. <input type="checkbox"/> Demolition <input type="checkbox"/> Pool/Spa				
<input type="checkbox"/> Fence <input type="checkbox"/> Retaining Wall <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Sewer <input type="checkbox"/> Gas <input type="checkbox"/> Irrigation <input type="checkbox"/> Landscape				
<input type="checkbox"/> Tree Pruning/Removal <input type="checkbox"/> Other _____				
Materials (if applicable): Roof METAL   Exterior Walls WOOD / STUCCO   Foundation CONCRETE   Flatwork CONCRETE				
Is the property in the 100-Year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			Does this project involve any removal of trees? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Estimated cost of construction (includes material & labor): \$ 1.5 MILLION			Total square footage of project: 2100 SF	
Estimated cost of demolition (if applicable): \$ N/A				
Applicant: Evan Morris				
Property Owner: Connie & Sandy McNab				
Check One: <input checked="" type="checkbox"/> Architect/Engineer <input type="checkbox"/> Registered Contractor <input type="checkbox"/> Home/Property Owner*				
Scope of Work (This section must be filled out. If more space is needed, another sheet may be attached.) Construction of a single story residence and detached carport.				

Lot Coverage* / Floor Area Ratio (FAR)	Existing (in sq. ft.)	Proposed (in sq. ft.)	Total Impervious Cover for Stormwater Development Fee	Existing (in sq. ft.)	Proposed (in sq. ft.)
Lot area	20649 SF	20649 SF	Footprint of all structures		2186 SF
Main house: 1st floor*		1576 SF	Driveway/Parking Pad		1743 SF
Main house: 2nd floor		N/A	Walkways		1927 SF
Front porch*		N/A	Swimming Pool/Spa		N/A
Side porch*		N/A	Other impervious cover: FOUNTAIN		113 SF
Rear porch*		N/A	Total Impervious Cover:		5969 SF
Garage/Carport: 1st floor*		610 SF	Stormwater Development Fee:		
Garage: 2nd floor		N/A	Impervious Cover within Front Yard Setback Area	Existing (in sq. ft.)	Proposed (in sq. ft.)
Shed*		N/A	Front yard setback area	7500 SF	7500 SF
Breezeway*		N/A	Footprint of any structure(s)		N/A
Covered patio structure*		N/A	Driveway/Parking Pad		601 SF
Other accessory structures*		N/A	Walkways		190 SF
Total Square Footage:		2186 SF	Other impervious cover: Roof Overhang		380 SF
Total Lot Coverage*:		10.6%	Total Impervious Cover within Front Yard Setback:		1180 SF (15.7%)
Total FAR:		.10			
Max. 40% lot coverage for SF-A and SF-B Districts			Max. 30% impervious cover within front yard setback for SF-A and SF-B Districts Max. 65% impervious coverage for 2F-C Districts		

\*Failure to provide any information required on or along with this application will result in refusal to accept submission of this application and associated plan documents until all information required is provided.

\*\*Projects undertaken by the home/property owner which reflect typical contractor related work such as grading, excavation, and demolition, or which utilizes equipment atypical to a home/property owners work shall be limited by the authorized hours of construction as would a typical general contractor.

I hereby acknowledge that I have read and completed this application and know the same to be true and correct. This project as submitted complies with the International Code series and NEC, as currently adopted by the City of Alamo Heights, and with the Code of Ordinances of the City of Alamo Heights. I hereby acknowledge that no work has or will commence on the proposed project until an approved permit is received. All provisions of laws and ordinances governing the proposed work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any federal, state or local ordinances regulating construction, the performance of construction or the use of any land or buildings.

Connie McNab  
Signature of Property Owner (if applicable)

Date: 11/08/2023

SA  
Signature of Permit Applicant

Date: 11/08/2023

Permit Applicant is ☒ Architect/Engineer, ☐ Registered Contractor, or ☐ Authorized Agent

Date: November 8<sup>th</sup>, 2023

730 Corona Ave.  
San Antonio, TX  
78209

To Whom it May Concern,

Please see the following application to request a variance for the proposed residence at 730 Corona Ave. We request permission to deviate from the zoning requirement outlined in sections 3-21 and 3-81 to locate the detached carport to the side of the main structure rather than located to the rear as prescribed in the zoning code. The proposed open air carport measures approximately 610 SF. The street facing façade is defined by a 6'-0" tall 38'-6" long stucco masonry wall that hides the vehicles. An exposed timber structure with metal roof mirrors the design language of the proposed residence. The carport will accommodate the required two (2) parking spaces and connect to the main structure via a walkway on axis with the main entry.

Due to the unique size and proportions of the atypical lot, we request this variance to the accessory structure location requirements. Meeting the zoning code prescriptions would interfere with the unique natural qualities of the basin landscape, require the removal of existing heritage trees, and require an extensive and disproportionate driveway that is not in keeping with the design and character of the proposed house. We have designed the carport to comply with the zoning code requirements for garages, such that the cars will be hidden from the street, the carport access is from the side, and the carport is recessed from the front façade at the midpoint of the primary structure.

Thank you for your consideration,

Evan Morris



# **Dye Enterprises**

Engineers • Surveyors • Planners  
TBPE, Firm Registration F-2257  
TBPLS, Firm Registration 10087900

D. Scott Dye, P.E., R.P.L.S.

August 18, 2023

City of Alamo Heights  
Community Development Services  
6116 Broadway St.  
San Antonio, TX 78209

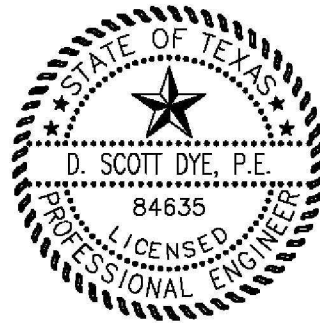
Re: Grading & Impervious Cover Letter  
730 Corona Ave. – Western Expansion  
City of Alamo Heights, Texas

To Whom It May Concern:

We have prepared a grading plan for the referenced property upon which a residential pavilion, two gravel carports, gravel driveway, and gravel paths are being constructed (the architects can provide a better description). In the grading of the site the existing drainage patterns have largely been maintained to the rear property line. FHA Type C lot grading applies to the property. All existing trees are being preserved.

The property was originally developed with a single-family home, which has been demolished. The impervious cover that existed totaled 7,586 s.f. (0.174 of an acre), which is based upon a previous survey. The proposed improvements for the development described above covers an area of 6,181 s.f. (0.142 of an acre), of which 4,556 s.f. (0.105 of an acre) is decomposed gravel, considered pervious. This correlates to a significantly reduced amount of impervious cover which will reduce the peak storm water discharges from the property. No onsite detention is required.

Thank you for your review and consideration. Please do not hesitate to call should you have any questions.



Sincerely yours,

A handwritten signature in black ink, appearing to read "D. Scott Dye".

D. Scott Dye, P.E., R.P.L.S.





# WESTERN EXPANSION

730 CORONA AVE. ALAMO HEIGHTS, TX, 78209

11/08/2023

PERMIT REVISIONS

**LAKE | FLATO**  
© 2018 LAKE FLATO ARCHITECTS, P.C.  
311 THIRD STREET  
SAN ANTONIO, TEXAS 78205  
P210.227.3335 F210.224.9515  
[www.lakeflato.com](http://www.lakeflato.com)





V1 EXISTING SITE - VIEW FROM STREET, NORTHEAST  
SCALE: 1/4" = 1'-0"



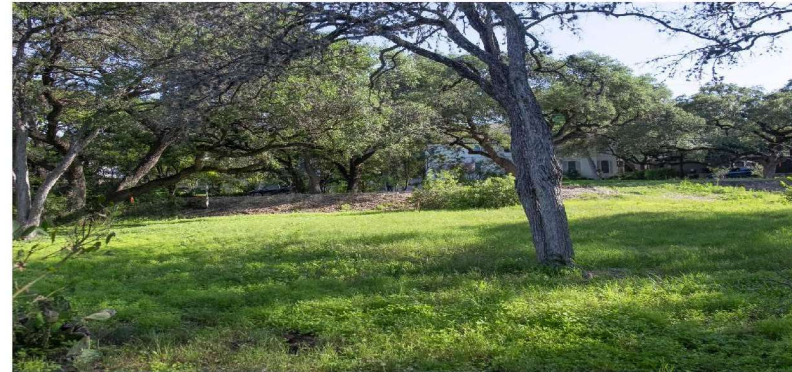
V3 EXISTING SITE - VIEW FROM NORTHWEST



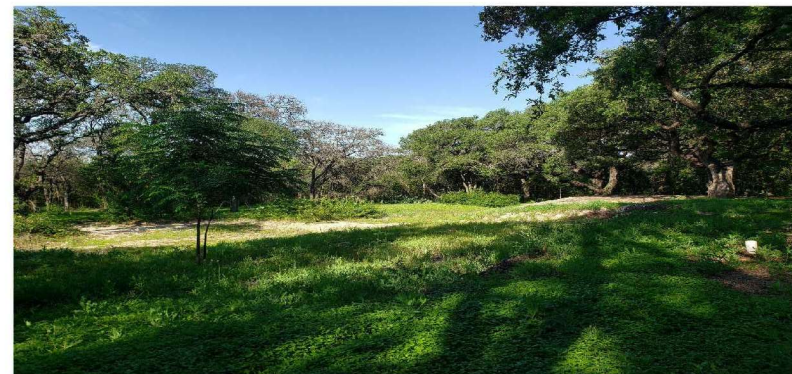
V5 EXISTING SITE - VIEW FROM SOUTHEAST



V2 EXISTING SITE - VIEW FROM STREET, NORTH



V4 EXISTING SITE - VIEW FROM SOUTHWEST



V6 EXISTING SITE - VIEW FROM NORTHEAST

LAKE | FLATO  
800 LAKE FLATO  
511 THIRD STREET  
SAN ANTONIO, TEXAS 78205  
P: 214.227.5225 F: 214.227.4400  
WWW.LAKEFLATO.COM



## WESTERN EXPANSION

730 CORONA AVE.  
ALAMO HEIGHTS, TX,  
78209

ARCHITECT  
LAKE | FLATO  
CONTACT: TAYLOR  
Phone: 214.227.5225  
Email: taylor@lakeflato.com

CONTRACTOR  
TAYLOR CONSTRUCTION  
CONTACT: TAYLOR  
Phone: 214.227.5225  
Email: taylor@taylorconstruction.com

STRUCTURAL  
LAKE | FLATO  
CONTACT: TAYLOR  
Phone: 214.227.5225  
Email: taylor@lakeflato.com

CIVIL  
LAKE | FLATO  
CONTACT: TAYLOR  
Phone: 214.227.5225  
Email: taylor@lakeflato.com

GEOTECH  
LAKE | FLATO  
CONTACT: TAYLOR  
Phone: 214.227.5225  
Email: taylor@lakeflato.com

LANDSCAPE  
LAKE | FLATO  
CONTACT: TAYLOR  
Phone: 214.227.5225  
Email: taylor@lakeflato.com

THIS SQUARE APPEARS 10"X10"  
ON FULL SIZE SHEETS

11/06/2023 LP PROJ NO.: 22089  
PROJ. ARCHITECT: DRAWN BY: AUTHOR

DATE: 05.15.23 ISSUE: PERMIT DOCUMENTS  
11.05.23 PERMIT REVISIONS

REVISIONS  
NO. DATE DESCRIPTION

PERMIT REVISIONS

SITE IMAGES

G002

11/06/2023 4:02:11 PM





**R1** RENDERING - VIEW AT ENTRY CORNER



**R2** RENDERING - BACKYARD LOOKING NORTHWEST



**R3** RENDERING - CARPORT LOOKING WEST



**R4** RENDERING - DRIVEWAY LOOKING SOUTHEAST

**LAKE | FLATO**  
211 THIRD STREET  
SAN ANTONIO, TEXAS 78205  
P: 214.222.5222 F: 214.222.4010  
WWW.LAKEFLATO.COM



## WESTERN EXPANSION

730 CORONA AVE.  
ALAMO HEIGHTS, TX,  
78209

**ARCHITECT**  
LAKE | FLATO  
Contact: Kate Hinkle  
Phone: 214.222.5222  
Email: kate@lakeflato.com

**CONTRACTOR**  
The Hill Country Group  
Contact: David Hinkle  
Phone: 214.222.5222  
Email: david@hillcountrygroup.com

**STRUCTURAL**  
J. J. Hinkle & Associates, Inc.  
Contact: J. J. Hinkle  
Phone: 214.222.5222  
Email: jjhinkle@jjhinkle.com

**CIVIL**  
Dixie Engineering  
Contact: Dixie Hinkle  
Phone: 214.222.5222  
Email: dixie@hinkleengineering.com

**GEOTECH**  
Geotechnical Engineering, L.P.  
Contact: Geotechnical  
Phone: 214.222.5222  
Email: geotech@hinkleengineering.com

**LANDSCAPE**  
Landscape Architecture  
Contact: Landscape  
Phone: 214.222.5222  
Email: landscape@hinkleengineering.com

THIS SQUARE APPEARS 10"X10"  
ON FULL SIZE SHEETS

11/06/2023 LP PROJ NO. 22089  
PROJ. ARCHITECT DRAWN BY: Author

DATE	ISSUE
05.15.23	PERMIT DOCUMENTS
11.05.23	PERMIT REVISIONS

NO.	DATE	DESCRIPTION
1	11-06-2023	PERMIT REVISION 1

### PERMIT REVISIONS

### RENDERINGS

**G003**





## WESTERN EXPANSION

730 CORONA AVE.  
 ALAMO HEIGHTS, TX,  
 78209

### ARCHITECT

LAKE FLATO ARCHITECTS  
 CONTACT: JEFFREY L. LAMBERT  
 PHONE: 214.343.1234  
 EMAIL: jeff@lakeflato.com

### CONTRACTOR

THE LAMBERT COMPANY  
 CONTACT: JEFFREY L. LAMBERT  
 PHONE: 214.343.1234  
 EMAIL: jeff@lakeflato.com

### STRUCTURAL

LAKE FLATO ARCHITECTS  
 CONTACT: JEFFREY L. LAMBERT  
 PHONE: 214.343.1234  
 EMAIL: jeff@lakeflato.com

### CIVIL

LAKE FLATO ARCHITECTS  
 CONTACT: JEFFREY L. LAMBERT  
 PHONE: 214.343.1234  
 EMAIL: jeff@lakeflato.com

### GEOTECH

LAKE FLATO ARCHITECTS  
 CONTACT: JEFFREY L. LAMBERT  
 PHONE: 214.343.1234  
 EMAIL: jeff@lakeflato.com

### LANDSCAPE

LAKE FLATO ARCHITECTS  
 CONTACT: JEFFREY L. LAMBERT  
 PHONE: 214.343.1234  
 EMAIL: jeff@lakeflato.com

THIS SQUARE APPEARS 12" X 18"  
 ON FINAL SIZE SHEETS

11/08/2023

UP FROM NO. 22089

PROJ. ARCHITECT

DRAWN BY: Author

SET ISSUE DATES

DATE ISSUE

08.18.23 PERMIT DOCUMENTS

11.08.23 PERMIT REVISIONS

REVISIONS

NO. DATE DESCRIPTION

1 11/08/2023

2 11/08/2023

3 11/08/2023

4 11/08/2023

5 11/08/2023

6 11/08/2023

7 11/08/2023

8 11/08/2023

9 11/08/2023

10 11/08/2023

11 11/08/2023

12 11/08/2023

13 11/08/2023

14 11/08/2023

15 11/08/2023

16 11/08/2023

17 11/08/2023

18 11/08/2023

19 11/08/2023

20 11/08/2023

21 11/08/2023

22 11/08/2023

23 11/08/2023

24 11/08/2023

25 11/08/2023

26 11/08/2023

27 11/08/2023

28 11/08/2023

29 11/08/2023

30 11/08/2023

31 11/08/2023

32 11/08/2023

33 11/08/2023

34 11/08/2023

35 11/08/2023

36 11/08/2023

37 11/08/2023

38 11/08/2023

39 11/08/2023

40 11/08/2023

41 11/08/2023

42 11/08/2023

43 11/08/2023

44 11/08/2023

45 11/08/2023

46 11/08/2023

47 11/08/2023

48 11/08/2023

49 11/08/2023

50 11/08/2023

51 11/08/2023

52 11/08/2023

53 11/08/2023

54 11/08/2023

55 11/08/2023

56 11/08/2023

57 11/08/2023

58 11/08/2023

59 11/08/2023

60 11/08/2023

61 11/08/2023

62 11/08/2023

63 11/08/2023

64 11/08/2023

65 11/08/2023

66 11/08/2023

67 11/08/2023

68 11/08/2023

69 11/08/2023

70 11/08/2023

71 11/08/2023

72 11/08/2023

73 11/08/2023

74 11/08/2023

75 11/08/2023

76 11/08/2023

77 11/08/2023

78 11/08/2023

79 11/08/2023

80 11/08/2023

81 11/08/2023

82 11/08/2023

83 11/08/2023

84 11/08/2023

85 11/08/2023

86 11/08/2023

87 11/08/2023

88 11/08/2023

89 11/08/2023

90 11/08/2023

91 11/08/2023

92 11/08/2023

93 11/08/2023

94 11/08/2023

95 11/08/2023

96 11/08/2023

97 11/08/2023

98 11/08/2023

99 11/08/2023

100 11/08/2023

101 11/08/2023

102 11/08/2023

103 11/08/2023

104 11/08/2023

105 11/08/2023

106 11/08/2023

107 11/08/2023

108 11/08/2023

109 11/08/2023

110 11/08/2023

111 11/08/2023

112 11/08/2023

113 11/08/2023

114 11/08/2023

115 11/08/2023

116 11/08/2023

117 11/08/2023

118 11/08/2023

119 11/08/2023

120 11/08/2023

121 11/08/2023

122 11/08/2023

123 11/08/2023

124 11/08/2023

125 11/08/2023

126 11/08/2023

127 11/08/2023

128 11/08/2023

129 11/08/2023

130 11/08/2023

131 11/08/2023

132 11/08/2023

133 11/08/2023

134 11/08/2023

135 11/08/2023

136 11/08/2023

137 11/08/2023

138 11/08/2023

139 11/08/2023

140 11/08/2023

141 11/08/2023

142 11/08/2023

143 11/08/2023

144 11/08/2023

145 11/08/2023

146 11/08/2023

147 11/08/2023

148 11/08/2023

149 11/08/2023

150 11/08/2023

151 11/08/2023

152 11/08/2023

153 11/08/2023

154 11/08/2023

155 11/08/2023

156 11/08/2023

157 11/08/2023

158 11/08/2023

159 11/08/2023

160 11/08/2023

161 11/08/2023

162 11/08/2023

163 11/08/2023

164 11/08/2023

165 11/08/2023

166 11/08/2023

167 11/08/2023

168 11/08/2023

169 11/08/2023

170 11/08/2023

171 11/08/2023

172 11/08/2023

173 11/08/2023

174 11/08/2023

175 11/08/2023

176 11/08/2023

177 11/08/2023

178 11/08/2023

179 11/08/2023

180 11/08/2023

181 11/08/2023

182 11/08/2023

183 11/08/2023

184 11/08/2023

185 11/08/2023

186 11/08/2023

187 11/08/2023

188 11/08/2023

189 11/08/2023

190 11/08/2023

191 11/08/2023

192 11/08/2023

193 11/08/2023

194 11/08/2023

195 11/08/2023

196 11/08/2023

197 11/08/2023

198 11/08/2023

199 11/08/2023

200 11/08/2023

201 11/08/2023

202 11/08/2023

203 11/08/2023

204 11/08/2023

205 11/08/2023

206 11/08/2023

10-17-23

WESTERN  
EXPANSION730 CORONA AVE.  
ALAMO HEIGHTS, TX,  
78209

## ARCHITECT

Landscape Architects  
Contact: Dan Hines  
Phone: 214.715.1234  
Email: dan@hinesdesign.com

## CONTRACTOR

The Green Construction  
Contact: Andrew Campbell  
Phone: 214.715.1234  
Email: andrew@hinesdesign.com

## STRUCTURAL

The Green Construction  
Contact: Andrew Campbell  
Phone: 214.715.1234  
Email: andrew@hinesdesign.com

## CIVIL

The Green Construction  
Contact: Dan Hines  
Phone: 214.715.1234  
Email: dan@hinesdesign.com

## GEOTECH

Landscape Architects  
Contact: Dan Hines  
Phone: 214.715.1234  
Email: dan@hinesdesign.com

## LANDSCAPE

Landscape Architects  
Contact: Dan Hines  
Phone: 214.715.1234  
Email: dan@hinesdesign.comTHIS SQUARE APPEARS 10" X 10"  
ON FULL SIZE SHEET

10/27/2023 DE PROJ. NO. 20001406

PROJ. ENGINEER DRAWN BY: DSD

SET/ISSUE DATES

DATE ISSUE

08-18-23 PERMIT DOCUMENTS

REVISIONS

NO. DATE DESCRIPTION

1 10-27-23 PERMIT UPDATE

FINISHED GRADE

TODOWN

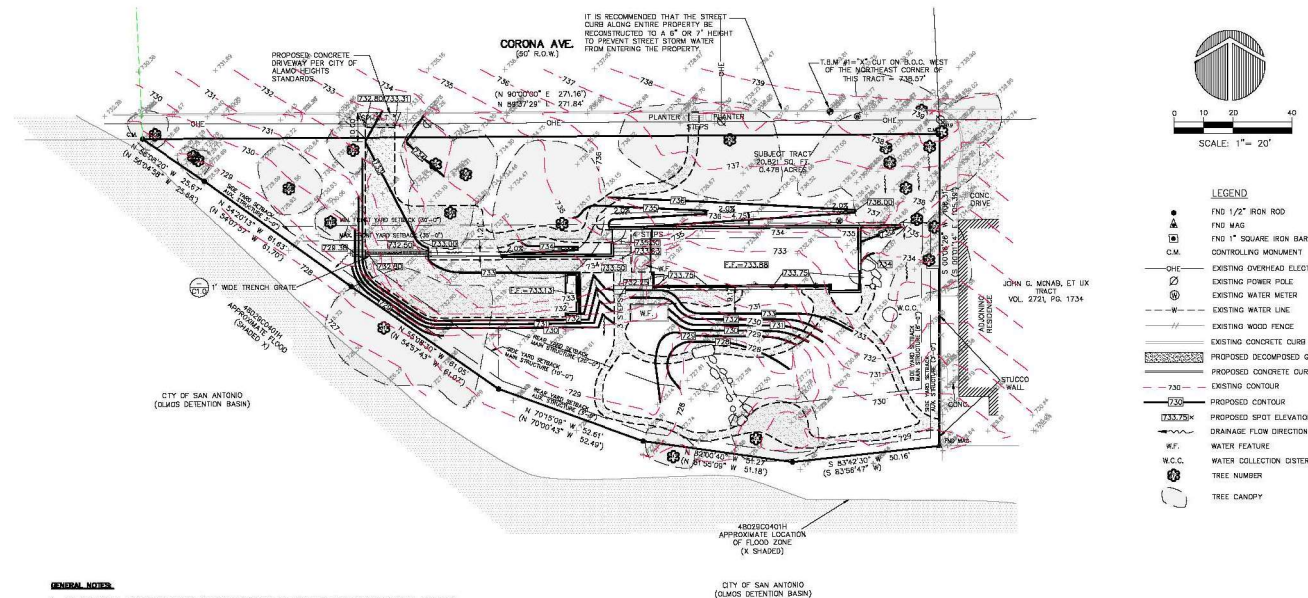
9'-0"

DOWNSTREAM END SECTION

N.T.S.

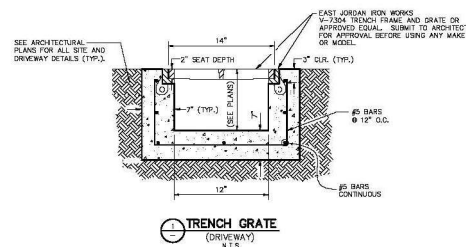
GRADING PLAN

C1.0



## NOTES

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO THE ANY APPLICABLE PROJECT SPECIFICATIONS AND ALL APPLICABLE CITY OF ALAMO HEIGHTS REQUIREMENTS AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS AND PROPERLY NOTIFY ALL APPLICABLE GOVERNMENTAL AND UTILITY AGENCIES PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY AND MAKE ARRANGEMENTS WITH THE CITY OF ALAMO HEIGHTS BUILDING INSPECTION DEPARTMENT 48 HOURS PRIOR TO COMMENCING CONSTRUCTION, UNLESS OTHERWISE DIRECTED BY THE CITY AND/OR ARCHITECT.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER(S) AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, INCLUDING THAT OF THE CITY OF ALAMO HEIGHTS, ARISING FROM THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER(S) OR OWNER.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE ALIGNMENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- DYE ENTERPRISES SERVICES ARE LIMITED TO PREPARATION OF THIS GRADING PLAN. IT IS BASED UPON A BOUNDARY, IMPROVEMENT UTILITY, SETBACK, TREE AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED BY METTAM ALAMO SURVEYORS. DYE ENTERPRISES IS NOT RESPONSIBLE FOR THE SURVEY ADEQUACY/ACCURACY AND IS NOT LIABLE FOR ANY ERRORS AND/OR OMISSIONS ARISING FROM THE SURVEY. FIELD SURVEY CONDITIONS WERE NOT VERIFIED BY DYE ENTERPRISES.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS ARE PER THE SURVEY AS DESCRIBED ABOVE. UTILITIES SHALL BE INVESTIGATED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO AND FOR THE MAINTENANCE AND PROTECTION OF THE EXISTING UTILITIES EVEN IF THEY ARE NOT SHOWN ON THE PLANS. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HERE ARE POSSIBLY APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. WHO SHALL BE RESPONSIBLE FOR PROTECTION OF SAME DURING CONSTRUCTION.
- ANY QUESTIONS RELATED TO BENCHMARK ELEVATIONS SHOULD BE DIRECTED TO ARCHITECT AND/OR METTAM ALAMO SURVEYORS. THE SURVEYING COMPANY THAT SET THEM.
- DEMOLITION PLANS BY OTHERS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER CONDITION, ANY DAMAGE DONE TO EXISTING FINISHES, UTILITIES, FENCEWORK, CURBS, SHRUBS, BUSHES, DRIVEWAYS, ETC. THAT ARE SHOWN TO REMAIN AT NO COST TO THE OWNER.
- DUE TO FEDERAL REGULATIONS TITLE 40, PART 182.101, C.P.S. ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- ALL FILL MATERIAL USED FOR THIS PROJECT SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO USE. FILL MATERIAL SHALL NOT CONTAIN ANY AGGREGATE MATERIAL, LARGE ROCKS OR DEBRIS. ALL COMPACTION REQUIREMENTS SHALL BE PER GEOTECHNICAL ENGINEER.
- UNLESS OTHERWISE DIRECTED BY ARCHITECT, EXCESS EXCAVATED MATERIAL BECOMES PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF OFFSITE IN ACCORDANCE WITH APPROPRIATE REGULATIONS.
- ALL SITE ELEVATIONS AND HORIZONTAL DIMENSIONS SHALL BE WITHIN 0.10 FEET OF THE DESIGN DATA SHOWN ON THE PLANS, OR AS OTHERWISE DIRECTED BY ARCHITECT.
- NO BLASTING IS ALLOWED.
- TRENCH EXCAVATION PROTECTION - CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S REQUIRED TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES, SHALL INCLUDE FOR ADEQUATE TRENCH SAFETY PROTECTION THAT COMPLY WITH, AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIAL CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE DESIGN AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION. THE TRENCH EXCAVATION PROTECTION PLAN MUST BE SUBMITTED TO THE PROPER GOVERNING AUTHORITIES BEFORE BEGINNING CONSTRUCTION.
- ALL DISTURBED AREAS, EROSION CONTROL MEASURES, AND PROTECTION OF STEEP SLOPES SHALL BE PER THE ARCHITECT AND/OR LANDSCAPE ARCHITECT PLANS/SPECIFICATIONS.
- CONTRACTOR SHALL USE ADEQUATE EROSION AND SEDIMENTATION CONTROLS TO PREVENT TRANSPORT OF SEDIMENT FROM SITE. METEOROLOGICAL SHALL BE APPROVED BY ARCHITECT AND/OR LANDSCAPE ARCHITECT AND/OR THE CITY OF ALAMO HEIGHTS.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL FOUNDATIONS.
- THE LOT GRADING IS BEST REPRESENTED BY FINA TYPE C.
- WATER FEATURES AND WATER COLLECTION CISTERN(S) ARE DESIGNED BY OTHERS AND NOT DYE ENTERPRISES. THEY ARE SHOWN HEREON FOR INFORMATIONAL PURPOSES ONLY.



## DETAIL NOTES

- ALL CONCRETE SHALL BE 4500 PSI AT 28 DAYS UNLESS OTHERWISE DIRECTED BY GEOTECHNICAL ENGINEER AND/OR ARCHITECT.
- CONTRACTOR SHALL INSTALL CONCRETE JOINTS AS REQUIRED BY THE GEOTECHNICAL ENGINEER AND/OR ARCHITECT. ALL CONCRETE JOINTS SHALL BE CLEANED AND SEALED AS A MINIMUM.
- SUBGRADE, BASE MATERIAL, AND COMPACTION BENEATH AND AROUND THE TRENCH GRATE SHALL BE AS REQUIRED BY THE GEOTECHNICAL ENGINEER AND/OR ARCHITECT.
- DETAIL DOES NOT SHOW SURROUNDING DRIVEWAY IMPROVEMENTS/SECTION. REFERENCE ARCHITECTURAL PLANS FOR ALL SITE IMPROVEMENTS AND DETAILS AND THEIR RELATIONSHIP TO EACH OTHER.

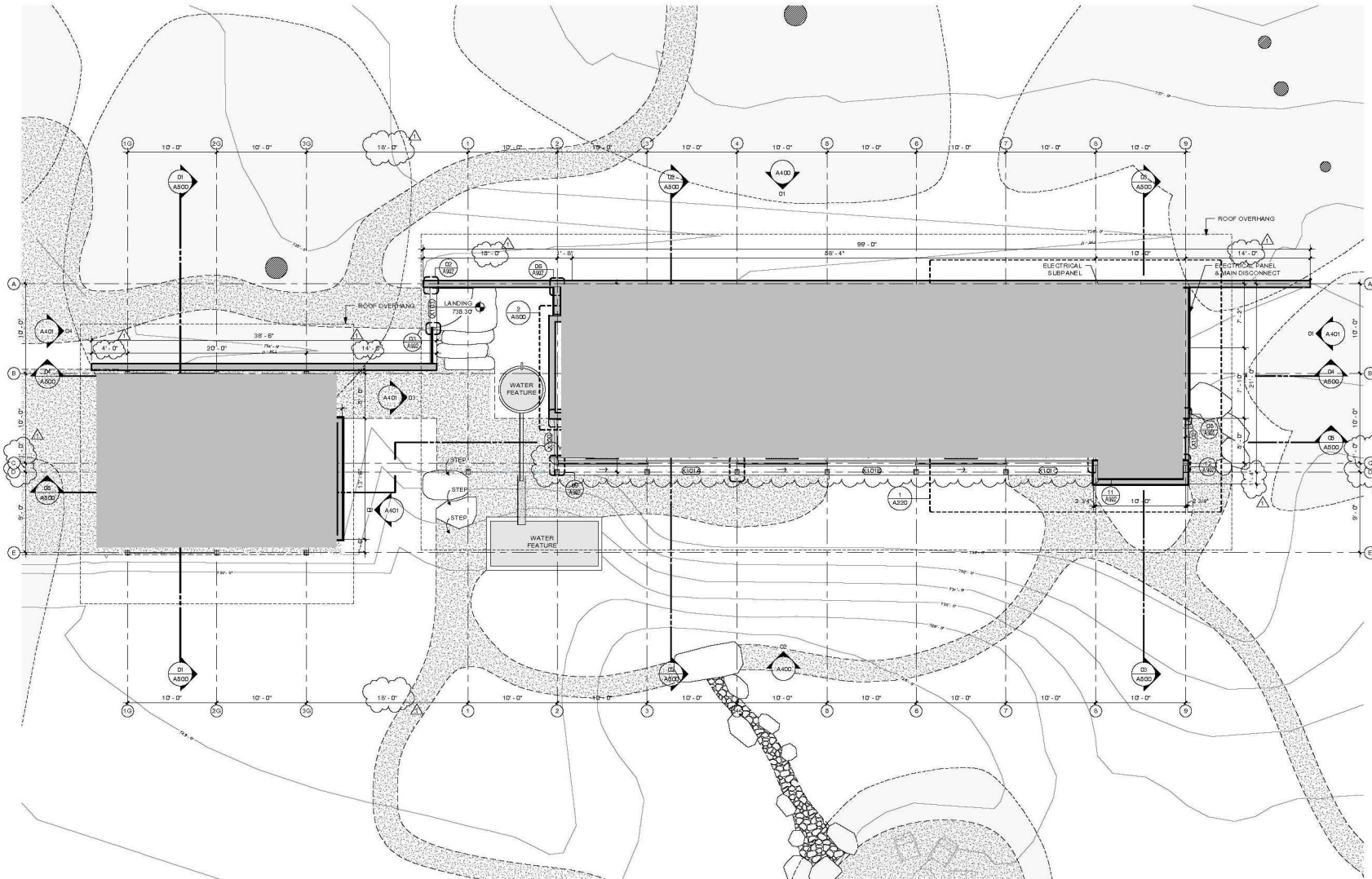




# FLOOR PLAN NOTES

1. DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF DOOR OPENINGS, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CL" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL. UNLESS NOTED AS "V", VERIFY DIMENSIONS MARKED "V" PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

ROOM FINISH SCHEDULE									
ROOM NO.	ROOM NAME	FLOOR MATERIAL	BASE MATERIAL	WALL MATERIAL				CEILING	
				NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT
100	GREAT ROOM	CONCRETE		STUCCO	T&G WOOD BOARDS	GLAZING	GLAZING/STUCCO	T&G WOOD BOARDS	SLOPED
101	HALL	CONCRETE		T&G WOOD BOARDS	SCREEN	T&G WOOD BOARDS	N/A	T&G WOOD BOARDS	SLOPED
102	VEST	CONCRETE		T&G WOOD BOARDS	T&G WOOD BOARDS	T&G WOOD BOARDS	MILLWORK	T&G WOOD BOARDS	8'-1"
103	LAV	CONCRETE		T&G WOOD BOARDS	T&G WOOD BOARDS	T&G WOOD BOARDS	T&G WOOD BOARDS	T&G WOOD BOARDS	8'-1"
104	CHAM RM	CONCRETE/TILE		STUCCO/TILE	TILE	WOOD BOARDS/TILE	T&G WOOD BOARDS	T&G WOOD BOARDS	8'-1"
X100	CARPORT	GRAVEL		STUCCO	T&G WOOD BOARDS	N/A	N/A	T&G WOOD BOARDS	SLOPED



1 FLOOR PLAN - FIRST FLOOR  
SCALE: 3/16" = 1'-0"

LAKE FLATO

5111 HARBOUR STREET  
SUITE 200  
PORTLAND, OREGON 97202  
PHONE: 503.255.1111  
WWW.LAKEFLATO.COM



## WESTERN EXPANSION

730 CORONA AVE.  
ALAMO HEIGHTS, TX,  
78209

ARCHITECT  
Lake Flato Architects  
Contact: Ryan Hinkle  
Phone: 503.255.1111  
Email: ryan@lakeflato.com

CONTRACTOR  
The Lake Group  
Contact: David Hinkle  
Phone: 503.255.1111  
Email: david@lakeflato.com

STRUCTURAL  
David Hinkle  
Contact: David Hinkle  
Phone: 503.255.1111  
Email: david@lakeflato.com

CIVIL  
David Hinkle  
Contact: David Hinkle  
Phone: 503.255.1111  
Email: david@lakeflato.com

GEOTECH  
David Hinkle  
Contact: David Hinkle  
Phone: 503.255.1111  
Email: david@lakeflato.com

LANDSCAPE  
David Hinkle  
Contact: David Hinkle  
Phone: 503.255.1111  
Email: david@lakeflato.com

THIS SQUARE MEASURES 10'x10'  
ON FINAL SIZE SHEETS

11/06/2023 LP PROJ NO. 22089

PROJ. ARCHITECT DRAWN BY: Author

SET ISSUE DATES

DATE ISSUE

05-18-23 PERMIT DOCUMENTS

11-06-23 PERMIT REVISIONS

REVISIONS

NO. DATE DESCRIPTION

1 11-06-2023 PERMIT REVISION 1

## PERMIT REVISIONS

## FLOOR PLAN - FIRST FLOOR

A200





## WESTERN EXPANSION

730 CORONA AVE.  
ALAMO HEIGHTS, TX,  
78209

### ARCHITECT

Lake Flato Architects  
Contact: Sam Hinkle  
Phone: 214.222.4400  
Email: sam@lakeflato.com

### CONTRACTOR

The Lake Flato Group  
Contact: Sam Hinkle  
Phone: 214.222.4400  
Email: sam@lakeflato.com

### STRUCTURAL

Architectural Engineers & Architects  
Contact: Sam Hinkle  
Phone: 214.222.4400  
Email: sam@lakeflato.com

### CIVIL

David E. Hinkle  
Contact: Sam Hinkle  
Phone: 214.222.4400  
Email: sam@lakeflato.com

### GEOTECH

Geotechnical Engineering & Construction  
Contact: Sam Hinkle  
Phone: 214.222.4400  
Email: sam@lakeflato.com

### LANDSCAPE

Landscaping & Construction  
Contact: Sam Hinkle  
Phone: 214.222.4400  
Email: sam@lakeflato.com

THIS SQUARE REPRESENTS 1/2" X 1/2" ON FULL SIZE SHEETS

11/08/2023 LP PROJ. NO. 22089

PROJ. ARCHITECT DRAWN BY: Author

DATE ISSUE

05-18-23 PERMIT DOCUMENTS

11-08-23 PERMIT REVISIONS

REVISIONS

NO. DATE DESCRIPTION

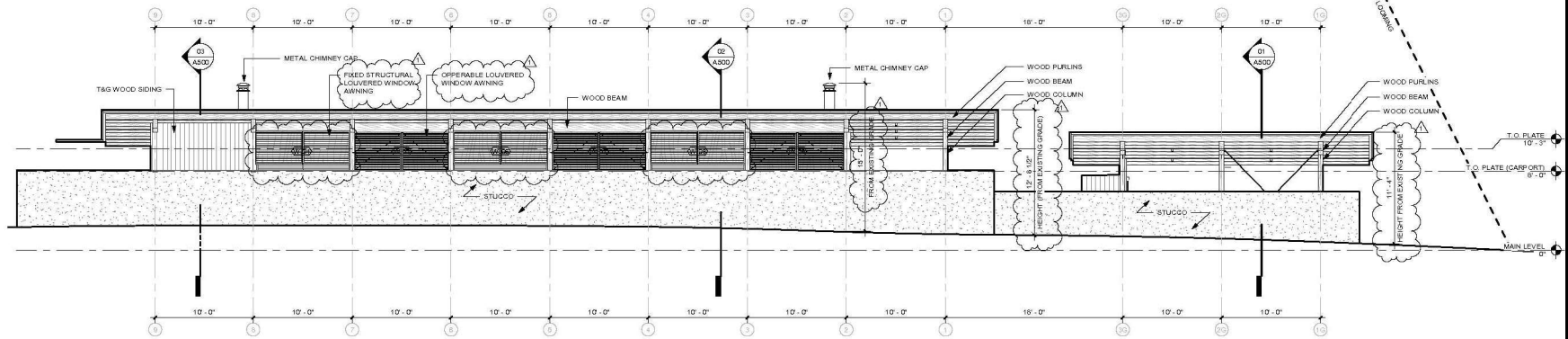
1 11-08-2023 PERMIT REVISION 1

### PERMIT REVISIONS

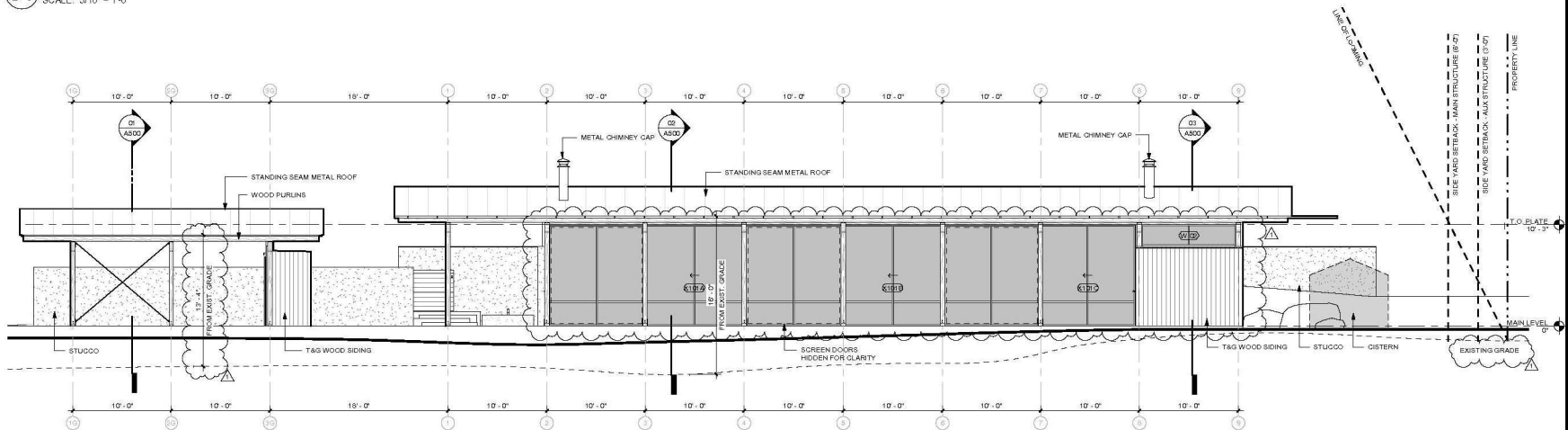
## EXTERIOR ELEVATIONS

# A400

11/08/2023 4:07:58 PM



**01 EXTERIOR ELEVATION - NORTH**  
SCALE: 3/16" = 1'-0"



**02 EXTERIOR ELEVATION - SOUTH**  
SCALE: 3/16" = 1'-0"

### ELEVATION LEGEND

— PROPOSED GRADE  
- - - EXISTING GRADE





## WESTERN EXPANSION

730 CORONA AVE.  
ALAMO HEIGHTS, TX,  
78209

ARCHITECT  
Lake Flato Architects  
Contact: Ted Harts  
Phone: 214.272.3322  
Email: ted@lakeflato.com

CONTRACTOR  
T&G Construction  
Contact: Michael Harts  
Phone: 214.272.3322  
Email: mhart@tandg.com

STRUCTURAL  
A. J. Hines & Associates  
Contact: Michael Hines  
Phone: 214.272.3322  
Email: mhines@ajhines.com

CIVIL  
D&K Engineering  
Contact: D. K. Harts  
Phone: 214.272.3322  
Email: dharts@dkengineering.com

GEOTECH  
Geotechnical Engineering & Consulting  
Contact: George W. Harts  
Phone: 214.272.3322  
Email: george@geotech.com

LANDSCAPE  
Sustainable Landscapes  
Contact: Michael Harts  
Phone: 214.272.3322  
Email: mharts@sustainablelandscapes.com

THIS SQUARE REPRESENTS 1/2" X 1/2" ON FULL SIZE SHEETS

11/08/2022 LP PROJ. NO.: 22008

PROJ. ARCHITECT DRAWN BY: Author

SET/ISSUE DATES

DATE ISSUE

08.18.22 PERMIT DOCUMENTS

11.08.22 PERMIT REVISIONS

REVISIONS

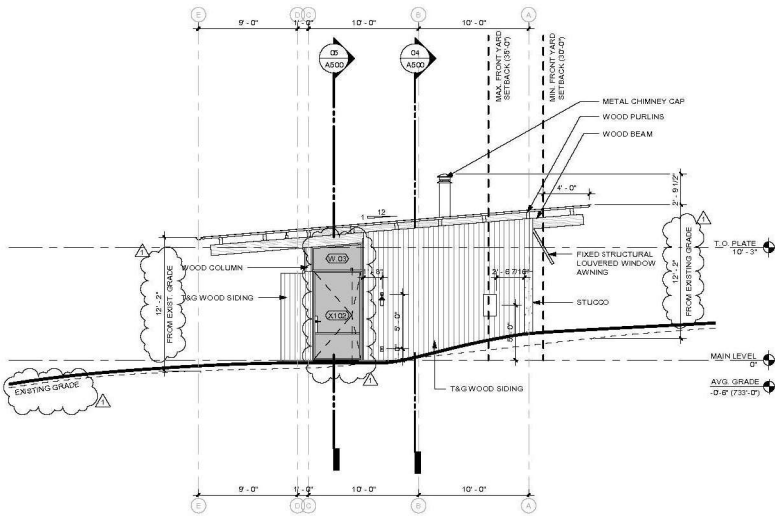
NO. DATE DESCRIPTION

1 11-08-2022 PERMIT REVISION 1

PERMIT REVISIONS

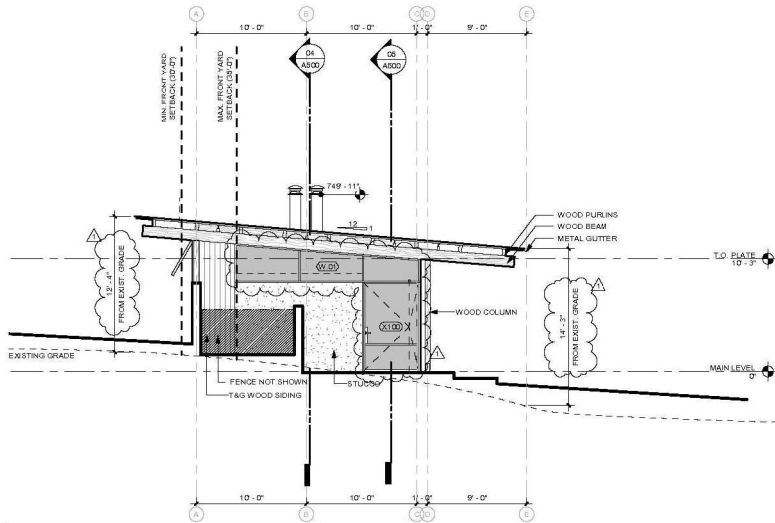
EXTERIOR  
ELEVATIONS

# A401



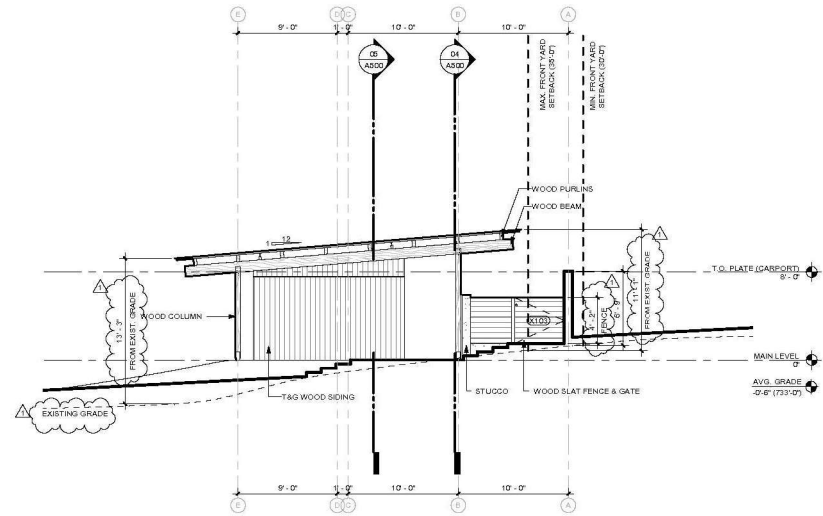
NOTE:  
FINISH FLOOR: 0'-0" = 738.88'AMSL (REF. CIVIL DRAWINGS)

01 EXTERIOR ELEVATION - EAST  
SCALE: 3/16" = 1'-0"

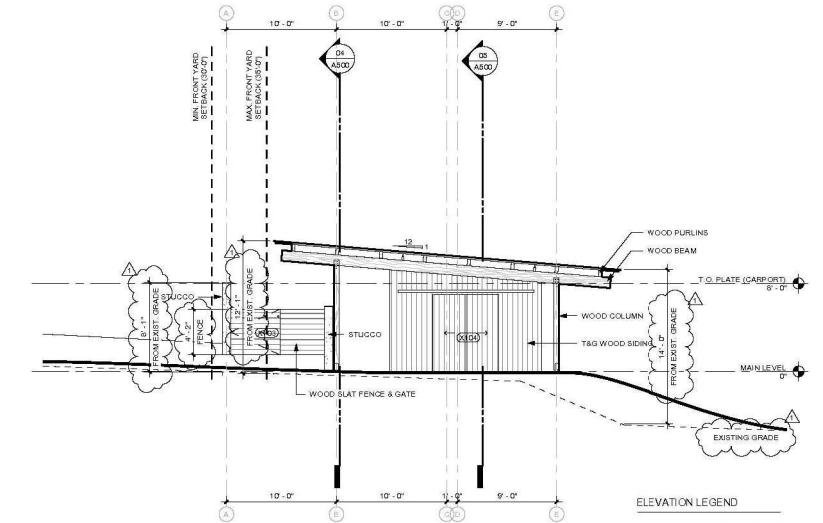


NOTE:  
FINISH FLOOR: 0'-0" = 738.88'AMSL (REF. CIVIL DRAWINGS)

03 EXTERIOR ELEVATION - WEST  
SCALE: 3/16" = 1'-0"



02 EXTERIOR ELEVATION - EAST (GARAGE)  
SCALE: 3/16" = 1'-0"



ELEVATION LEGEND

— PROPOSED GRADE  
--- EXISTING GRADE

04 EXTERIOR ELEVATION - WEST (GARAGE)  
SCALE: 3/16" = 1'-0"