



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
Tuesday, February 16, 2021 – 5:30 P.M.

In accordance with order of the Office of the Governor issued March 16, 2020, where he temporary suspended certain provisions of the Texas Open Meetings Act, take notice that a regular meeting scheduled **at 5:30 p.m. on Tuesday, February 16, 2021** will be conducted by telephone conference in order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”), to slow the spread of the Coronavirus (COVID-19), to consider and act upon any lawful subjects which may come before it. **There will be no public access to Alamo Heights Council Chamber.**

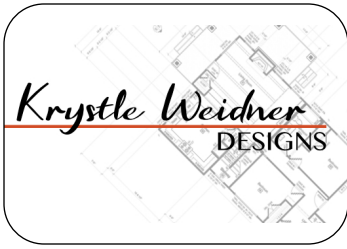
INSTRUCTIONS FOR TELECONFERENCE: The public toll-free dial-in number to participate in the telephonic meeting is 346-248-7799 and enter access number 868 0184 5240#.

Case No. 833F – 320 Primrose

Request of Jim and Sharon Spivey, owners, for the significance review of the existing main structure and compatibility review of the proposed design located at 320 Primrose in order to demolish 66% of the existing roof and 53% of the street facing façade in order to remodel and add to the front and rear of the existing single-family residence with attached accessory structure under Demolition Review Ordinance No. 1860 (April 12, 2010).

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB’s recommendation for all demolition/final design review applications. Please check the ARB posted results on the City’s website after the ARB meeting to confirm any future meeting dates.

Plans are available for public viewing on the City’s website, with the exception of floor plans, (<http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/>) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Brenda Jimenez (bjimenez@alamoheightstx.gov), Lety Hernandez (lhernandez@alamoheightstx.gov), or Nina Shealey (nshealey@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case.



Krystle Weidner
3241 South State Highway 46
New Braunfels, TX 78130
T 830 708-4286
E krystle@weidnerdesigns.com

Attention: Architectural Review Board

Date: January 22, 2021

PROJECT TITLE: Spivey Remodel

PROJECT ADDRESS/DESCRIPTION: 320 Primrose Place, San Antonio, Texas 78209

To whom it may concern;

This project entails a 1,304 Square foot addition and remodel of the existing residential structure. Areas included in the remodel affect the Kitchen, Dining and Living Areas. The addition includes a Master Bedroom and Bathroom suite to the rear of the house. A new covered entry porch has also been added to the front, street facing facade. Various cosmetic and material upgrades shall be made to the interior including bathroom fixtures and flooring.

Included in the calculations of demolition and square footage, but to be applied for in a separate permit and variance application are the additions to the Garage and Storage which include raising the current plate height to 9'-6" AFF.

The lot slopes more than 10% and the existing site drainage system is to remain in place. The addition and remodeled areas are to be constructed in similar materials and colors to match the existing home. The roof will be updated to a metal roof, matching the slope of the current residence. The areas of the remodel will raise the plate height to 10'-0" AFF, but the overall ridge height of the structure is to increase by a maximum of 5'-0".

Sincerely yours,

Krystle Weidner

Property Address: **320 PRIMROSE PLACE**Architecture Type: **RANCH**Original Architect: **UNKNOWN**

Year Built:

Lot Coverage*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Lot area	47785.3		47785.3	
Main house footprint	3031		4335	
Front porch	251		313	
Side porch 1	227		32	
Side porch 2				
Rear porch	1027		520	
Garage footprint	442		1057	
Carport footprint	405		0	
Shed footprint (BASEMENT)	703 (Not in Footprint)		703	
Breezeways** POOL AREA	2250		2250	
Covered patio structure CASITA DECK	100		100	
Other accessory structures CASITA	1182		1182	
Total (total lot coverage/lot area):	8975 / LOT		9789 / LOT	
Total Lot Coverage:	18.8 %		20.5 %	
Floor Area Ratio (FAR)**	Applicant		Staff	
	Applicant	Staff	Applicant	Staff
Lot area	47785.3		47785.3	
Main house: 1st floor	3031		4335	
Main house: 2nd floor BASEMENT	703		703	
Garage: 1st floor	442		1057	
Garage: 2nd floor				
Other structures (unless exempted - see below)	1182		1182	
Total (total FAR/lot area):	5358 / LOT		7273 / LOT	
Total FAR:	11.2 %		15.2 %	
Height of Main Structure:	15' 6" ABOVE AVE GRADE		18' 6" ABOVE AVE GRADE	

*Lot coverage is defined as the percentage of the total lot area covered by a roof, floor or other buildings excluding eaves. Carports, sheds, porches, covered pedestrian walkways, breezeways, arbors, gazebos and covered patios are included in lot coverage calculations. (Exception: The maximum lot coverage shall exclude free standing entryway arbors with open-air lattice framework under fifty (50) square feet in area and eight (8) feet in height, and other free standing open-air lattice/trellis structures located within a side or rear yard up to twelve (12) feet in height, totaling three hundred (300) square feet or less and subject to other standards governing accessory structures.

**Floor area ratio (FAR) is defined as the ratio of the total above ground gross floor area of all structures on a site to the total square footage of a lot (for example, a FAR of .53 for a seven thousand five hundred (7,500) square foot lot is three thousand nine hundred seventy-five (3,975) gross square feet (.53 X 7,500) of floor area). The following areas shall be included when computing the gross floor area:

- (1) Exterior walls. The thickness of the wall shall be included in the calculation.
- (2) Above grade floor area. Any room that has a wall surface that extends more than three (3) feet above grade.
- (3) Laundry rooms, mechanical rooms, storage rooms, built-in cabinets and media niches;
- (4) Mezzanines and lofts.
- (5) Floor area used by stairways, elevators, escalators and similar features. The floor area of each run of stairs shall be counted once.
- (6) Vaulted ceilings. The floor area shall be counted at the actual floor area only and not in the air spaces.
- (7) Usable spaces (generally defined as having a five (5) foot minimum height) such as rooms, closets and cabinets under a run of stairs.
- (8) Exterior structures and additions with a solid roof and enclosed on more than two (2) sides in whole or part with permanent solid walls or windows such as porches, balconies, patios and breezeways.
- (9) Attached and detached garages and carports; and
- (10) Accessory buildings such as sheds, pool houses, guest houses, bonus rooms and second units.

The following areas shall not be included when computing the gross floor area:

- (1) Below grade floor area: any area that has a wall surface that extends less than three (3) feet above grade.
- (2) Porches, balconies, patios, breezeways, decks, overhangs, eaves, canopies and awnings with solid roof-like cover, but not enclosed on more than two (2) sides.
- (3) Porches, balconies, patios, breezeways and decks that do not have a solid roof-like cover; and
- (4) Attic space that is not habitable. If made habitable in the future, shall be included in floor area ratio.

Definitions as listed per City of Alamo Heights "Code of Ordinances" can be found at www.municode.com (Ch. 3 "Zoning," Sec. 3-2 "Definitions")

Property Address: 320 PRIMROSE PLACE

Total Impervious Cover Sq. Ft. for Stormwater Development Fee*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Footprint of all structures	6725		7539	
Driveway/Parking Pad	4700		4700	
Walkways	320		320	
Swimming Pool/Spa	2250		2250	
Other impervious cover: _____				
Total impervious surface cover (in this project):	13995		14809	
Total impervious surface cover <u>removed/existing</u> (in this project):				
Total impervious surface cover <u>sq. ft. (proposed minus removed = net figure for this project)*</u>				
Stormwater Development Fee*				

Impervious Surface Cover within front yard setback**	Applicant	Staff	Applicant	Staff
Front yard setback area	8642		8642	A
Footprint of any structure(s)	-			
Driveway/Parking Pad	930		930	
Walkways	220		220	
Other impervious cover: _____				
Impervious surface cover within front yard setback in this project				B
Impervious surface cover <u>removed/existing</u> within front yard setback in this project				
Impervious surface cover <u>net proposed sq. ft.</u> within front yard setback				
Impervious surface cover proposed within front yard setback			B / A	B / A
Maximum 30% allowed for SF-A and SF-B Districts				

*The stormwater development fee shall be equivalent to the net additional square footage of total impervious surface area (excluding public sidewalks) of the property multiplied by \$0.40.

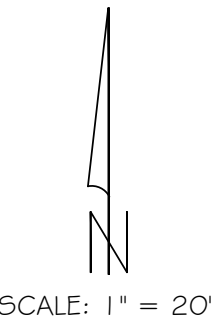
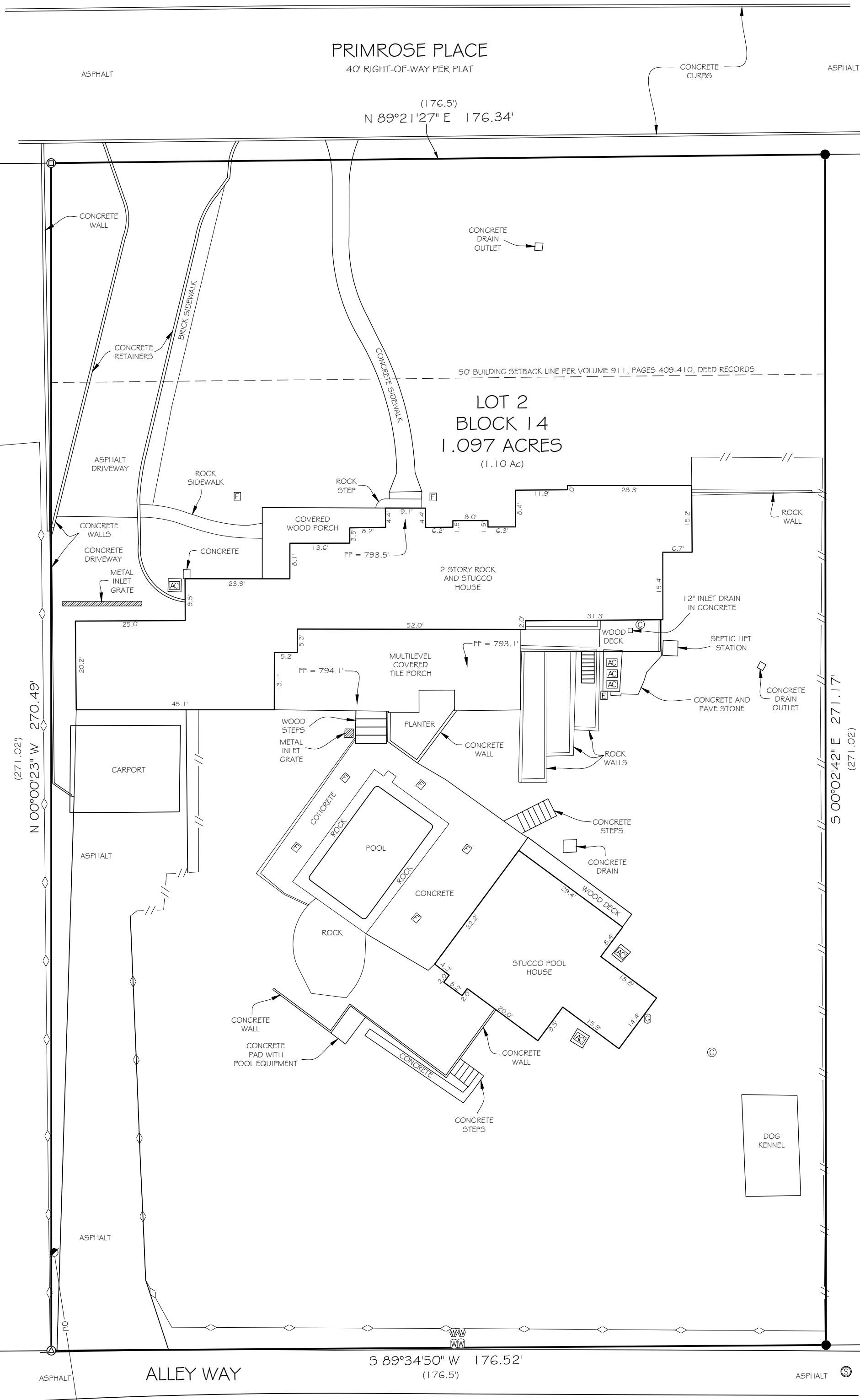
Exemptions. The following real property, only, shall be exempt from the provisions of this section:

- (1) Property owned by the City of Alamo Heights and/or dedicated to right-of-way for public streets and/or to provide drainage service; and
- (2) Property with proper construction and maintenance of a privately owned drainage or stormwater system wholly sufficient to provide all the drainage or stormwater service for that property.

**Depending on property's zoning district, the maximum impervious surface allowed within the front yard setback area is 30% (per Sec. 3-18) and 40% (per Sec. 3-50, please refer to Code for other regulations).

Impervious cover. Ground surfaces including concrete or paved driveways, sidewalks, parking lots, building and other improvements that resist the infiltration of water, thereby resulting in water runoff. Impervious cover includes any surface material or surface treatment or surface condition which sheds fifty (50) percent or more of rainfall, or water, which falls on it.

City of Alamo Heights "Code of Ordinances" can be found at www.municode.com (Ch. 3 "Zoning," Sec. 3-18, Sec. 3-50; Ch. 13 "Storm Drainage," Sec. 13-29 "Stormwater development fee" and Sec. 13-1 "Definitions").



SCHEDULE B
VOLUME 712, PAGE 410, DEED RECORDS - RESTRICTIONS
VOLUME 911, PAGE 409, DEED RECORDS - RESTRICTIONS

- NOTES:
- 1) PROPOSED INSURED/BORROWER: JAMES K. SPIVEY AND SHARON Z. SPIVEY
 - 2) ADDRESS: 320 PRIMROSE PLACE
 - 3) BASIS OF BEARING: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, 4204, NAD 83.
 - 4) THIS SURVEY IS BASED ON A TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE GUARANTY COMPANY, G.F. NUMBER 1-200889, ISSUED DATE OF SEPTEMBER 11, 2020, EFFECTIVE DATE OF SEPTEMBER 3, 2020 AND IS SUBJECT TO ALL TERMS, CONDITIONS, LEASES AND ENCUMBRANCES STIPULATED THEREIN. THE SURVEYOR DID NOT COMPLETE AN ABSTRACT OF TITLE.
 - 5) ONLY APPARENT UTILITIES WERE LOCATED. NO ATTEMPT HAS BEEN MADE AS PART OF THIS SURVEY TO SHOW THE EXISTENCE, SIZE, DEPTH, CONDITION, OR LOCATION OF ANY UNDERGROUND UTILITY. FOR INFORMATION REGARDING UNDERGROUND UTILITIES PLEASE CONTACT THE APPROPRIATE AGENCY.
 - 6) FENCES NEAR THE BOUNDARY LINE MEANDER AND ARE NOT NECESSARILY ON THE BOUNDARY LINE.
 - 7) ADJOINING PROPERTY INFORMATION SHOWN HEREON IS FOR INFORMATIONAL PURPOSES ONLY.
 - 8) ALL BUILDING SETBACK LINES, RECORDED EASEMENTS, UNRECORDED EASEMENTS, PLAT RESTRICTIONS, DEED RESTRICTIONS AND ZONING ORDINANCES, IF ANY, SHOULD BE CONFIRMED BY THE HOME OWNERS ASSOCIATION, LANDOWNER, CITY AND/OR THE ARCHITECTURAL CONTROL COMMITTEE BEFORE ANY PLANNING OR CONSTRUCTION.

- LEGEND
- () RECORD CALL PER VOLUME 642, PAGE 106, DEED AND PLAT RECORDS
 - FOUND 1/2" IRON ROD (UNLESS OTHERWISE NOTED)
 - ⊕ FOUND 1/2" IRON ROD W/ A YELLOW "RPLS 5142" PLASTIC CAP
 - ⊕ FOUND 1/2" IRON ROD W/ A YELLOW "RPLS 4716" PLASTIC CAP
 - W WATER METER
 - W WATER VALVE
 - ⊕ ELECTRIC PEDESTAL/BOX
 - ⊕ GAS VALVE
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ SANITARY SEWER CLEANOUT
 - ⊕ A/C PAD
 - ⊕ ELECTRIC PEDESTAL/BOX
 - ⊕ METER POLE
 - OU — OVERHEAD UTILITIES
 - // — WOOD FENCE
 - <— CHAIN-LINK FENCE



I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THIS SURVEY.

Wes Rexrode

Wes Rexrode - Pfeiffer Land Surveying
Registered Professional Land Surveyor No. 6001
Boerne, Texas 78006 Ph. 830 - 249 - 3385

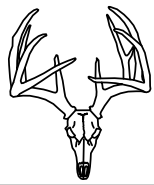
Boundary survey showing Lot 2,
Block 14 in Blue Bonnet Hills
Homesites recorded in Volume
642, Page 106, Deed and Plat
Records, Bexar County, Texas.

PFEIFFER LAND SURVEYING

918 ADLER STREET
BOERNE, TX 78006

830-249-3385

FIRM NO. 10193761



JOB NUMBER: 82-20
DATE: AUGUST 6, 2020



320 Primrose Street View



320 Primrose Street View



Right side of House (Garage)



Back of House (Garage)



Back of 320 Primrose

PROJECT SUMMARY

Legal Description:
Lot 2, Block 14 in Blue Bonnet Hills Homesites, Recorded in Volume 642,
Page 106, Deed and Plat Records, Bexas County, Texas

Project Address:
320 Primrose Place, San Antonio, Texas 78209

Square Footage
Residence w/ Addition: 4,335 Square Feet
(Existing: 3,031 Square Feet)
Basement: 703 Square Feet
Garage and Storage: 1,057 Square Feet
Front Porch: 313 Square Feet
Covered Patio: 520 Square Feet
Master Patio: 32 Square Feet

Total Conditioned Space: 5,038 Square Feet
Total Interior Space: 6,095 Square Feet

Casita: 1,182 Square Feet
Pool Area: 2,250 Square Feet
Concrete Walk: 320 Square Feet
Asphalt Drive: 2,118 Square Feet

Year Built: Unknown
Historic: N/A

Zoning: Residential
Use: Residential
Const. Type: WD
Applicable Building Codes:
2018 International Residential Building Code
2018 International Building Code
2018 International Fire Code (when required)
2018 International Energy Conservation Code (when required)
2018 International Plumbing Code (when required)
2018 International Mechanical Code (when required)
American Disabilities Act (when required)
City Flood Ordinances and FEMA guidelines (when required)
City Zoning Ordinances (when required)
City Landscape Ordinances (when required)

*Some of the above referenced codes have locally adopted amendments more stringent than the referenced code requires. Copies may be purchased at the permit window.
Scope of Work:
1,304 Square Foot addition and Remodel to existing Ranch Style Home. Addition included a Master Suite and changes to the existing kitchen, dining and secondary living space. The existing construction consists of a composition shingle roof on wood joists and 2x wood construction with a stucco finish on a pier and beam and slab foundation. The addition will match the existing stucco, and update to a metal roof throughout the home. The addition will be constructed on a pier and beam foundation and a front porch addition on a slab on grade foundation.

LOT COVERAGE:

Existing:
Lot Area: 44,785.3 Square Feet

Main Residence Footprint:
Conditioned First Floor: 3,031 Square Feet
Basement: 703 Square Feet
Unconditioned Garage: 442 Square Feet

Front Porch: 251 Square Feet
Rear Porch: 1,027 Square Feet
Rear Deck: 227 Square Feet
Carport: 465 Square Feet
Basement Patio: 115 Square Feet

Casita: 1,182 Square Feet
Casita Deck: 100 Square Feet

Pool and Pool Decking: 2,250 Square Feet

Total Lot Coverage: 8,863 Square Feet
19.79% Lot Coverage

Proposed:
Lot Area: 44,785.3 Square Feet

Main Residence Footprint:
Conditioned First Floor: 4,335 Square Feet
Basement: 703 Square Feet
Unconditioned Garage/Storage: 1,057 Square Feet

Front Porch: 313 Square Feet
Rear Porch: 520 Square Feet
Master Porch: 32 Square Feet
Basement Patio: 115 Square Feet

Casita: 1,182 Square Feet
Casita Deck: 100 Square Feet

Pool and Pool Decking: 2,250 Square Feet

Total Lot Coverage: 9,789 Square Feet
20.50% Lot Coverage

DRAWING INDEX:

- D1: Cover Sheet
- D2: Survey
- D3: Demolition Floor Plan
- D4: Demolition Elevation
- D5: Demolition Elevation
- D6: Demolition Roof
- D7: Proposed Site Plan
- D8: Proposed Floor Plan
- D9: Roof Plan
- D10/11: Elevations
- D12: Foundation
- D13: Drainage
- D14: Wall Types

FLOOR AREA RATIO:

Existing:
Lot Area: 44,785.3 Square Feet

Main Residence Footprint:
Conditioned First Floor: 3,031 Square Feet
Basement: 703 Square Feet
Unconditioned Garage: 442 Square Feet

Casita: 1,182 Square Feet

Total Floor Area: 5,358 Square Feet
.1196 Coverage

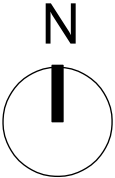
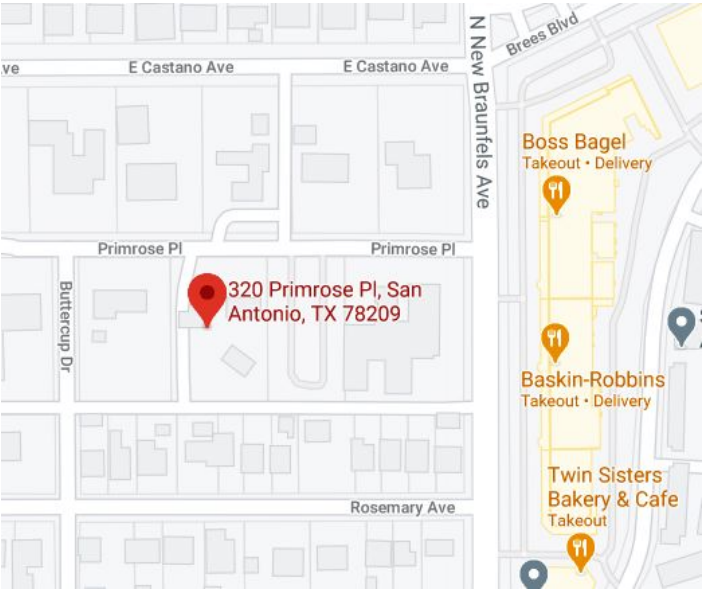
Proposed:
Lot Area: 44,785.3 Square Feet

Main Residence Footprint:
Conditioned First Floor: 4,335 Square Feet
Basement: 703 Square Feet
Unconditioned Garage/Storage: 1,057 Square Feet

Casita: 1,182 Square Feet

Total Floor Area: 7,277 Square Feet
.1520 Coverage

MAP

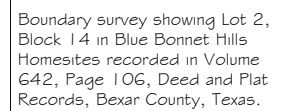


PROJECT TITLE:
SPIVEY REMODEL
SHEET TITLE:
GENERAL INFORMATION

PROJECT ADDRESS:
320 PRIMROSE PLACE
SAN ANTONIO, TEXAS
78209

SHEET NUMBER:

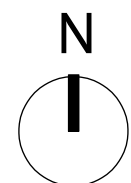
D1



PFEIFFER LAND SURVEYING
918 ADLER STREET
BOERNE, TX 78006
830-249-3385
 FIRM NO. 10093761




JOB NUMBER: 82-20
DATE: AUGUST 6, 2020



A1

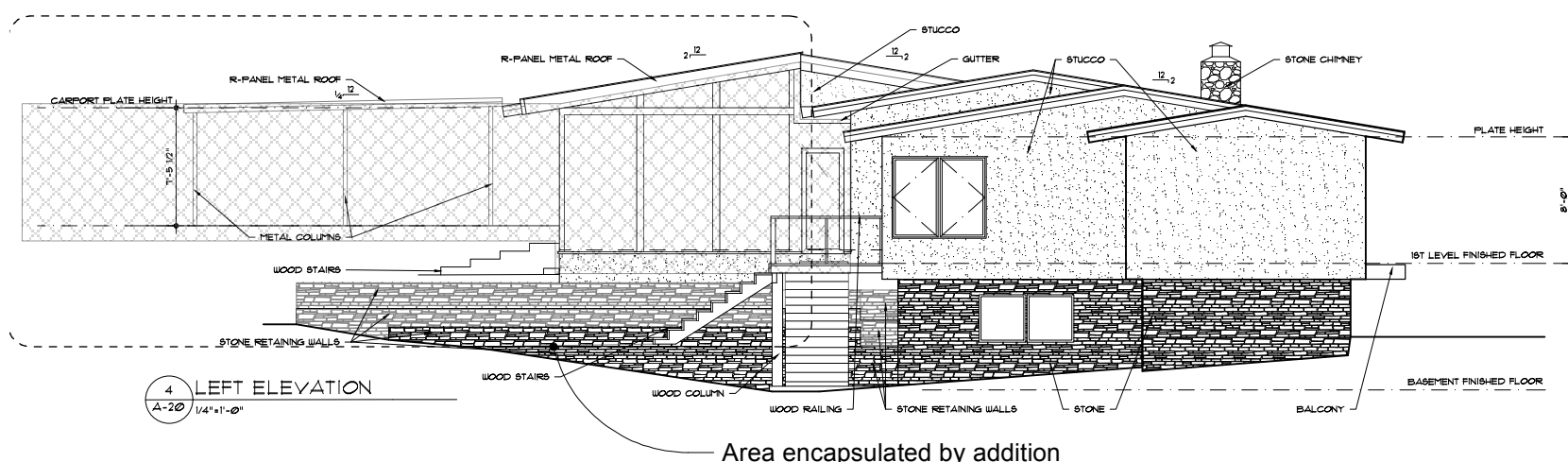
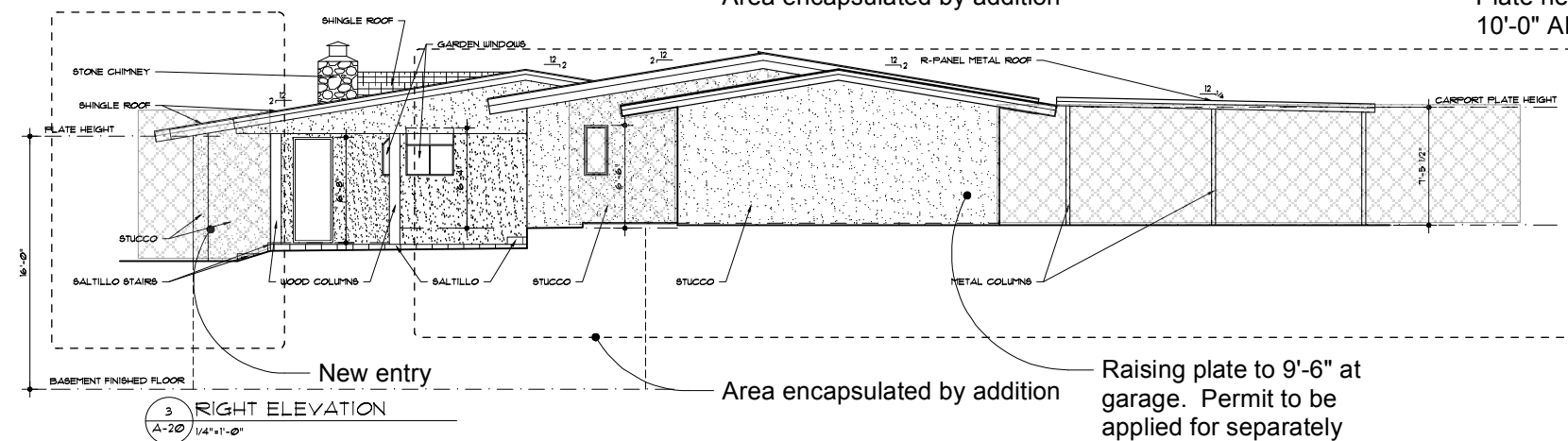
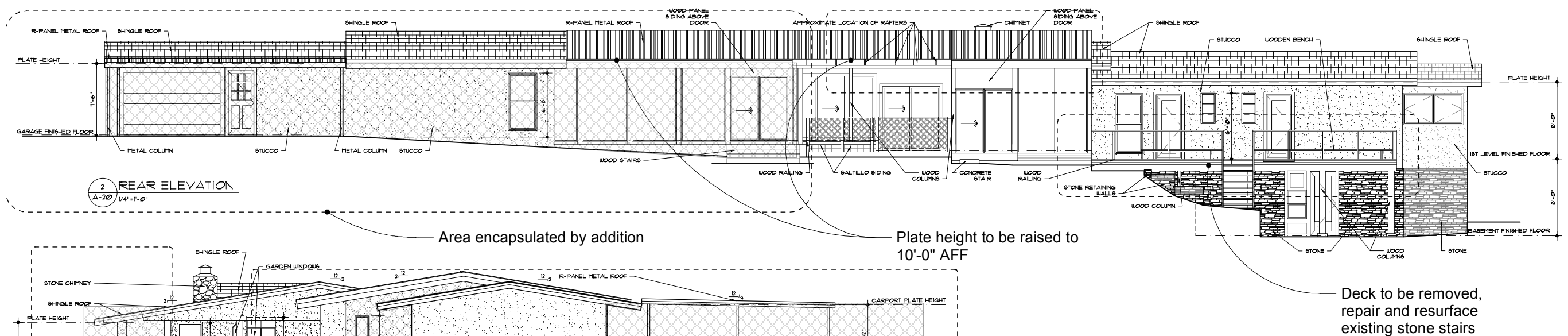
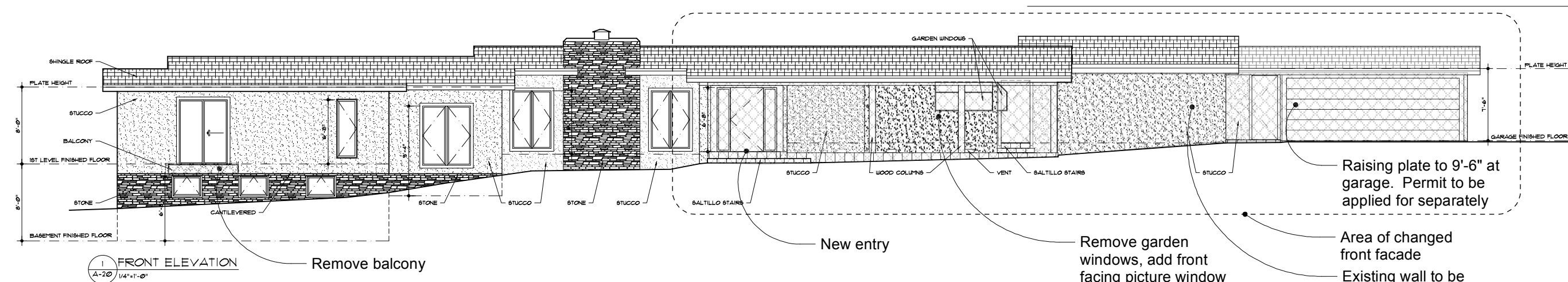
Existing Site Plan & Tree Plan
Scale: 1/32" = 1'-0"

SHEET NUMBER:

D2

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AREAS:

Existing Front Elevation Wall Square Footage: 1,785 Square Feet
Demolition: 940 Square Feet
Percentage of Demo: 52.6%

(Area of New Front Facing Elevations - Wall: 1,860 Square Feet)

Existing Rear Elevation: 1,575 Square Feet
Demolition: 556 Square Feet
Percentage of Demo: 35.3%

Existing Right Elevation: 382 Square Feet
Demolition: 185 Square Feet
Percentage of Demo: 48.4%

Existing Left Elevation: 715 Square Feet
Demolition: 257 Square Feet
Percentage of Demo: 35.9%

320 PRIMROSE PLACE - AS-BUILTS

PROJECT TITLE:

PROJECT TITLE:
SPIVEY REMODEL

SHEET TITLE:

DEMOLITION ELEVATIONS

PROJECT ADDRESS:

320 PRIMROSE PLACE
SAN ANTONIO, TEXAS
78209

SHEET NUMBER:

D5

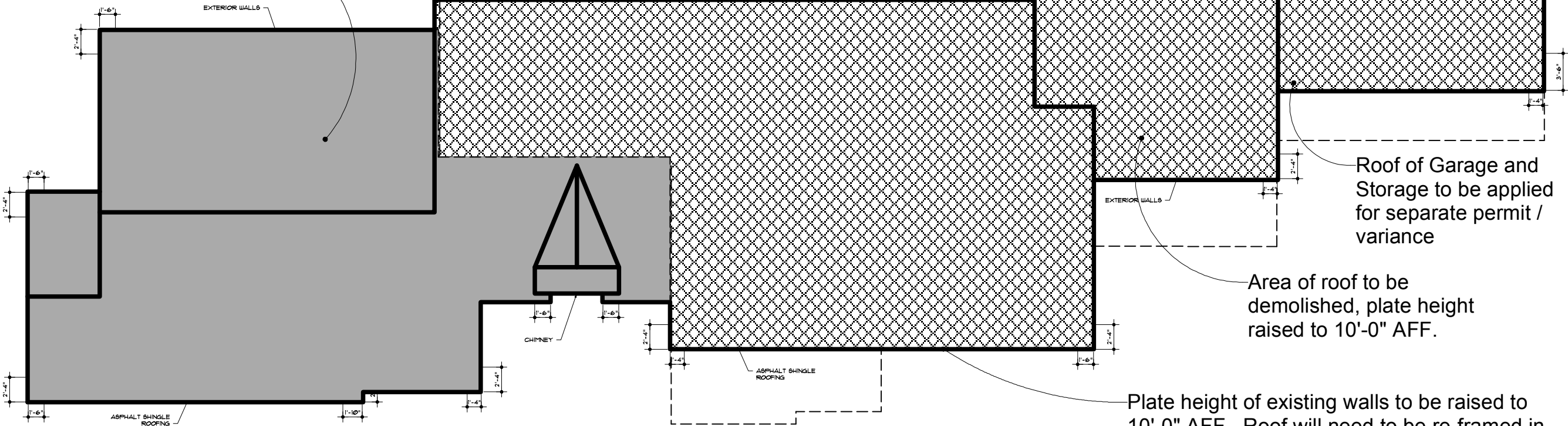
AREAS:

Existing Roof Area: 4,592 Square Feet
Area of Proposed Roof: 7,042 Square Feet

Existing Roof to be Converted to Metal Roof: 1,590 Square Feet
Existing Roof to be Demolished and Re-Framed: 3,002 Square Feet
Covered Patio and Carport Roof to be Demolished: 1,475 Square Feet

Percentage of Roof to be Re-Framed: 65.37%

Existing roof to be replaced with metal roof
- NO CHANGE TO SLOPE OR FRAMING



PROJECT TITLE:	SPIVEY REMODEL
SHEET TITLE:	DEMOLITION ROOF
PROJECT ADDRESS:	320 PRIMROSE PLACE SAN ANTONIO, TEXAS 78209

SHEET NUMBER:	D6
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NOTE:
Garage Addition to be applied for in separate permit.



PROJECT TITLE:

SPIVEY REMODEL

SHEET TITLE:

SITE PLAN

PROJECT ADDRESS:

320 PRIMROSE PLACE
SAN ANTONIO, TEXAS
78209

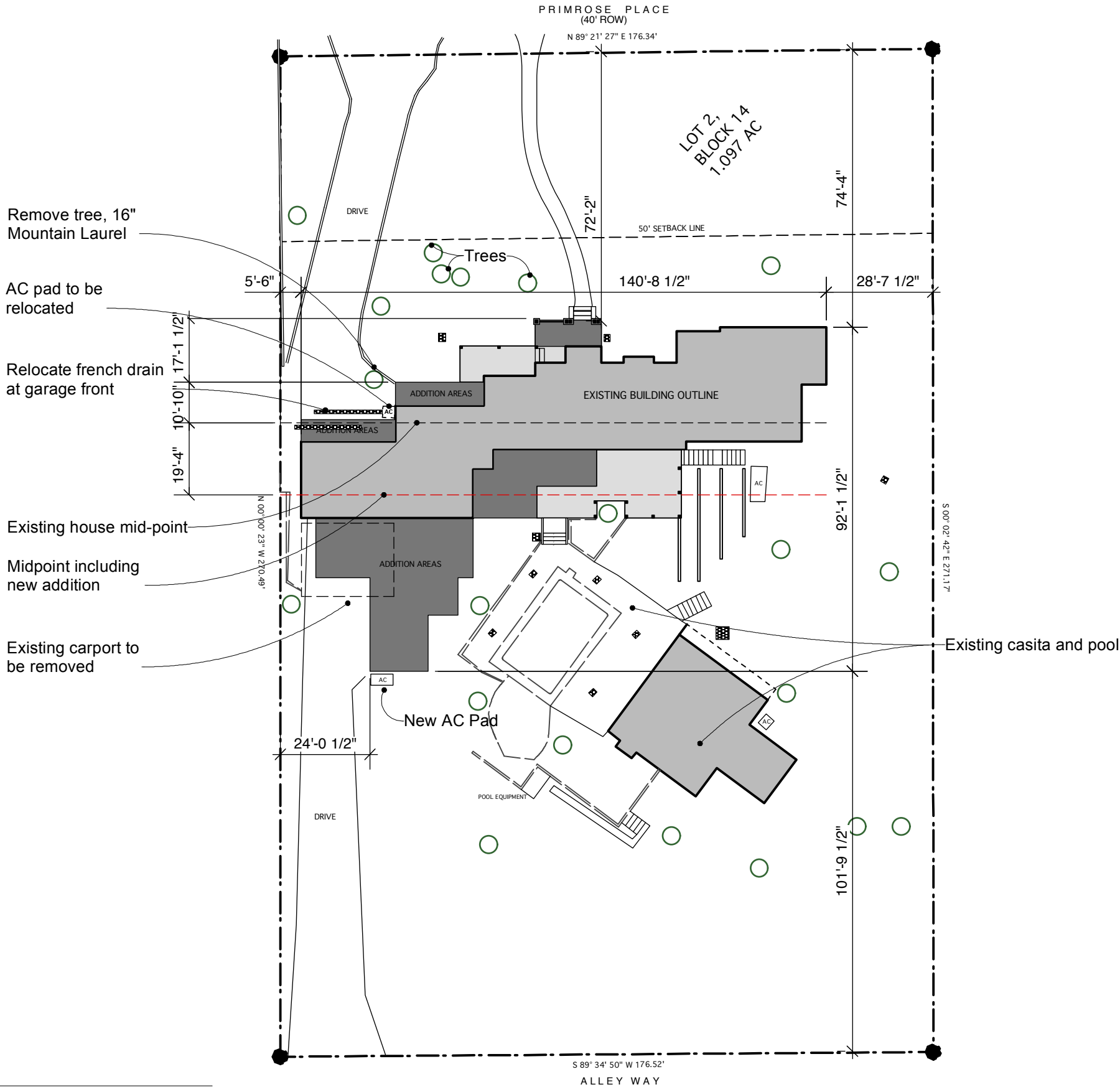
SHEET NUMBER:

D7

N

A1

Site Plan
Scale: 1/32" = 1'-0"



AREAS:

Existing Roof Area: 4,592 Square Feet
Area of Proposed Roof: 7,042 Square Feet

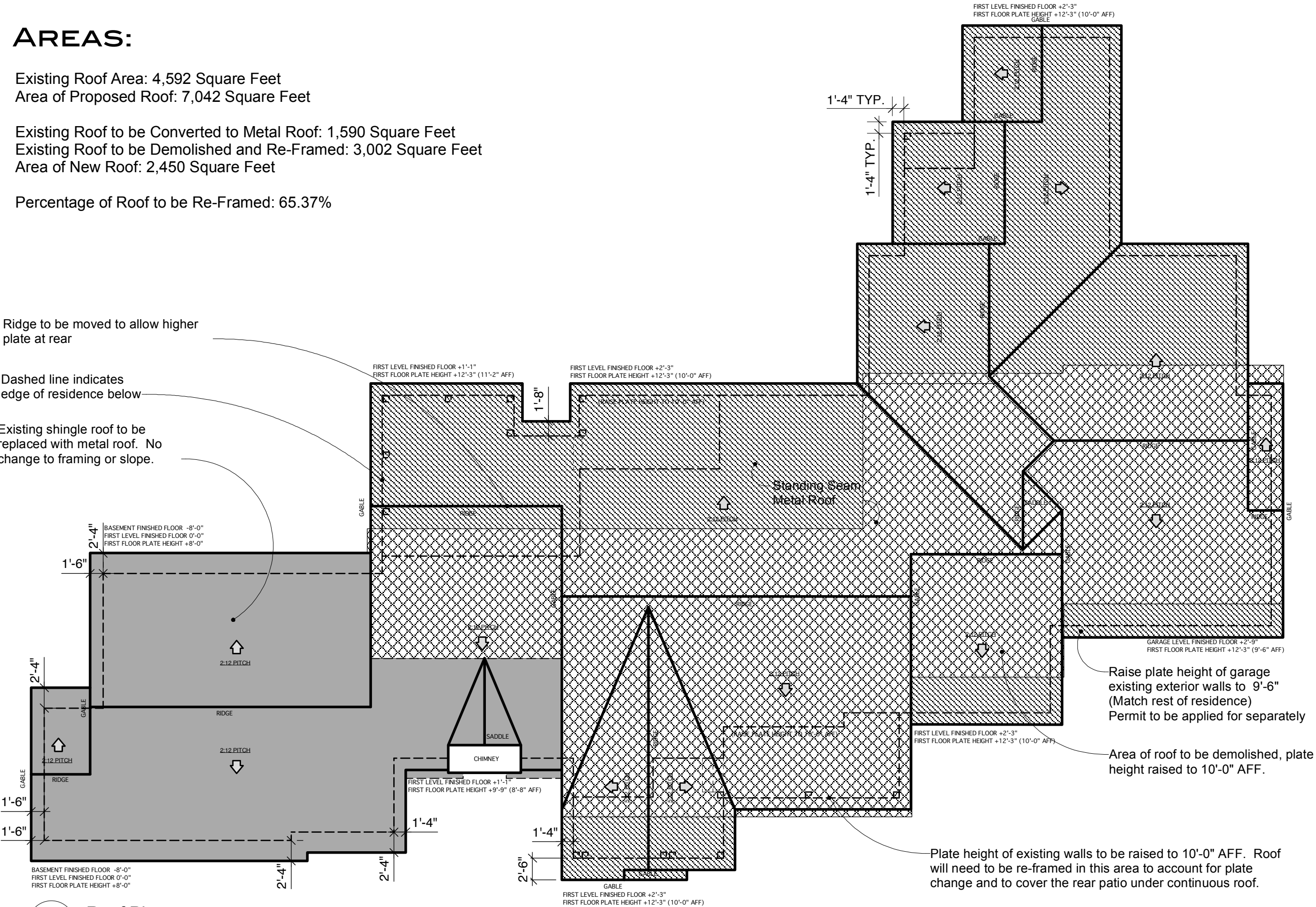
Existing Roof to be Converted to Metal Roof: 1,590 Square Feet
Existing Roof to be Demolished and Re-Framed: 3,002 Square Feet
Area of New Roof: 2,450 Square Feet

Percentage of Roof to be Re-Framed: 65.37%

Ridge to be moved to allow higher plate at rear

Dashed line indicates edge of residence below

Existing shingle roof to be replaced with metal roof. No change to framing or slope.



PROJECT TITLE:

SPIVEY REMODEL

SHEET TITLE:

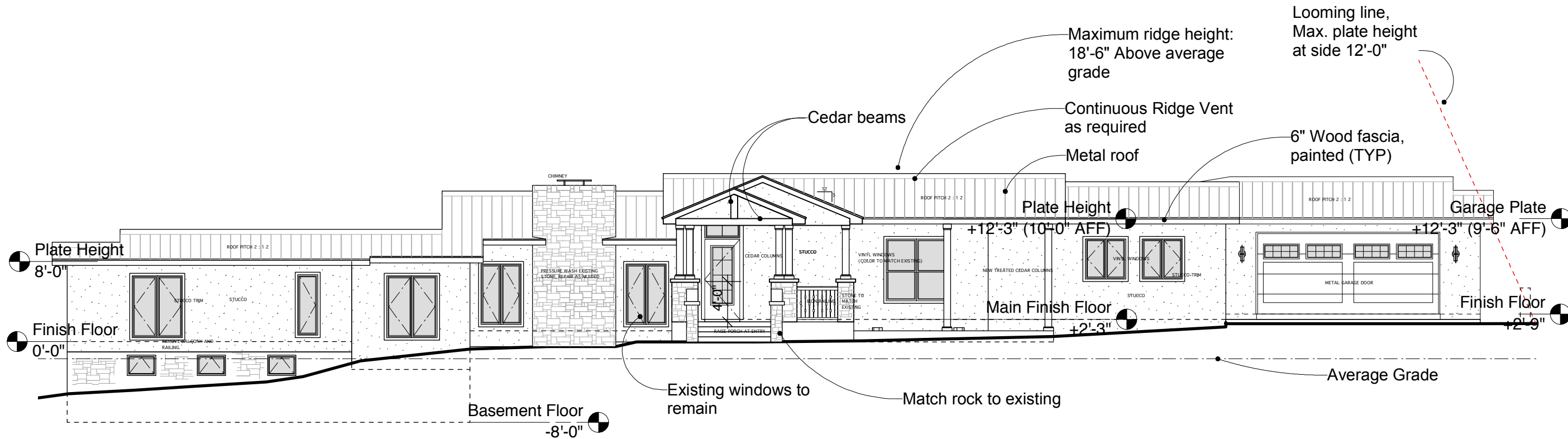
ROOF PLAN

PROJECT ADDRESS:

320 PRIMROSE PLACE
SAN ANTONIO, TEXAS
78209

SHEET NUMBER:

D9



Front Elevation
Scale: $\frac{3}{32}'' = 1'-0''$



E1 Right Elevation
Scale: 3/32" = 1'-0"

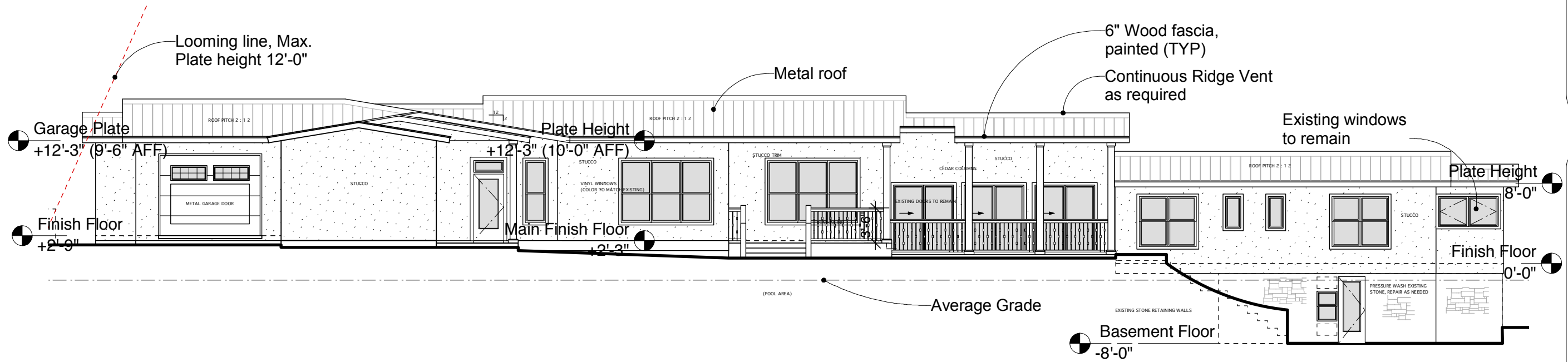
SPIVEY REMODEL

SHEET TITLE:

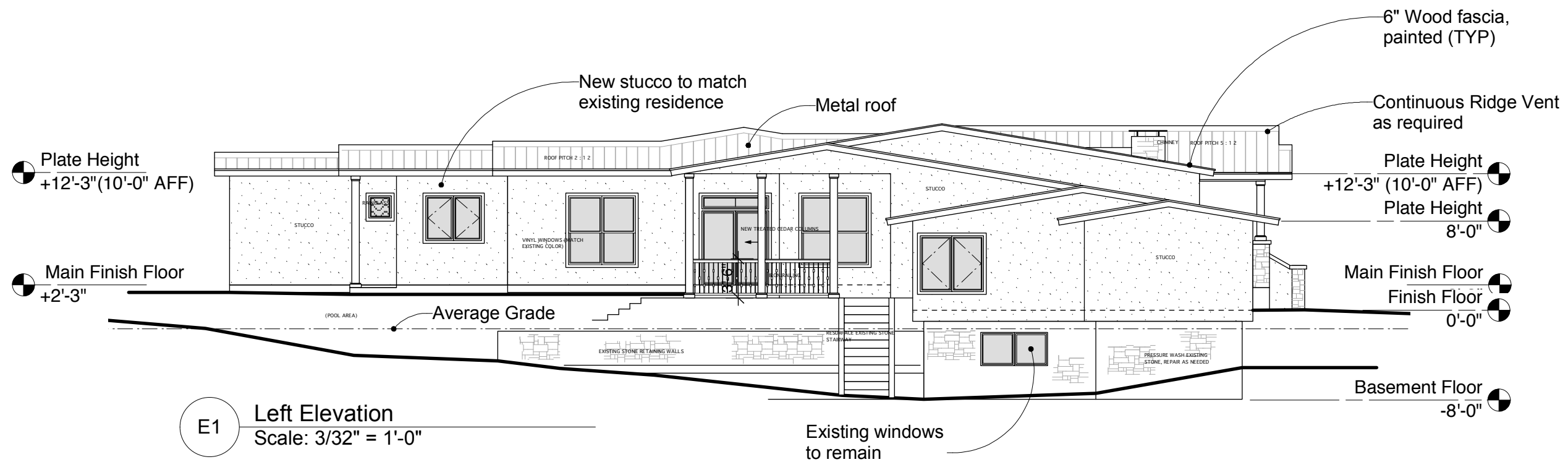
ELEVATIONS

320 PRIMROSE PLACE
SAN ANTONIO, TEXAS
78209

D10



A1 Rear Elevation
Scale: 3/32" = 1'-0"



E1 Left Elevation
Scale: 3/32" = 1'-0"

PROJECT TITLE:
SPIVEY REMODEL

SHEET TITLE:
ELEVATIONS

PROJECT ADDRESS:
320 PRIMROSE PLACE
SAN ANTONIO, TEXAS
78209

SHEET NUMBER:
D11

NOTE:
No topographic survey showing contours or grade elevations has been done. Verify all topography and site drainage locations prior to construction.



PROJECT TITLE:

SPIVEY REMODEL

SHEET TITLE:

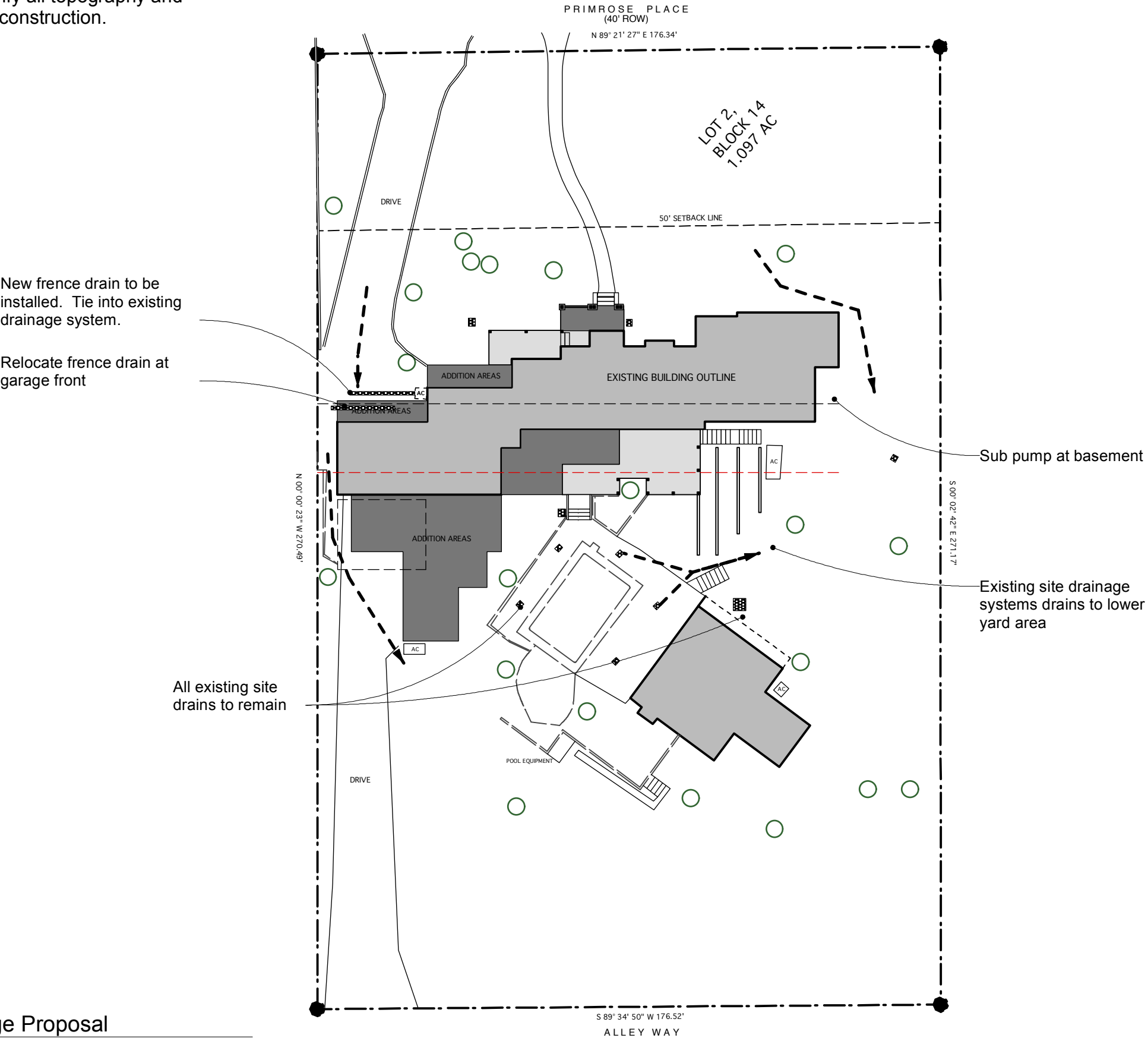
SITE DRAINAGE

PROJECT ADDRESS:

320 PRIMROSE PLACE
SAN ANTONIO, TEXAS
78209

SHEET NUMBER:

D13





Back of 320 Primrose



Church to East of 320 Primrose



Church Parking lot to East



House to West



House to North West



House to North East

EXISTING STREET VIEW



PROPOSED STREET VIEW



PROJECT TITLE:

SPIVEY REMODEL

SHEET TITLE:

DEMOLITION ELEVATIONS

PROJECT ADDRESS:

320 PRIMROSE PLACE
SAN ANTONIO, TEXAS
78209

SHEET NUMBER:

D4