



**CITY OF ALAMO HEIGHTS**  
**COMMUNITY DEVELOPMENT SERVICES DEPARTMENT**  
**6116 BROADWAY**  
**SAN ANTONIO, TX 78209**  
**210-826-0516**

**Board of Adjustment Meeting**  
**Wednesday, September 06, 2023 – 5:30 P.M.**

Take notice that a regular meeting of the Board of Adjustment of the City of Alamo Heights will be held on **Wednesday, September 06, 2023, at 5:30pm** in the City Council Chambers, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects which may come before it.

***INSTRUCTIONS FOR TELECONFERENCE:** The City will make reasonable efforts to allow members of the public to participate via audio by dialing 1- 346-248-7799 and enter access number 893 9488 9735#. If you would like to speak on a particular item, when the item is considered, press \*9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.*

***The City cannot guarantee participation by phone due to unforeseen technical difficulties or provide prior notice if they occur; therefore, the City urges your in-person attendance if you require participation.***

**Case No. 2395 – 6411 Broadway St**

Application of NBD 6401 LP, owner, requesting the following variance(s) in order to construct a new commercial use building at the property located at **CB 4024, BLK 165, LOT 18**, also known as **6411 Broadway St**, zoned B-1:

1. The proposed overall height of 23ft 8-inches does not meet the minimum 28ft height required for properties with frontage along Broadway St and Austin Hwy per Section 3-68(2) of the City’s Zoning Code.

Plans may be viewed online\* ([www.alamoheightstx.gov/departments/planning-and-development-services/public-notices](http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices)) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Michelle Ramos, Planner ([mramos@alamoheightstx.gov](mailto:mramos@alamoheightstx.gov)) or Lety Hernandez, Director, ([lhernandez@alamoheightstx.gov](mailto:lhernandez@alamoheightstx.gov)) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.

08/23/2023

City of Alamo Heights  
Board of Adjustment  
Community Development Services  
6116 Broadway  
San Antonio, TX 78209

Permit Number 2023-144  
Job address: 6411 Broadway, Alamo Heights, TX 78209

To Whom It May Concern,

We formally request a variance for the building height of Alamo Heights Commercial (Permit Number 2023-144), a new commercial construction on 6411 Broadway on the 6400 Block of Broadway Lot 9, in relation to the City of Alamo Heights Code of Ordinances Section 3-68(2):

Section 3-68(2): For properties with frontage along Broadway and Austin Hwy. all main structures shall have a minimum height of twenty-eight (28) feet.

The height of the proposed building is 22'-6" to parapet (16'-8" as measured according to definition of "Height" under Section 3-2). We request a variance for the height for the following reasons:

1. The building was reviewed and approved by the City of Alamo Heights Architecture Review Board on December 22, 2022 and the City Council on January 09, 2023. The design, including the building height, was deemed appropriate in relation to its site context, taking into consideration the two items listed below.
2. The building was designed with consideration of its location, situated in between two existing buildings at 6401/6403 Broadway and 6421 Broadway on a continuous block. The existing buildings are single story buildings with heights no higher than 15'-0". The design intent of the new construction is to create connectivity and cohesion among the three buildings, as illustrated in the rendering on the cover page of the Construction Document set (see G0.0). A building that is 28'-0" or taller risks disrupting the connectivity and towering over the existing adjacent buildings, and would also cast a large shadow over the pedestrian pathways in between the buildings.

3. The site has a grade change of approximately 10'-13' over the distance of 150'-0" from its eastern property line on Broadway to the edge of its western property line that touches the residential properties (see C1.0, C3.0). Taking into consideration both the distance and the downward slope from Broadway to the residential properties, we argue that there is not a significant difference between the coverage provided by a 22'-6"-tall building versus a 28'-tall building.

Please refer to the attached documents listed below for detailed information on the site and the proposed new construction.

#### Attached Documents

- BOA Project Review Application
- Calculations of impervious coverage and lot coverage to floor area ratio
- Photographs of existing structure
- Construction Document drawings resized to 11"x17" and to scale. The required submittal material can be found in the following drawings:
  - Tree survey (C1.0)
  - Existing site plan and survey (C1.0)
  - Proposed site plan (C2.0)
  - Floor plans and elevations (A1.1-A2.2)

If you have any questions or if you need additional information, please reach me at 917 294 2521 or [troy@schaumshieh.com](mailto:troy@schaumshieh.com)



Troy Schaum  
SCHAUM/SHIEH

## LOT COVERAGE AND FAR CALCULATIONS

LOT COVERAGE	EXISTING CALC. (SF)	PROPOSED CALC. (SF)
LOT AREA	+/- 42,000 SF	+/- 42,000 SF
6411 BROADWAY BUILDING FOOTPRINT (NEW)	0	+ / - 4,278 SF <sup>1</sup>
6421 BROADWAY BUILDING FOOTPRINT (EXISTING)	+/- 1,300 SF	+/- 1,300 SF
6401/6403 BROADWAY BUILDING FOOTPRINT (EXISTING)	+/- 6,650 SF	+/- 6,650 SF
TOTAL LOT COVERAGE	+/- 7,950 SF	+/- 12,228 SF
<b>LOT OF COVERAGE (TOTAL LOT COVERAGE / LOT AREA)</b>	<b>0.19</b>	<b>0.29</b>
FLOOR AREA RATIO (FAR)		
LOT AREA	+ / - 42,000 SF	+ / - 42,000 SF
6411 BROADWAY 1 FLOOR (NEW)	0	+ / - 4,278 SF <sup>1</sup>
6421 BROADWAY 1 FLOOR (EXISTING)	+/- 1,300 SF	+/- 1,300 SF
6401/6403 BROADWAY 1 FLOOR (EXISTING)	+/- 6,650 SF	+/- 6,650 SF
TOTAL FLOOR AREA	+/- 7,950 SF	12,228 SF
<b>TOTAL FAR (TOTAL FLOOR AREA / LOT AREA)</b>	<b>0.19</b>	<b>0.29</b>
TOTAL IMPERVIOUS COVER		
FOOTPRINT OF ALL STRUCTURES	7,950 SF	12,228 SF
DRIVEWAY/PARKING PAD	17,858 SF	16,137 SF
WALKWAYS	3,293 SF	7,389 SF
OTHER IMPERVIOUS COVER	786 SF	759 SF
<b>TOTAL IMPERVIOUS COVER</b>	<b>29,887 SF</b>	<b>36,257 SF</b>
HEIGHT OF MAIN STRUCTURE		
6411 BROADWAY (NEW)	0	22'-6" <sup>2</sup>
6421 BROADWAY (EXISTING)	14'-4"	14'-4"
6401/6403 BROADWAY (EXISTING)	14'-0"	14'-0"

1. 257 SF of patio, building footprint 4,021 SF

2. 22'-6" to top of parapet, 16'-8" to top of roofing membrane



## Photographs of Existing Structures











ALAMO HEIGHTS COMMERCIAL

SCH  
SH /

SCHAUM/SHEEH ARCHITECTS  
4916 KELVIN DRIVE  
HOUSTON, TX 77005  
(713) 396-2127

STRUCTURAL ENGINEER  
Dally + Associates, Inc.  
9800 Richmond Avenue, Suite 460  
Houston, TX 77042  
(713) 337-8881  
info@dallyassociates.com  
http://dallyassociates.com

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CIVIL ENGINEER  
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mark@balancedsitedesign.com  
https://balancedsitedesign.com/

LANDSCAPE ARCHITECT  
Edgeland  
11 Greenway Plaza, 22nd Floor  
Houston, TX 77046  
(713) 460-0988  
admin@edgelandgroup.com  
https://edgelandgroup.com

PROJECT

AH COMMERCIAL

6401 Broadway  
Alamo Heights, TX 78209

STAMP



ISSUE

NO	DATE	TITLE
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STATUS	100% CD
PROJECT NUMBER	22937
© COPYRIGHT 2023	SCHAUM/SHEEH
DATE	01/20/2023
SCALE	AS NOTED
DRAWN BY	MS

TITLE

COVER

SHEET NUMBER

G 0.0



SUE LEGEND

- END OF INFORMATION  
● IRRIGATION CONTROL VALVE  
● TELEPHONE PEDESTAL  
● TELEPHONE POLE W/ RISER
- UTILITY CONTINUES  
● WASTEWATER MANHOLE  
● WATER METER

PROJECT LIMITS

LINE	TYPE	OWNER	RECORDS RECEIVED	DATE RECEIVED
FO	FIBER OPTIC	UNKNOWN	N/A	N/A
FO	GAS	CPS ENERGY	NO	N/A
TUG	TELECOM	UNKNOWN	N/A	N/A
UNK	UNKNOWN	UNKNOWN	N/A	N/A
WW	WASTEWATER	CITY OF ALAMO HEIGHTS	YES	12/01/2022
W	WATER	CITY OF ALAMO HEIGHTS	YES	12/01/2022

ALL UTILITY INFORMATION HEREON IS DEPICTED TO QUALITY LEVEL "B" UNLESS OTHERWISE NOTED. SIZE INFORMATION SHOWN HEREON IS TAKEN FROM AVAILABLE UTILITY RECORDS.

ABBREVIATIONS:

- QL-C DEPICTED ACCORDING TO EXISTING ASSOCIATED UTILITY STRUCTURES.  
NO ELECTRONIC INFORMATION WAS OBTAINED.  
DEPICTED ACCORDING TO RECORD INFORMATION. NO ELECTRONIC INFORMATION WAS OBTAINED.  
FIBER OPTIC  
(AATT) ABANDONED ACCORDING TO FIELD INFORMATION.  
(AATUR) ABANDONED ACCORDING TO UTILITY RECORDS.  
(EATF) EMPTY ACCORDING TO FIELD INFORMATION.  
(EATUR) EMPTY ACCORDING TO UTILITY RECORDS.  
UTILITY END POINT.  
EO(EOR) END OF ELECTRONIC DESIGNATING INFORMATION (END OF RECORD INFORMATION) UNLESS OTHERWISE NOTED. UTILITY LINE LIMITS DEPICTED REPRESENT FIELD DESIGNATING LIMITS AND NOT END POINTS OF UTILITIES.  
ELECTROMAGNETIC DEPTH RANGE.  
EMDR

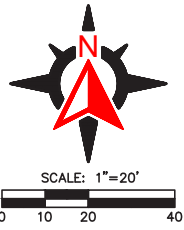
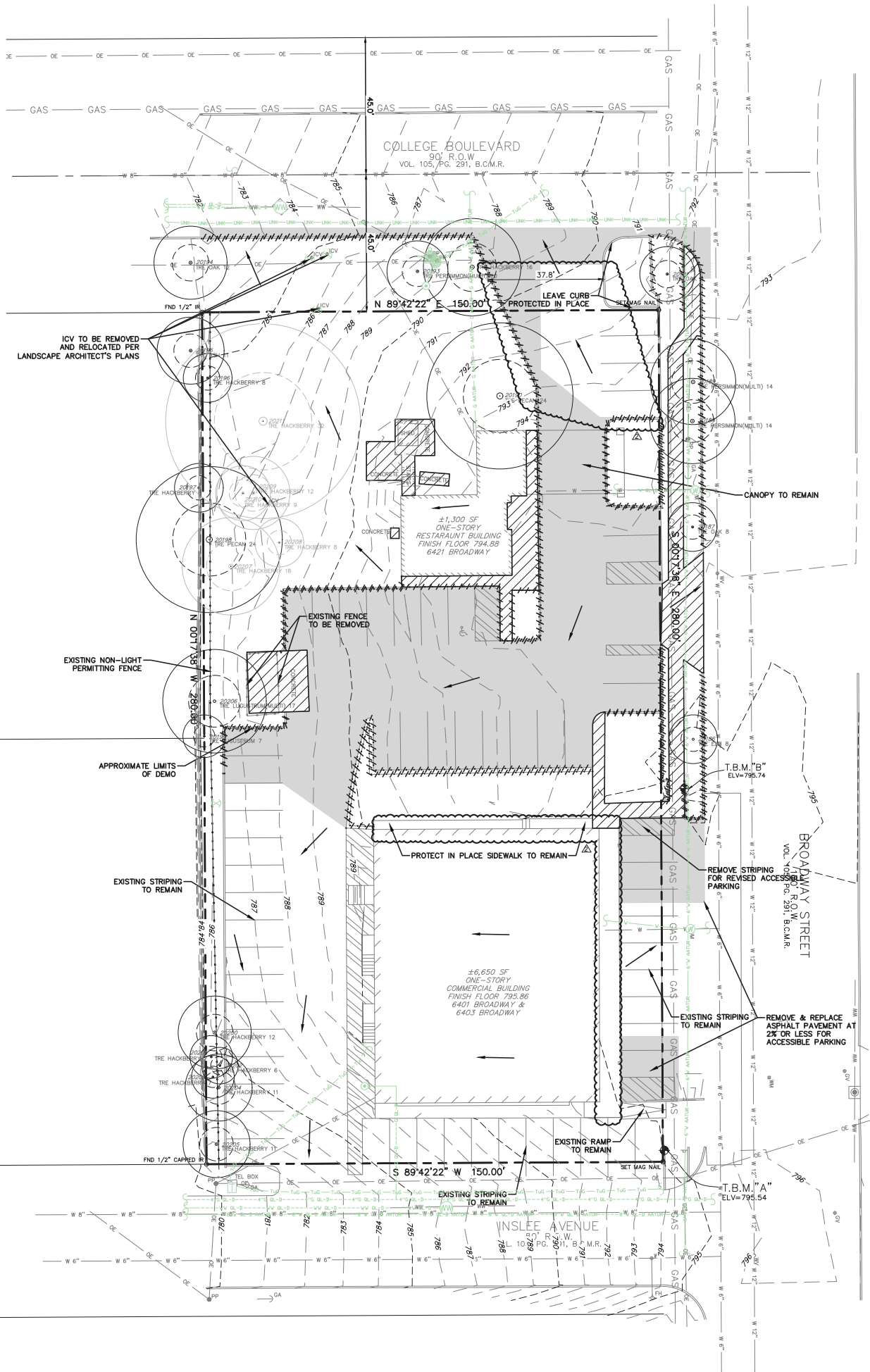
UTILITY INFORMATION LABELED QL-C OR QL-D IS DERIVED FROM FURNISHED RECORDS. SUCH INFORMATION MAY NOT BE ACCURATE OR RELIABLE. SAM, LLC, EXPRESSLY DISCLAIMS RESPONSIBILITY FOR THE ACCURACY OR RELIABILITY OF UTILITY INFORMATION DEPICTED ACCORDING TO RECORDS.

GENERAL NOTES:

- THE HORIZONTAL LOCATION OF UTILITIES SHOWN ON THESE DRAWINGS IS ARRIVED AT BY THE USE OF DESIGNATING EQUIPMENT. THESE LINES WERE NOT UNCOVERED TO VERIFY EXACT HORIZONTAL LOCATIONS.
- THE ACCURACY OF THE HORIZONTAL LOCATION OF UTILITIES SHOWN ON THESE PLANS CAN BE INFLUENCED BY FACTORS BEYOND SAM, LLC, CONTROL, SUCH AS CONDUCTIVITY OF MATERIALS AND THEIR SURROUNDINGS, SOIL MOISTURE CONTENT, PROXIMITY OF OTHER UNDERGROUND UTILITIES OR STRUCTURES, DEPTH OF UTILITY, ETC. THEREFORE, ONLY THE ACCURACY OBTAINED BY ACTUAL EXCAVATION CAN BE GUARANTEED TO APPLICABLE ENGINEERING AND/OR SURVEYING STANDARDS.
- AS-BUILT DRAWINGS WERE USED TO COMPARE DESIGNATED LOCATIONS TO CONSTRUCTION AS-BUILT LOCATIONS.
- THE USE OF THE HORIZONTAL LOCATIONS OF THE UTILITIES SHOWN ON THESE PLANS DOES NOT RELIEVE THE CONTRACTOR FROM THE DUTY TO COMPLY WITH APPLICABLE UTILITY DAMAGE PREVENTION LAWS AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO, GIVING NOTIFICATION TO UTILITY OWNER'S "ONE-CALL" CENTERS BEFORE EXCAVATION.
- HORIZONTAL DATUM: UNITED STATES/STATE PLANE 1983, TEXAS SOUTH CENTRAL 4204, U.S. SURVEY FEET, UTILIZING TRIMBLE R10 GNSS RECEIVERS AND TRIMBLE BUSINESS CENTER SOFTWARE, VERTICAL DATUM: NAVD 88, GEOID 12B, U.S. SURVEY FEET.
- ELECTROMAGNETIC DEPTHS (IF SHOWN) WERE TAKEN BY ELECTRONIC MEANS AND ARE APPROXIMATE. THE DEPTHS REPRESENT DISTANCE FROM GROUND SURFACE TO CENTER OF PIPE/CABLE. SAM, LLC, CANNOT WARRANT THE ACCURACY OF ELECTRONIC DEPTH READINGS SHOWN HEREON.
- THE FOLLOWING COMPANIES HAVE NOT SUPPLIED RECORDS AS OF 12-16-2022:
  - CPS ENERGY
  - TELENET NETWORK SERVICES
  - AT&T
- THE FOLLOWING COMPANIES HAVE SUPPLIED RECORDS AND ARE CLEAR OF THE PROJECT SITE AS OF 12-16-2022:
  - ZAYO GROUP
  - ASTOUND BROADBAND
  - SAN ANTONIO WATER SYSTEM

SPECIAL NOTES:

- SAM LLC IDENTIFIED 2 CABLES RUNNING OUTSIDE OF A TELEPHONE POLE, HOWEVER WAS UNABLE TO OBTAIN A SIGNAL ON EITHER OF THEM.
- SAM LLC WAS UNABLE TO LOCATE THE IRRIGATION LINES DUE TO THEIR MATERIAL.
- SAM LLC BELIEVES THIS IS A GAS LINE BASED ON RECORDS, HOWEVER, SAM FOUND NO GAS METERS AT EITHER BUILDING AND THEREFORE BELIEVES THE LINE IS ABANDONED.



LEGEND

WW	WW	WASTEWATER LINE
W	W	WATER LINE
SS	SS	STORM SEWER LINE
OE	OE	OVERHEAD ELECTRIC
○		IRON ROD FOUND
⊕ ICV		IRRIGATION CONTROL VALVE
→ GA		GUY ANCHOR
● PP		POWER POLE
⊗ WM		WATER METER
⊗ FH		FIRE HYDRANT
⊕ WV		WATER VALVE
⊕ GV		GAS VALVE
⊕		BENCHMARK
○		TREE
○		TREE TO BE REMOVED
■		EXISTING ASPHALT TO BE REMOVED.
▨		EXISTING CONCRETE/SIDEWALK TO BE REMOVED.
⋈		EXISTING CURB TO BE REMOVED.
←		DRAINAGE FLOW ARROWS

NOTE:  
SURVEY WAS PERFORMED BY WINDROSE SURVEYING & LAND SERVICES, LLC. CONTACT COREY CAMPBELL AT (210)634-1565 FOR ANY SURVEY QUESTIONS, COORDINATION OR NEEDS.

SITE INFO

LEGAL DESCRIPTION

BEING A TOTAL OF 0.9642 OF AN ACRE, ALL OF LOT 1B, BLOCK 165, BROADWAY CENTRAL SUBDIVISION, CITY OF ALAMO HEIGHTS RECORDED IN VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_ OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

FLOOD INFORMATION

PROJECT IS LOCATED OUTSIDE REGULATORY FLOOD ZONES BASED ON FEMA FIRM 48029C0402H DATED 06/19/2020.

BENCHMARK INFORMATION

T.B.M. "A"  
N: 13724792.61  
E: 2138184.38  
ELEVATION: 795.54'

T.B.M. "B"  
N: 13724911.51  
E: 2138181.09  
ELEVATION: 795.74'

SCH  
SH

SCHUM/SHAH ARCHITECTS  
4916 KELVIN DRIVE  
HOUSTON, TX 77005  
(713) 396-2127

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Dally + Associates, Inc.  
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LANDSCAPE ARCHITECT

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(713) 460-0988

admin@edgelandgroup.com  
https://edgelandgroup.com

PROJECT

AH  
COMMERCIAL

6401 Broadway  
Alamo Heights, TX 78209

STAMP



ISSUE

1	03/13/2023	TAIL REVISION
2	06/12/2023	REVISION 2

NO

DATE	TITLE
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STATUS

100% CD

PROJECT NUMBER 220090

COPYRIGHT 2023 SCHUM/SHAH

DATE 05/12/2023

SCALE AS NOTED

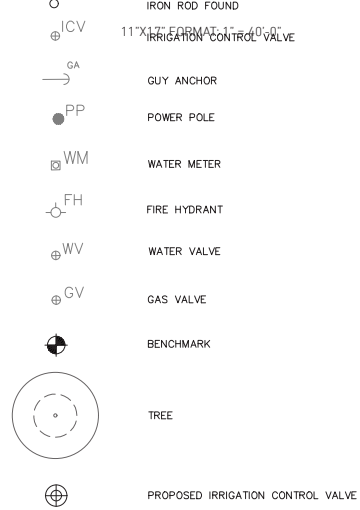
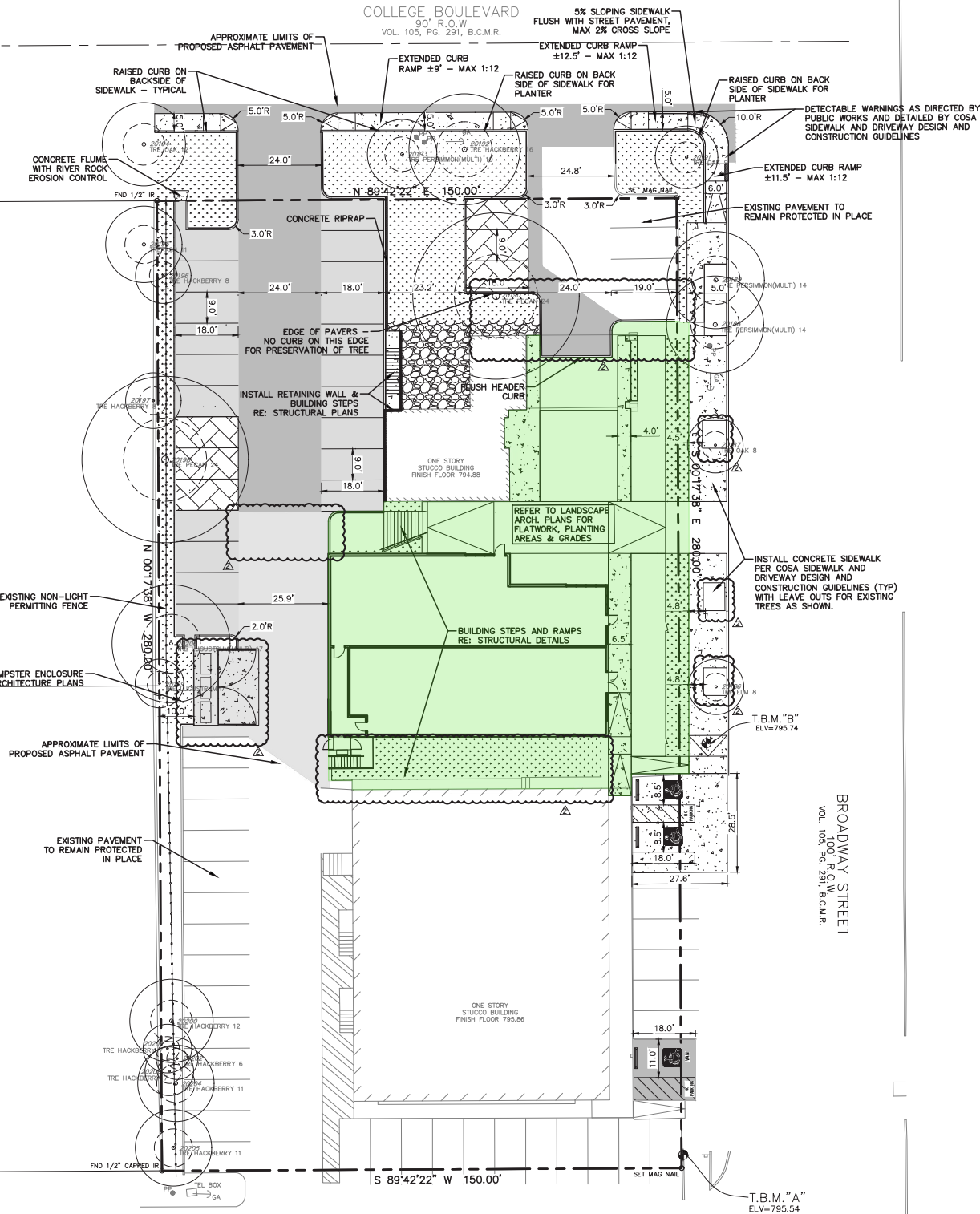
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






TITLE

EXISTING CONDITIONS,  
TREE SURVEY & DEMO  
PLAN

SHEET NUMBER

C-1.0



	PROPOSED HEAVY-DUTY ASPHALT PAVEMENT
	PROPOSED LIGHT-DUTY ASPHALT PAVEMENT
	DECOMPOSED GRANITE RE: LANDSCAPE ARCHITECT'S PLANS
	PROPOSED PERVIOUS PAVEMENT FOR CRITICAL ROOT ZONE. INSTALL TRUEGRID PRO PLUS PERMEABLE PAVR WITH GRAVEL INFILL PER DETAIL
	PROPOSED CONCRETE PAVEMENT
	PROPOSED HEAVY-DUTY 8" CONCRETE PAVEMENT
	PROPOSED LANDSCAPING
	REFER TO LANDSCAPE PLANS FOR HARDSCAPE AND LANDSCAPE BETWEEN BUILDINGS AND SURROUNDING

NOTE:  
SURVEY WAS PERFORMED BY WINDROSE  
SURVEYING & LAND SERVICES, LLC. CONTACT  
COREY CAMPBELL AT (210)634-1565 FOR ANY  
SURVEY QUESTIONS, COORDINATION OR NEEDS.

## SITE INFO

### LEGAL DESCRIPTION

BEING A TOTAL OF 0.9642 OF AN ACRE, ALL OF LOT 18, BLOCK 165, BROADWAY CENTRAL SUBDIVISION, CITY OF ALAMO HEIGHTS RECORDED IN VOLUME \_\_\_\_ PAGE \_\_\_\_ OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

### FLOOD INFORMATION

PROJECT IS LOCATED OUTSIDE REGULATORY FLOOD ZONES  
BASED ON FEMA FIRM 48029C0402H DATED 06/19/2020.

## BENCHMARK INFORMATION

T.B.M. "A"  
N: 13724792.61  
E: 2138184.38  
ELEVATION: 795.54'

T.B.M. "B"  
N: 13724911.51  
E: 2138191.09  
ELEVATION: 795.74

NOTE:  
CONTRACTOR TO OBTAIN REQUIRED FIRE SPRINKLER AND  
FIRE ALARM PERMITS PER ALAMO HEIGHTS FIRE  
DEPARTMENT COMMENTS.

**SCHAUM/SHIH ARCHITECTS**  
4916 KELVIN DRIVE  
HOUSTON, TX 77005  
(713) 396-2127

**STRUCTURAL ENGINEER**  
Dally + Associates, Inc.  
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CIVIL ENGINEER

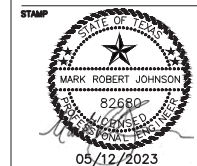
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## PROJECT

AH  
COMMERCIAL

6401 Broadway  
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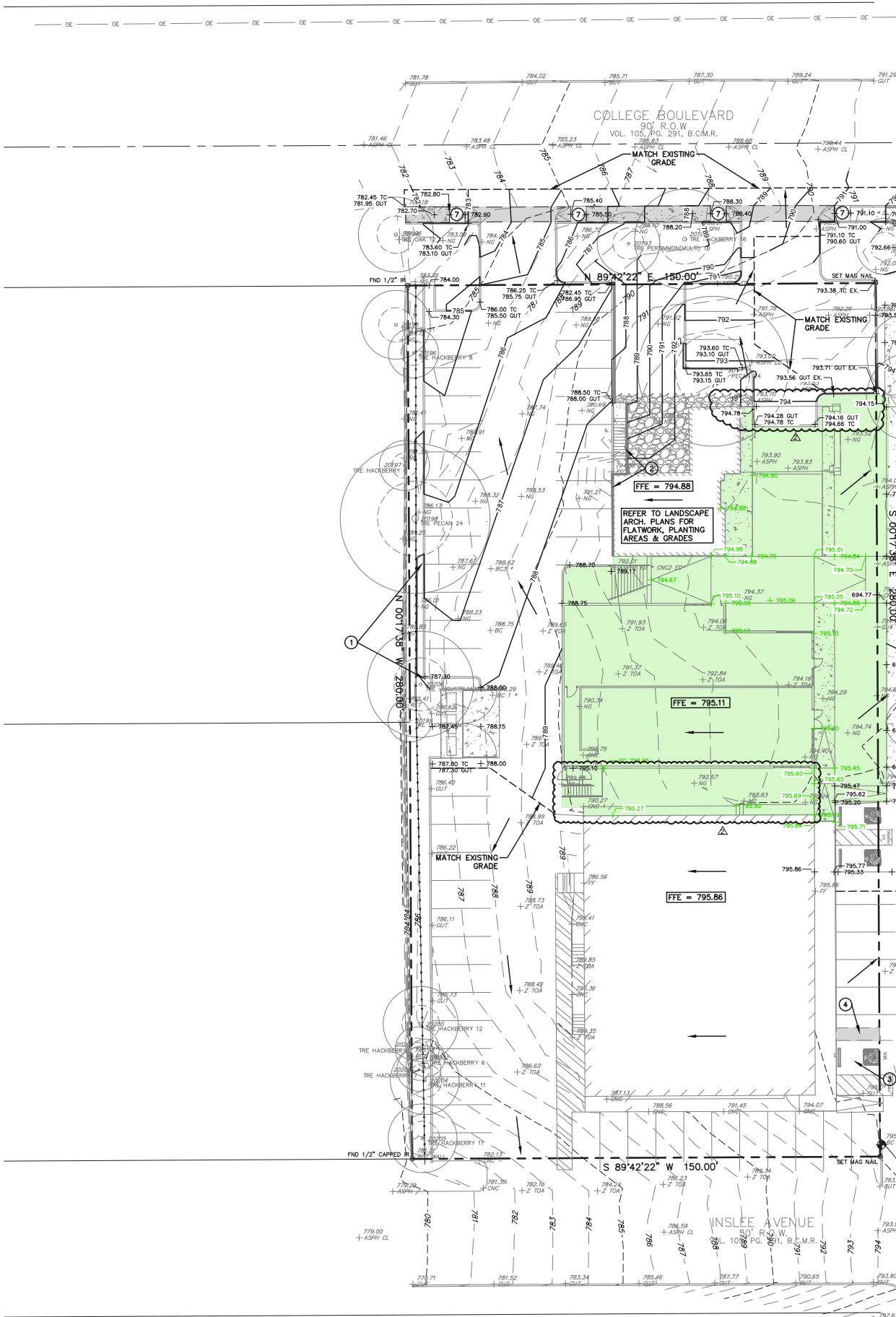
ISSUE		
1	03/13/2023	TAB REVISION
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2	06/12/2023	REVISION 2
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NO	DATE	TITLE
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STATUS	100% CD	
PROJECT NUMBER	220060	
COPYRIGHT 2023	SCHUM/SHEN	
DATE	06/12/2023	
SCALE	AS NOTED	
DRAWN BY	MOSES PEREZ	

**SITE PLAN & PAVING  
PLAN**

SHEET NUMBER

C-2.0





- ### KEY NOTES
- 1 EXTENT OF TALL CURB VARYING IN HEIGHT FROM 6 INCHES TO 18 INCHES
  - 2 RETAINING WALLS RE: STRUCTURAL PLANS
  - 3 NEW ASPHALT @ MAX 2% SLOPE
  - 4 USE STRIP FOR TRANSITION TO ALLOW 2% SLOPE ON ACCESSIBLE PARKING
  - 5 MAX 2% CROSS SLOPE, RUNNING SLOPE TO MATCH PUBLIC STREET
  - 6 12' CURB RAMP
  - 7 LEVEL LANDING

### LEGEND

— WW —	WW	WASTEWATER LINE
— W —	W	WATER LINE
— SS —	SS	STORM SEWER LINE
— OE —	OE	OVERHEAD ELECTRIC
○		IRON ROD FOUND
⊕	ICV	IRRIGATION CONTROL VALVE
→	GA	GUY ANCHOR
●	PP	POWER POLE
⊗	WM	WATER METER
⊙	FH	FIRE HYDRANT
⊕	WV	WATER VALVE
⊕	GV	GAS VALVE
⊕		BENCHMARK
⊕		TREE
⊕		PROPOSED IRRIGATION CONTROL VALVE
←		DRAINAGE FLOW ARROWS
■		REFER TO LANDSCAPE PLANS FOR HARDSCAPE AND LANDSCAPE BETWEEN BUILDINGS AND SURROUNDING NEW BUILDING
■		MAX 2% CROSS SLOPE, RUNNING SLOPE TO FOLLOW PUBLIC STREET
+600		PROPOSED LANDSCAPE ARCHITECT SPOT ELEVATION
+600		PROPOSED SPOT ELEVATION

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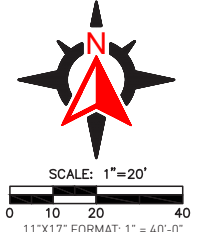
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PROJECT

## AH COMMERCIAL

6401 Broadway  
Alamo Heights, TX 78209

STAMP

STATE OF TEXAS  
MARK ROBERT JOHNSON  
82680  
05/12/2023

NO	DATE	TITLE
1	03/13/2023	TAIL REVISION
2	05/12/2023	REVISION 2

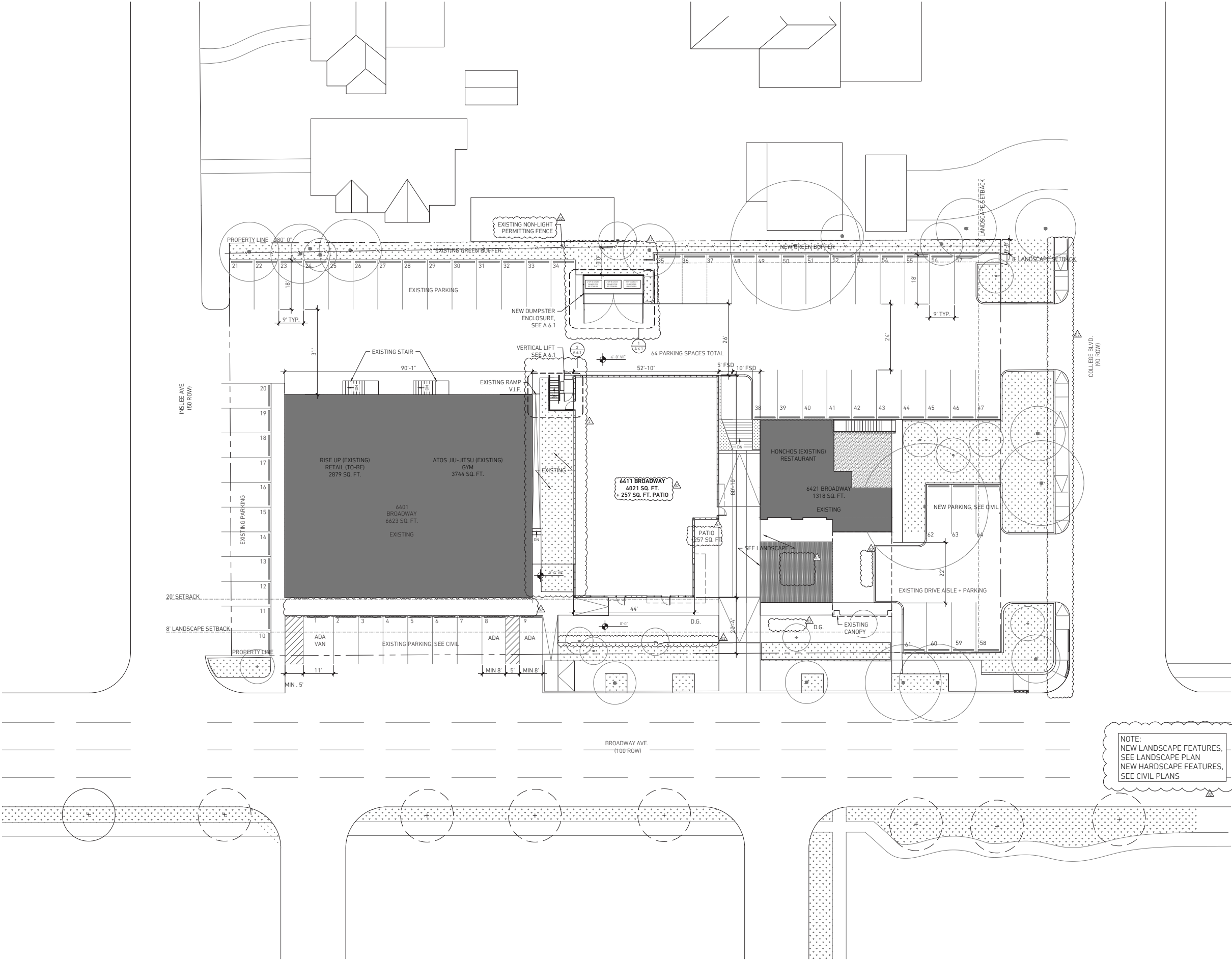
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PROJECT NUMBER	220090
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DATE	05/12/2023
SCALE	AS NOTED
DRAWN BY	MOREZ PEREZ

TITLE

### GRADING PLAN

SHEET NUMBER

# C-3.0



GENERAL SHEET NOTES

DO NOT SCALE DRAWINGS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

ALL GRADES, LINES & BENCH MARKS FOR THE NEW CONSTRUCTION SHALL BE ESTABLISHED AND MAINTAINED BY THE CONTRACTOR, WHO SHALL BE RESPONSIBLE FOR THE SAME.

CONTRACTOR'S CHOICE AS TO THE MEANS OF CONSTRUCTION, THE SEQUENCE OF CONSTRUCTION, AND SAFETY PRECAUTIONS INCIDENT THERETO, ARE NOT PART OF THE ARCHITECT'S RESPONSIBILITY.

NEW CONSTRUCTION DIMENSIONS ARE BASED ON DOCUMENTS PROVIDED BY CLIENT. THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS AGAINST ACTUAL SITE CONDITIONS AND BOUNDARIES AND SHALL NOTIFY THE ARCHITECT OF ANY AREAS WHICH WOULD DIFFER FROM THE INTENT OF THE DRAWINGS, OR THAT SHOW DISCREPANCY BETWEEN SECTIONS OF THE DRAWINGS AND/OR ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO GIVE SUCH NOTICE, HE WILL BE HELD RESPONSIBLE FOR THE RESULTS OF COST RECTIFYING THE SAME.

ALL FLOOR PLAN DIMENSIONS GIVEN AT THE NEW CONSTRUCTION ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

SPECIFICATION

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6411 Broadway  
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1	23/03/13 REVISION_TAS
2	05/12/23 REVISION

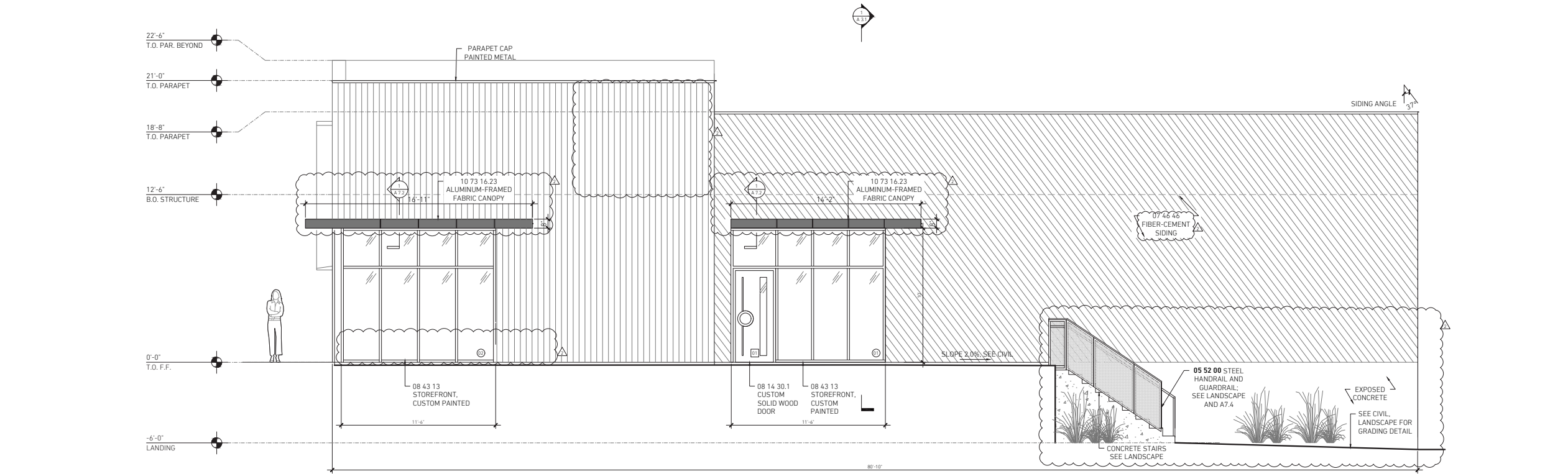
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PROJECT NUMBER	2203
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DATE	01/20/2023
SCALE	AS NOTED
DRAWN BY	NO

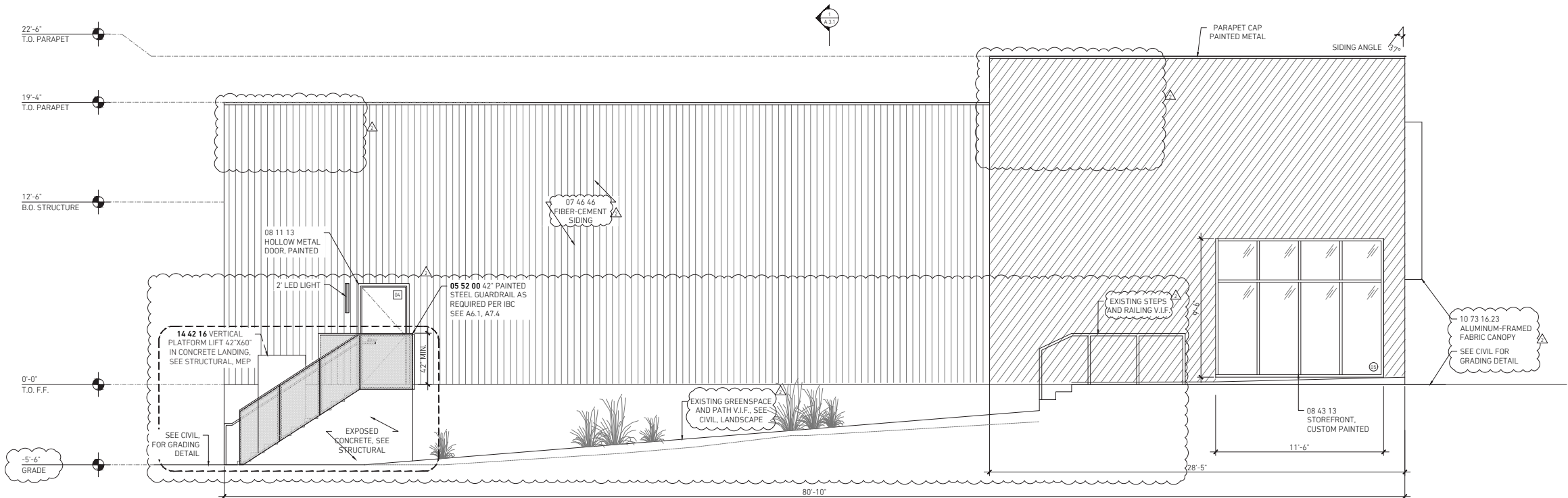
TITLE  
OVERALL SITE PLAN

SHEET NUMBER

A 1.0



2 NORTH ELEVATION 11"x17" FORMAT: 1/8" = 1'-0" 0' 2' 4'



1 SOUTH ELEVATION 11"x17" FORMAT: 1/8" = 1'-0" 0' 2' 4'

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SPECIFICATION

**05 52 00 METAL BUILDINGS**  
CUSTOM FABRICATED STEEL HANDRAIL AND GUARDRAIL, GUARDRAIL WITH MONOMER'S EXPANDED METAL FLATTENED STAINLESS STEEL TYPE 304, 3/4" NO. 16 FLATTENED PAINTED. SEE DETAILS, LANDSCAPE, PROVIDE SHOP DRAWINGS AND FINISH SAMPLE FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

**07 46 46 FIBER-CEMENT SIDING**  
JAMES HARDIE HARDIEPLANK SIDING, SELECT CEDARMILLSMOOTH 7.25" WITH HARDIE TRIM 4 1/4" RUSTIC GRAIN OR APPROVED EQUAL. INSTALL AS INDICATED ON DRAWINGS AND PER MANUFACTURER'S INSTRUCTIONS. PROVIDE DETAILS, FINISH SPEC, TBO. INSTALL OVER GUARNEY PROTECT HOPE FIBERING STRIPS AS INDICATED. PROVIDE FINISH SAMPLE TO OWNER AND ARCHITECT PRIOR TO INSTALLATION.

**08 11 13 HOLLOW METAL DOORS AND FRAMES**  
PAINTED HOLLOW METAL DOORS AND FRAMES AS INDICATED ON DOOR SCHEDULE. PAINT COLOR TBO.

**08 14 36.01 CUSTOM WOOD DOORS (EXTERIOR)**  
FLUSH SOLID WOOD DOOR, SEALED, WITH CUSTOM HARDWARE, SPECIES TBO. PROVIDE SAMPLES TO OWNER AND ARCHITECT PRIOR TO FABRICATION.

**08 43 13 ALUMINUM STOREFRONT SYSTEM**  
KAWNEER 6017 FIXED STOREFRONT FRAMING SYSTEM, TRIFAB VERSAGLAZE, 7" SIGHTLINE, 6" DEPTH, FRONT-SET, CUSTOM PAINTED ALUMINUM FRAMES, PROVIDE SHOP DRAWINGS AND FINISH SAMPLE FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. VERIFY ALL ROUGH OPENING SIZES IN FIELD AND INSTALL PER DETAILS AND MANUFACTURER'S INSTRUCTIONS. CONTACT: CHUCK JENSEN, KAWNEER, (214) 581-4520.

**08 40.00 GLAZING**  
COLORBOND 70 07 50 50 50 CLEAR GLASS INSULATED GLASS UNIT, GLAZING TO BE TEMPERED AS INDICATED IN WINDOW SCHEDULE. PROVIDE SAMPLE TO OWNER AND ARCHITECT PRIOR TO INSTALLATION.

**10 73 16.23 FABRIC AWNING**  
CUSTOM FABRICATED ALUMINUM-FRAMED FABRIC AWNING, BACKLIT WITH LED LIGHT. PROVIDE SHOP DRAWINGS AND FINISH SAMPLE FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

**14 42 16 VERTICAL LIFT**  
4' x 40" SYMMETRIC ELEVATOR VERTICAL PLATFORM LIFT OR EQUIVALENT, TBO. INSTALL PER CODE AND MANUFACTURER'S REQUIREMENTS. VERIFY WITH OWNER AND ARCHITECT.

SCH  
SH /

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2 05/12/23 REVISION

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SCALE

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ELEVATION

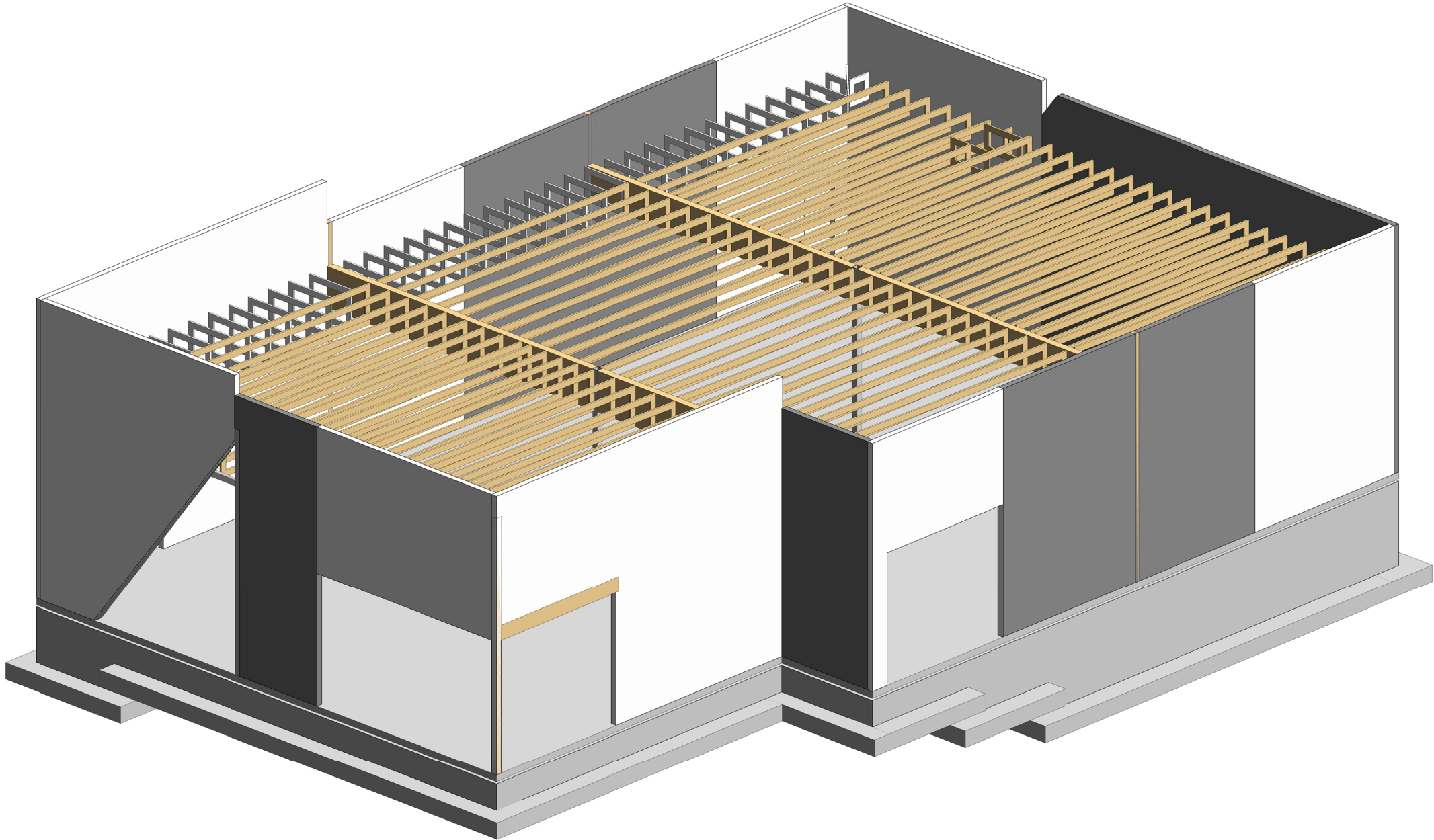
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1 PRESENTATION 3D VIEW

SHEET LIST	
Sheet Number	Sheet Name
S001	3D VIEW AND SHEET LIST
S101	GENERAL STRUCTURAL CRITERIA
S102	GENERAL STRUCTURAL CRITERIA
S200	FOUNDATION PLAN - OVERALL
S201	FOUNDATION PLAN
S202	SITE FOUNDATION PLANS
S203	ROOF FRAMING PLAN
S301	FOOTING & PLINTH SCHEDULE & DETAILS
S302	CONT. FOOTING SCHEDULE & DETAILS
S303	COLUMN SCHEDULES & DETAILS
S401	TYPICAL FOUNDATION DETAILS
S402	TYPICAL FOUNDATION DETAILS
S403	TYPICAL SITE FOUNDATION DETAILS
S501	TYPICAL FRAMING DETAILS
S502	TYPICAL FRAMING DETAILS
S701	ROOF FRAMING DETAILS
S702	ROOF FRAMING DETAILS
S703	MISC FRAMING DETAILS

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CONSTRUCTION DRAWINGS

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3D VIEW AND SHEET  
LIST

SHEET NUMBER

S001

**Dally**  
+ ASSOCIATES  
STRUCTURAL | CIVIL

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PROJECT #: 22-398