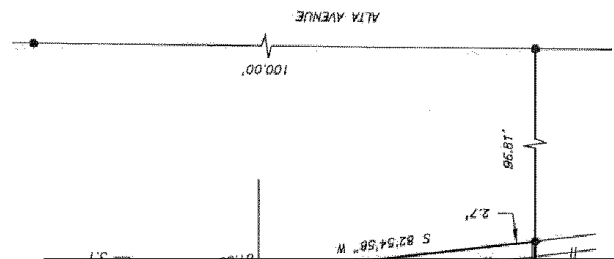




## STREET VIEW PERSPECTIVE

FOR ILLUSTRATION ONLY

NO SCALE



### PLAN

- CONCRETE DRIVEWAY
- EXIST. HOUSE SLAB
- FLAT WORK
- PROPOSED ADDITION

#### IC CALCULATIONS

AREA	SQUARE FOOTAGES
LOT SQUARE FOOTAGE	8,383 SF
CONCRETE DRIVEWAY	578 SF
EXIST. HOUSE SLAB	2,161 SF
FLAT WORK	302 SF
PROPOSED ADDITION	108 SF
TOTAL IMPERVIOUS COVER:	3,149 SF
PERCENTAGE OF SF:	37.6%

#### F.A.R. CALCULATIONS

TOTAL LOT AREA = **8,383 SQ.FT.**

EXISTING MAIN HOUSE FLOOR AREA = **1,716 SQ.FT.**

PROPOSED NEW ADDITION FLOOR AREA = **108 SQ.FT.**

GARAGE FLOOR AREA = **445 SQ.FT.**

TOTAL (TOTAL F.A.R. / LOT AREA) = **2,269 SQ.FT.**

**TOTAL F.A.R. = .271**

### GENERAL NOTES:

ALL CONSTRUCTION SHALL CONFORM TO BUILDING CODES REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. ALL IRC SECTIONS & TABLES REFERENCED REFER TO IRC 2021 VERSION.

- BUILDER SHALL VERIFY: ALL LOT DIMENSIONS, EASEMENTS, BUILDING LINES, AERIAL EASEMENTS, HEIGHT RESTRICTIONS, ROOF OVERHANG & GUTTER LIMITATIONS, FINISH FLOOR HEIGHTS (w/ RESPECT TO DRAINAGE & FLOOD PLAIN ISSUES), COVERAGE % AND ALL DEED RESTRICTIONS PRIOR TO COMMENCING CONSTRUCTION.
- BUILDER & ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY BEFORE COMMENCING ADDITIONAL WORK.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. & FROM HABITABLE ROOMS ABOVE GARAGE BY 5/8" TYPE X GYP. BD. AND COMPLY WITH IRC SEC. R302.
- ESCAPE/RESCUE WINDOW FROM SLEEPING AREAS SHALL HAVE A MINIMUM OF 5.7 SQ.FT. CLEAR NET OPENING AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". FINISHED SILL HEIGHT SHALL BE A MAXIMUM OF 44" ABOVE THE FLOOR & PER IRC SEC 310.
- CONTRACTOR IS TO PROVIDE STEEL LINTELS ABOVE ALL OPENINGS WITH MASONRY ABOVE PER IRC SEC. 703.8.
- ONE-HOUR RATED GYPSUM BOARD SHALL BE INSTALLED UNDER STAIRS.
- PROVIDE CROSS VENTILATION AT ENCLOSED ATTICS PER IRC R806.
- ELECTRICAL CONTRACTOR TO LOCATE 110V OUTLET WITHIN 25'-0" OF A/C COMPRESSOR (GFI).
- FIREPLACE CHIMNEY TO BE 2'-0" HIGHER THAN ANY STRUCTURE WITHIN 10'-0" (& 3'-0" MIN. HEIGHT AT RIDGE).
- FACTORY BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE W/ IRC SECTION I1004 & SHALL BE TESTED IN ACCORDANCE W/ UL 127.
- SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER IRC SEC. R314.
- HANDRAILS SHALL BE INSTALLED ALONG ALL STEPS/STAIRS WITH 4 OR MORE RISERS AND CONFORM TO IRC SEC R311.
- ALL HORIZONTAL GUARD RAILS WILL BE A MINIMUM OF 36" IN HEIGHT & COMPLY WITH IRC SEC R312.
- WALLS SHALL BE BRACED IN ACCORDANCE OF IRC SEC R602.10.
- GLAZING SHALL COMPLY WITH IRC SEC. R308.
- ROOF OVERHANGS SHALL NOT EXTEND INTO ANY UTILITY EASEMENTS.
- IN AREAS UNDER IRC 2006 OR LATER, PROJECTIONS LESS THAN 5' FROM PROP. LINE SHALL HAVE A 1-HOUR MIN. FIRE RESISTANCE RATING ON THE UNDERSIDE & SHALL NOT EXTEND TO WITHIN 4' OF PROP. LINE PER R302 & TABLE 302.1.
- ALL DETAILS SHOWN ARE GENERAL AND ILLUSTRATIVE IN NATURE. BUILDER SHALL BE RESPONSIBLE FOR OVERSEEING AND INSURING ALL WATER-PROOFING, STRUCTURAL, AND OTHER CONSTRUCTION IS BUILT PROPERLY, PER CODES, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS.
- REFER TO ATTACHED RESIDENTIAL DETAIL SHEET(S) FOR STANDARD DETAILS & RECOMMENDATIONS FOR PORTIONS OF THE LATEST INTERNATIONAL ENERGY CODE COUNCIL (IECC) REQUIREMENTS (REFER TO AUTHORITIES HAVING JURISDICTION AND CURRENT ADOPTED IECC REQUIREMENTS FOR OTHER PROJECT CLIMATE ZONES. NOTIFY ARCHITECT IMMEDIATELY IF NOT INCLUDED IN THIS SET OF DRAWINGS.
- ALL SITE & SURVEY INFORMATION PROVIDED BY OTHERS.
- SITE GRADING AND DRAINAGE PLANS PROVIDED BY OTHERS.
- ALL ENGINEERING DESIGNS INCLUDING, BUT NOT LIMITED TO, CIVIL, GEOTECHNICAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED BY OTHERS.

108 SF

#### Building Area Legend

- EXISTING
- NEW ADDITION

#### SQUARE FOOTAGES

EXIST. COVD PORCH	182 SF
EXIST. RESIDENCE	2,161 SF
EXISTING	2,344 SF
NEW ADDITION	108 SF
NEW ADDITION	108 SF
>>> TOTAL COVERED	2,452 SF

### DRAWING INDEX

SHEET #	SHEET NAME
1	COVER SHEET
2	SITE PLAN & ROOF PLAN
3	DEMO PLAN
4	FLOOR PLAN + INTERIOR ELEVATIONS + ELECTRIC PLAN
5	EXTERIOR ELEVATIONS
6	EXTERIOR ELEVATIONS

**MSA**  
ARCHITECTURE  
+ INTERIORS

16719 Huebner Rd., Suite 301  
San Antonio, TX 78248

210.408.7553  
www.msaofsa.com

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ARCHITECT'S SEAL



ISSUES / REVISIONS

NO.	DATE	REVISION
GK	05.31.24	AS-BUILT
DS	06.05.24	PRELIMINARY
VM	06.01.24	PRELIM. REVISIONS
DS	07.11.24	CD'S
DS	07.16.24	ISSUE
1 DS	08.05.24	ADDENDUM 1
2 RS	09.06.24	ADDENDUM 2

## RANCH HOUSE RESTORATION & CONSTRUCTION

210.852.7326

CURRENT REVISION:

09.06.24 ADDENDUM 2

A REMODEL FOR

**MR. & MRS.  
CLARK**

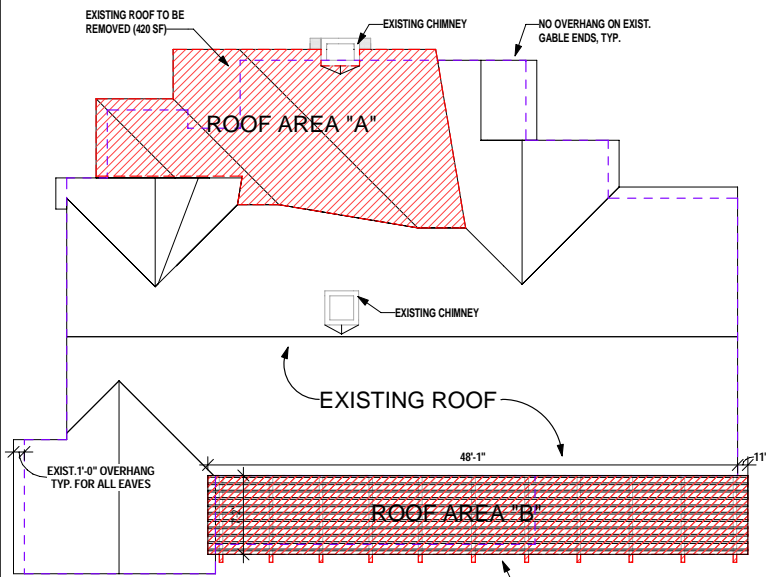
634 ALAMO HEIGHTS  
BLVD  
ALAMO HEIGHTS,  
TEXAS  
78209

## COVER SHEET

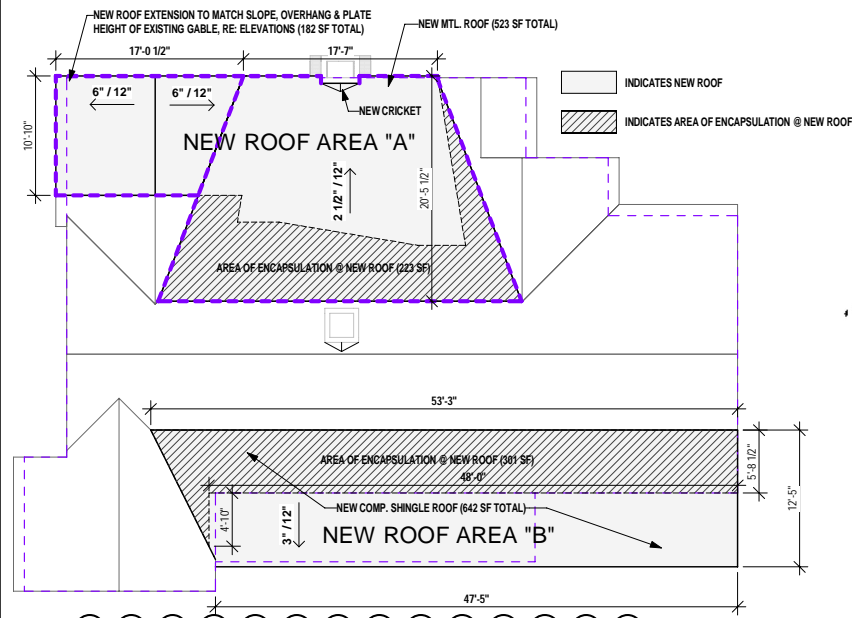
#1 OF 6

**REMODEL**

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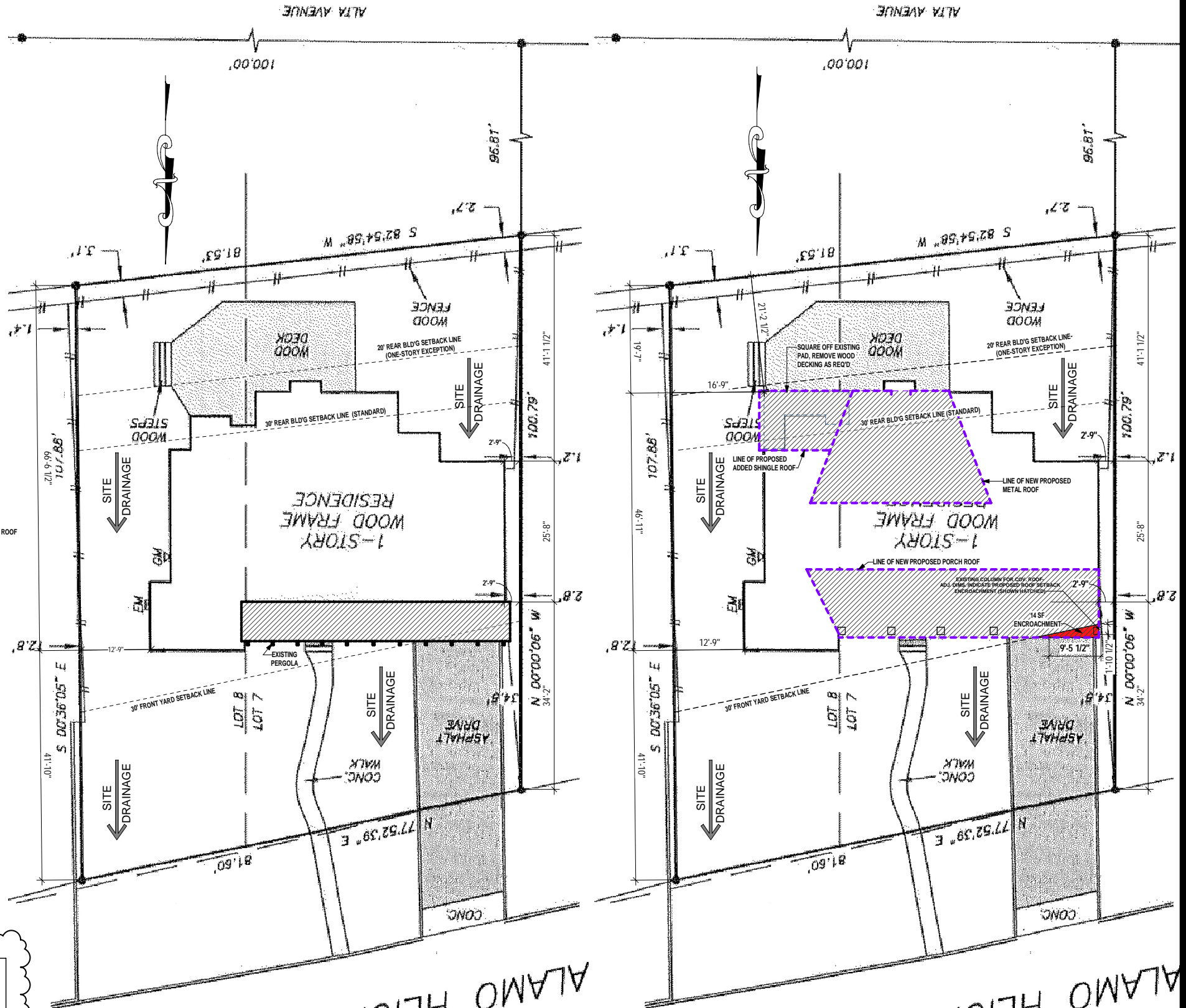


**4 ROOF PLAN - EXISTING (DEMO)**  
1/8" = 1'-0"



**3 ROOF PLAN - NEW CONSTRUCTION**  
1/8" = 1'-0"

ROOF DEMOLITION %	
TOTAL EXISTING ROOF SQ. FT. (SF) = 2,811 SQ.FT.	
PROPOSED ROOF SF. TO BE REMOVED: ROOF AREA "A": 420SF; ROOF AREA "B": 354SF = 774 SQ.FT.	
% PORTION OF EXISTING ROOF TO BE REMOVED = 27.5% (ROOF "A"-15%, ROOF "B"-12.5%)	
ROOF ENCAPSULATION %	
TOTAL EXISTING ROOF SQ. FT. (SF) = 2,811 SQ.FT.	
PROPOSED ROOF SF. TO BE ENCAPSULATED: ROOF AREA "A": 223SF; AREA "B": 301SF = 524 SQ.FT.	
% PORTION OF EXISTING ROOF TO ENCAPSULATED = 18.7% (ROOF "A"-8%, ROOF "B"-10.7%)	



**2 EXISTING SITE PLAN**  
1" = 10'-0"

NOTE: ALL SITE & SURVEY INFORMATION PROVIDED BY OTHERS

**1 PROPOSED SITE PLAN**  
1" = 10'-0"

NOTE: ALL SITE & SURVEY INFORMATION PROVIDED BY OTHERS



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ARCHITECTS SEARCH



ISSUES / REVISIONS

	GK	05.31.24	AS-BUILT
	DS	06.05.24	PRELIMINARY
	VM	06.01.24	PRELIM. REVISION
	DS	07.11.24	CD's
	DS	07.16.24	ISSUE
1	DS	08.05.24	ADDENDUM 1
2	RS	09.06.24	ADDENDUM 2

RANCH HOUSE  
RESTORATION &  
CONSTRUCTION  
210.852.7326

2 09.06.24 ADDENDUM 2

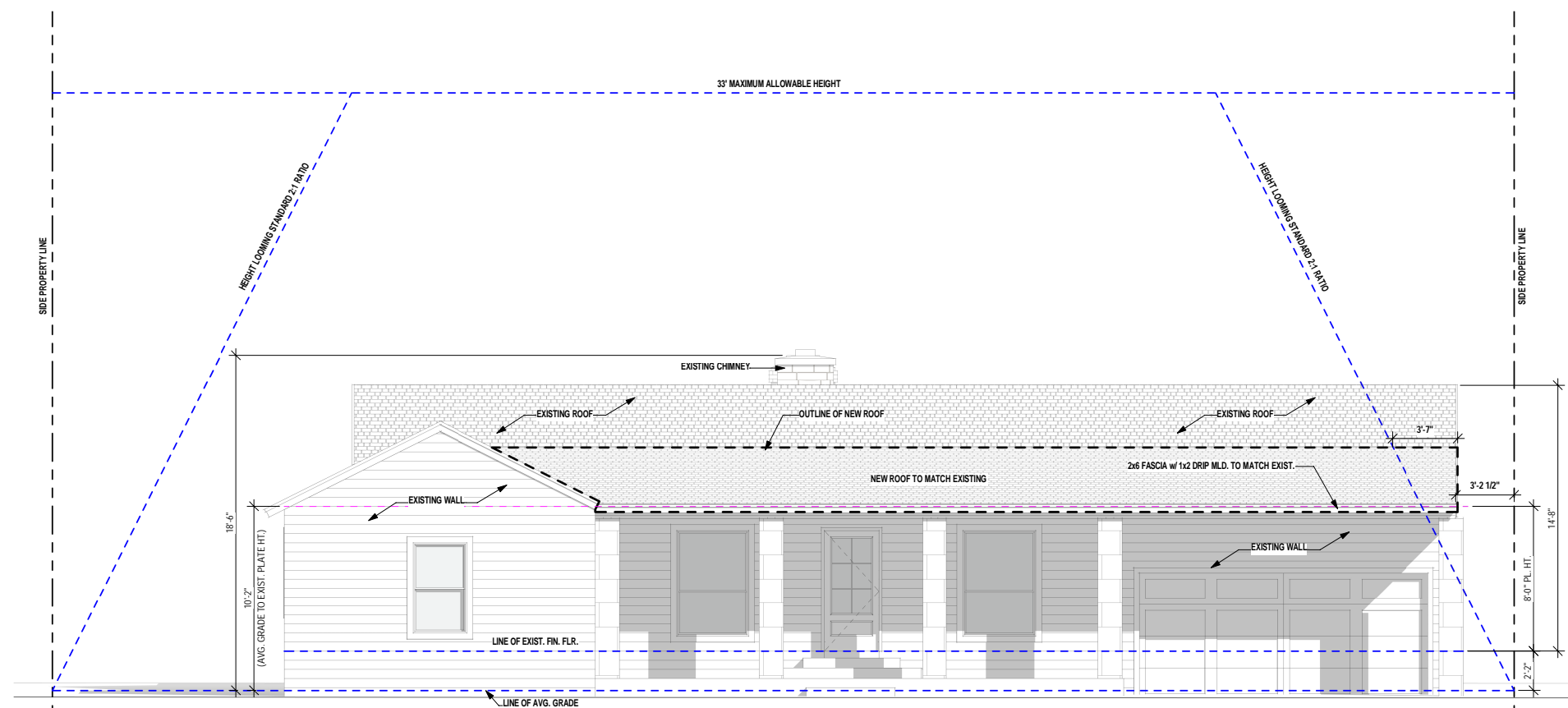
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634 ALAMO HEIGHTS  
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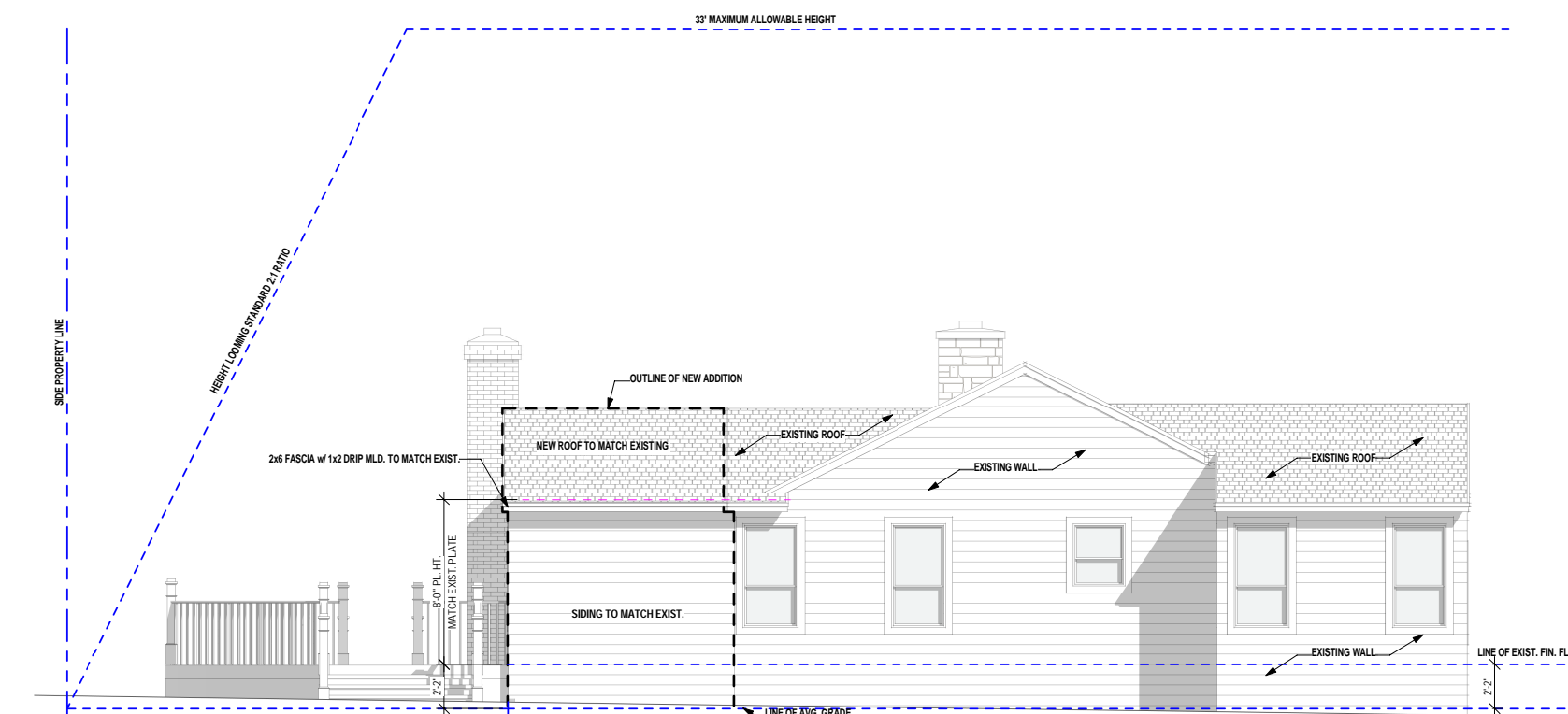
## EXTERIOR ELEVATIONS

#5 OF 6  
REMODEL

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① FRONT ELEVATION  
1/4" = 1'-0"



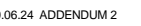
2 LEFT ELEVATION  
 $1/4" = 1'-0"$



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05.31.24	AS-BUILT
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06.01.24	PRELIM. REVIS
07.11.24	CD's
07.16.24	ISSUE
08.05.24	ADDENDUM 1
09.06.24	ADDENDUM 2



REMODEL FOR  
**R. & MRS.  
LARK**  
4 ALAMO HEIGHTS  
VD  
AMO HEIGHTS,  
XAS  
209

## EXTERIOR ELEVATIONS

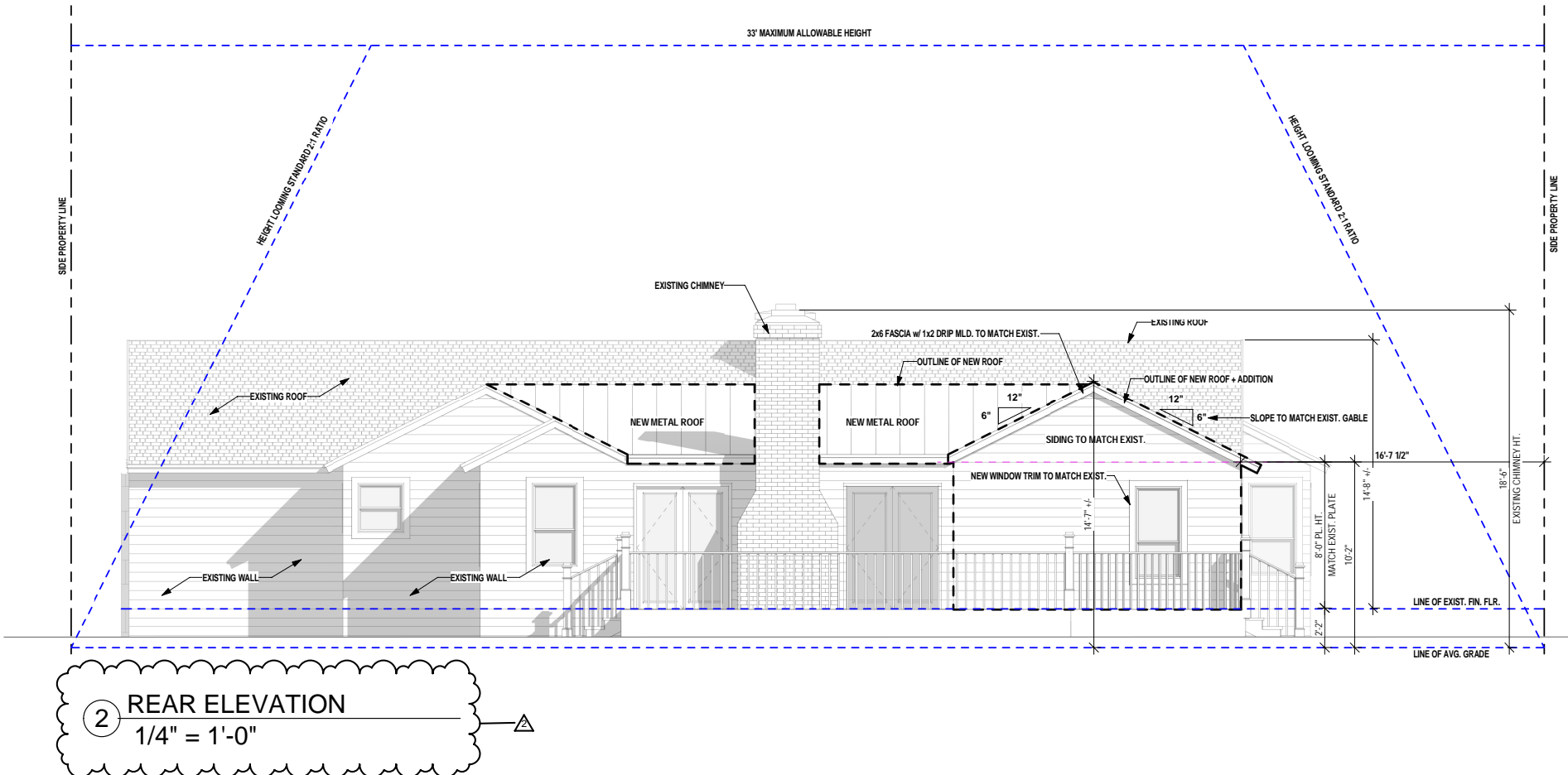
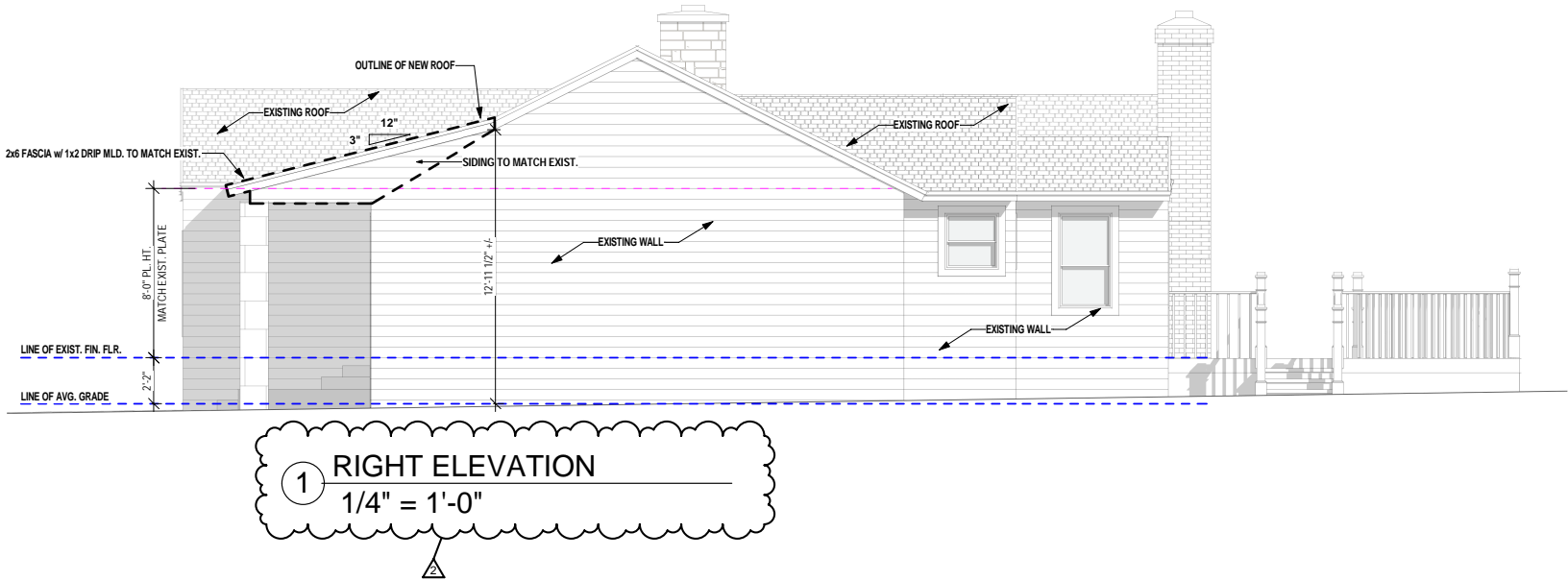
#6 OF 6  
REMODEL

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## REAR VIEW AERIAL PERSPECTIVE

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Galaxy S22  
July 19, 2024 12:25





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July 19, 2024 12:25