



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
November 18, 2025 – 5:30 P.M.

Take notice that a regular Architectural Review Board meeting of the City of Alamo Heights will be held on **Tuesday, November 18, 2025, at 5:30 P.M.** in the City Council Chamber, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects with may come before it.

Case No. 1007F – 200 Grant Ave

Request of Nic Abbey Homes, applicant, representing Aubra Franklin, owner, for the compatibility review of the proposed design located at 200 Grant Ave in order to construct a new single-family residence with detached garage under Demolition Review Ordinance No. 1860 (April 12, 2010).

Chapter 5 of the Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB's recommendation for all demolition/final design review applications. Please check the ARB posted results on the City's website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online at <http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/> and at the Community Development Services Department located at 6116 Broadway St. Floorplans will not be available online. You may contact Tyler Brewer, Senior Planner, at 210-832-2239 (tbrewer@alamoheightstx.gov), or Lety Hernandez, Director, at 210-832-2250 (lhernandez@alamoheightstx.gov), or our office at (210) 826-0516 for additional information regarding this case.

Architectural Review Board:

200 Grant Ave

Compatibility review of the proposed design located at 200 Grant Ave in order to construct a new single-family residence with a detached garage.





October 27, 2025

Request of Nic Abbey Homes, applicant, representing Aubra Franklin, owner, for a compatibility review in order to construct a new two-story single-family residence located at 200 Grant Ave. Lot is vacant, no demolition required.

Existing Site Photos



Street View: Current



140 Grant



200 Grant



216 Grant



151 Grant



203 Grant



215 Grant

Street View: Proposed Elevation



140 Grant



200 Grant: Proposed Elevation



216 Grant



151 Grant



203 Grant

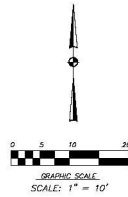


215 Grant

Coverage Worksheet

Lot Coverage* / Floor Area Ratio (FAR)	Existing (in sq. ft.)	Proposed (in sq. ft.)	Total Impervious Cover for Stormwater Development Fee	Existing (in sq. ft.)	Proposed (in sq. ft.)
Lot area	18208	18208	Footprint of all structures		6578
Main house: 1st floor*		4946	Driveway/Parking Pad		765
Main house: 2nd floor		1150	Walkways		268
Front porch*			Swimming Pool/Spa		477
Side porch*		180	Other impervious cover: _____		
Rear porch*			Total Impervious Cover:		8088
Garage/Carport: 1st floor*			Stormwater Development Fee:		
Garage: 2nd floor			Impervious Cover within Front Yard Setback Area	Existing (in sq. ft.)	Proposed (in sq. ft.)
Shed*			Front yard setback area		3635
Breezeway*			Footprint of any structure(s)		
Covered patio structure*		345	Driveway/Parking Pad		
Other accessory structures*		1107	Walkways		268
Total Square Footage:	18208	7728	Other impervious cover: _____		
Total Lot Coverage*:		40%	Total Impervious Cover within Front Yard Setback:		13%
Total FAR:		42%			
Max. 40% lot coverage for SF-A and SF-B Districts			Max. 30% impervious cover within front yard setback for SF-A and SF-B Districts Max. 65% impervious coverage for 2F-C Districts		

*Failure to provide any information required on or along with this application will result in refusal to accept submission of this application and associated



- LEGEND**
- DB = ELECTRIC BOX
 - DM = GAS METER
 - DV = GAS VALVE
 - WM = WATER METER
 - WV = WATER VALVE
 - WP = WATER PUMP
 - UP = UTILITY POLE
 - UW = UTILITY POLE & GUY WIRE
 - CP = CONCRETE PAVEMENT
 - OP = OVERHEAD UTILITY LINE
 - US = UNDERGROUND SANITARY SEWER LINE (AS PER UTILITY MAP)
 - UG = UNDERGROUND GAS LINE (AS MARKED BY UTILITY)
 - UL = UNDERGROUND WATER LINE (AS PER UTILITY MAP)
 - EA = EDGE OF ASPHALT PAVEMENT
 - CC = CONCRETE CURB
 - TL = CONTOUR LINE WITH ELEVATION
 - WF = WOOD FENCE
 - MF = METAL FENCE
 - CL = CHAIN LINK FENCE
 - TR = TREE TYPE AND SIZE WITH NUMBERED METAL TAG
 - SE = SPOT ELEVATION
 - DR = DEED RECORDS
 - OPR = OFFICIAL PUBLIC RECORDS
 - PL = PLAT RECORDS
 - LA = LAND ACQUISITION
 - DT = DOUBLE TRUNK
 - MT = METAL TRUNK

RESTRICTIONS:
VOL. 988, PG. 81, DPR
VOL. 116, PG. 336, DPR
VOL. 116, PG. 343, DPR
VOL. 182, PG. 803, DPR
VOL. 429, PG. 326, DPR
VOL. 124, PG. 135, DPR
VOL. 123, PG. 556, DPR

NOTES:
1. DIRECTIONAL CONTROL LINE = MONUMENTS AS FOUND.
2. BEARING BASIS = PLAT AS REFERENCED HEREON.
3. INSET OR OUTSET DIMENSIONS FOR FENCES, IF ANY, ARE TO CLOSEST EDGE OF POST.
4. ELEVATIONS ARE BASED ON NAVD83 DATUM.

PLAT REFERENCE: PLAT RECORDS
VOL. 2000, PAGE 1230 DATE APRIL 5, 2002
RATIFIED IN DCC NO. 20220125772 DPR

PLAT PREVIOUSLY RECORDED IN:
VOL. 105, PG. 4-10, DPR
VOL. 105, PG. 178-180, DPR
VOL. 105, PG. 290-296, DPR

DEED REFERENCE: OFFICIAL PUBLIC RECORDS (OPR)
DCC NO. 2023011817 DATE AUGUST 3, 2021
UNITD. USA NICHOLS PROPERTIES, L.P.

ADDRESS:
200 GRANT AVE.
LOT AREA = 18,166 sq. ft.
0.417 acres

WE, MAVERICK LAND SURVEYING COMPANY, HAVE MADE A SURVEY ON THE GROUND OF THE FOREGOING PROPERTY, AND WE CERTIFY THAT, EXCEPT AS SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS.

BY: *[Signature]*

1 THIS DOCUMENT REPRESENTS THE ACTUAL FINDINGS AS OF THE DATE BORN ON THE SURVEY AND DOES NOT REPRESENT ANY CHANGES MADE AFTER DATE DATE.

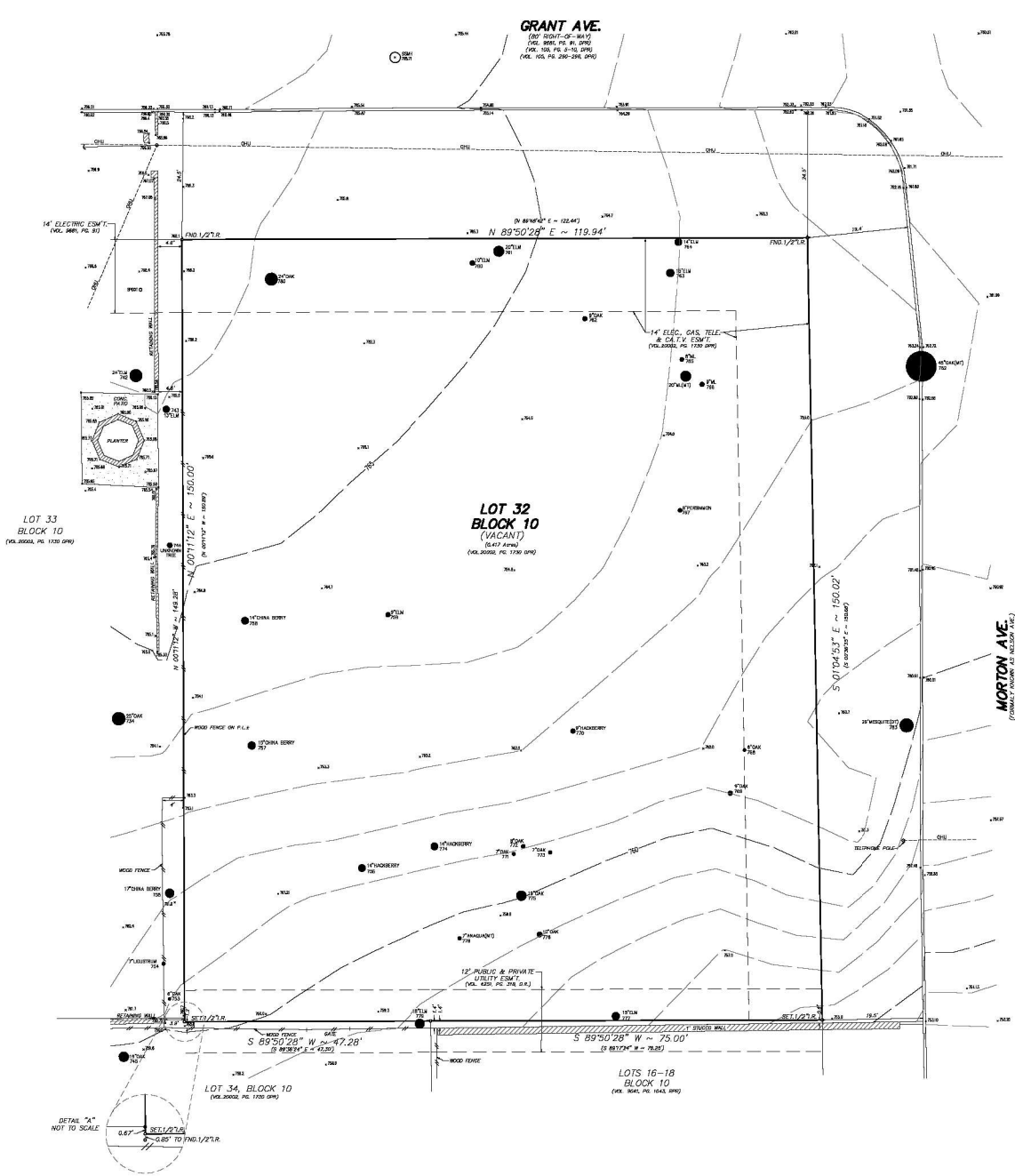


2	5/24/21	J.S.	UPDATED BOUNDARY & LOT INFO	JWO	JWO
1	11/30/21	RBB	REVISED 7-27-2021 SURVEY TO PROPOSED REPLAT	RBB	RBB
NO.	DATE	BY	REVISION	CKD.	APPD.

Maverick
Land Surveying Co.
1806 Lockhill-Selma, Suite 100
San Antonio, Texas 78113
PH 210-342-0400
FAX 210-342-8524
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OFFICIAL LICENSE NO. 10130700

TREE & TOPOGRAPHIC SURVEY OF:
LOT 32, BLOCK 10
COUNTY BLOCK 4024
GRANT WESTOVER ESTATES
CITY OF ALAMO HEIGHTS, BEXAR COUNTY, TEXAS

DRAWN BY: J.S. F.W. BY: M.D. CHKD. & APPR. BY: JWO
SCALE: 1" = 10' DATE: 7-27-2021 SHEET 1 OF 1
REV. NO. 2 JOB NO. 58567-0008 1



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VALDEZDESIGNS, INC.
586 ARLO, TEXAS
PHONE (210) 818-1291



THE FRANKLIN RESIDENCE

200 GRANT AVE.
LOT 32 , BLOCK 10
ALAMO, HEIGHTS, TEXAS 78209

THE FRANKLIN RESIDENCE
200 GRANT
ALAMO HEIGHTS, TEXAS
LOT: 32
BLOCK: 10
C.B. : 5887

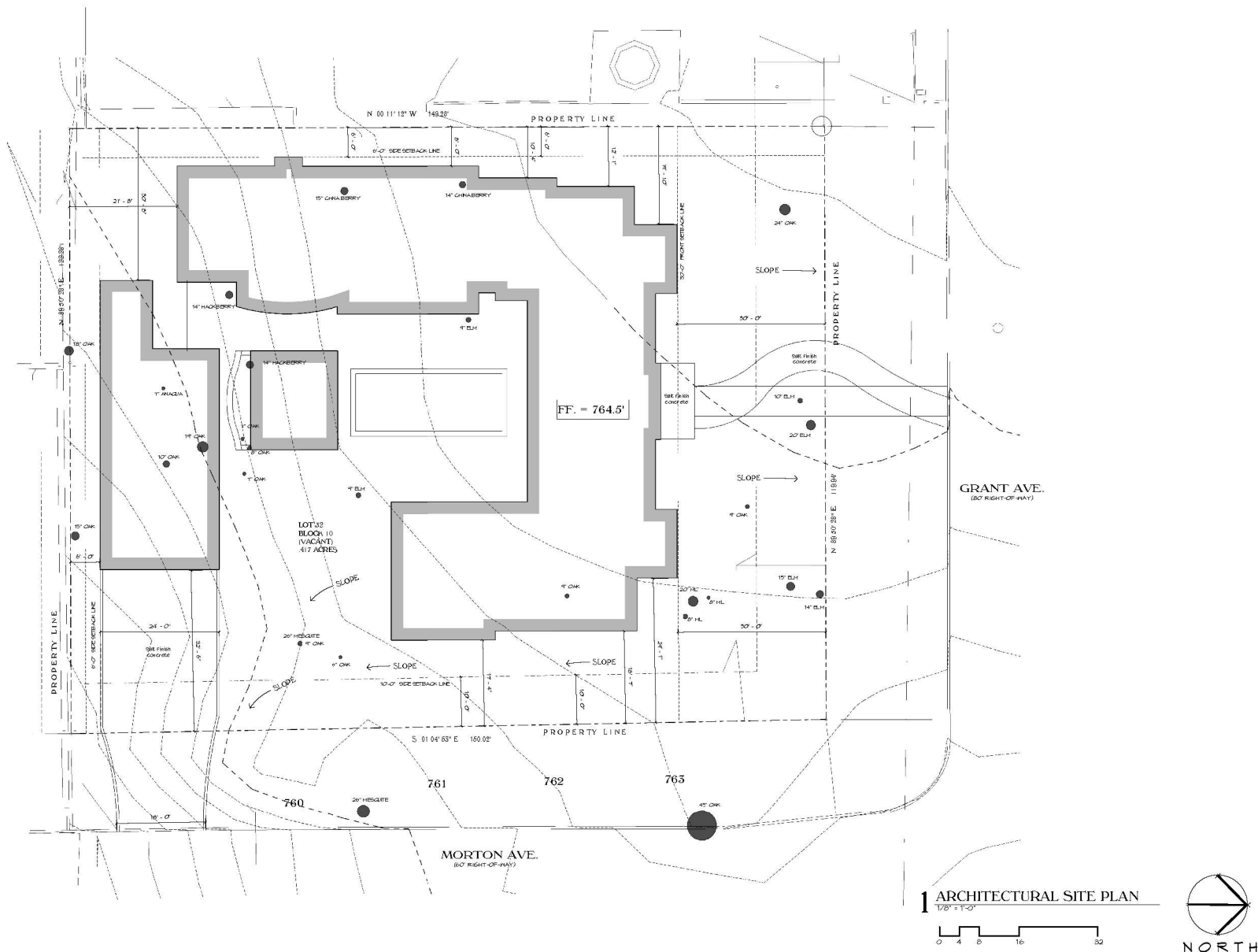
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Drawn By: JV / MS
Project #: 2225
Copyright: 2025

Revisions:
1
2

Issue Date:
10-27-2025

Sheet Title & No.
COVER

A5



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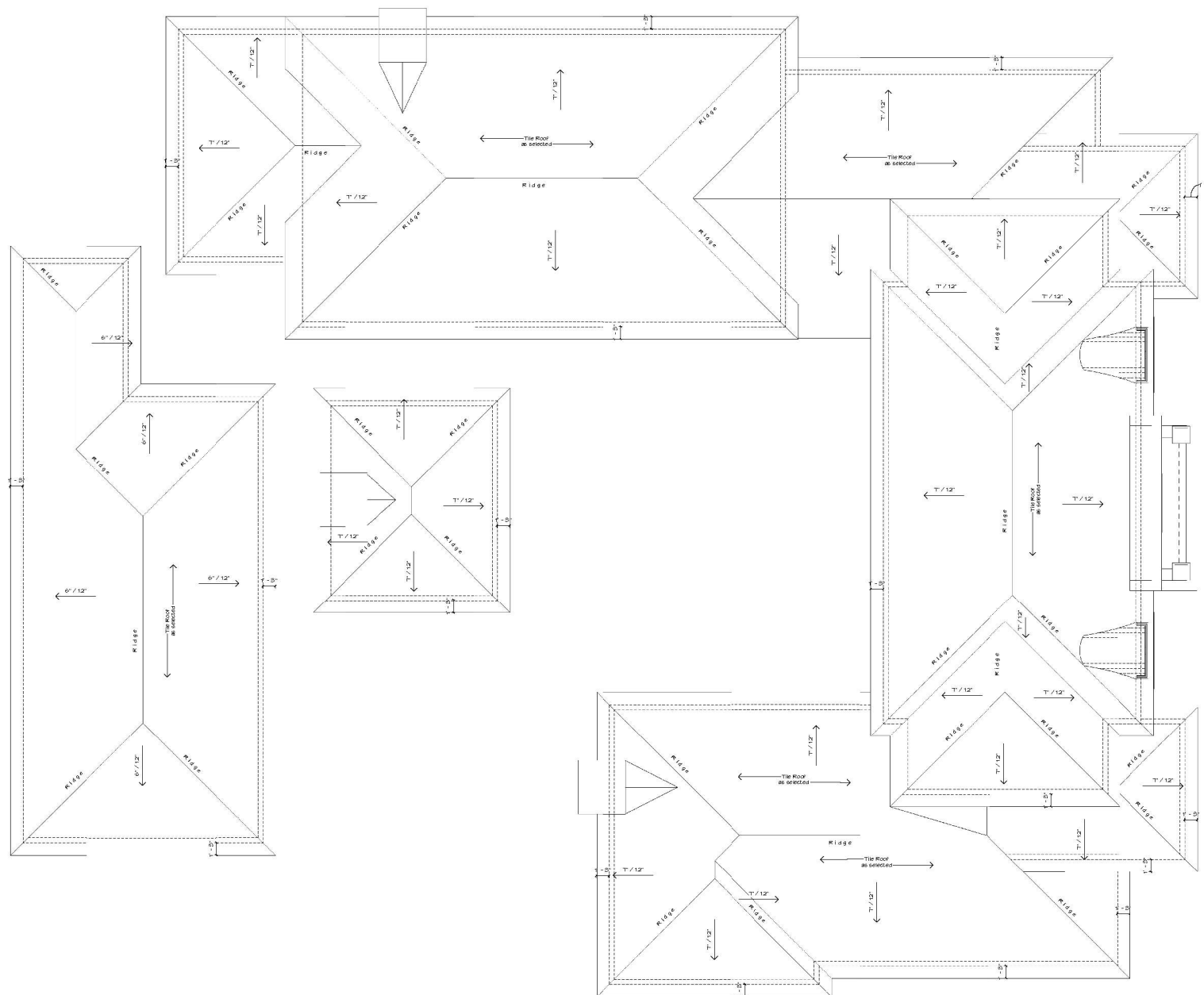
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Revisions:
1
2

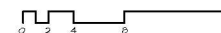
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Sheet Title & No.
ROOF PLAN

A2



1 ROOF PLAN
1/4" = 1'-0"



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Plan Information:
Drawn By: JV / MS
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Revisions:
1
2

Issue Date:
10-27-2025

Sheet Title & No.
EXTERIOR
ELEVATIONS
A5



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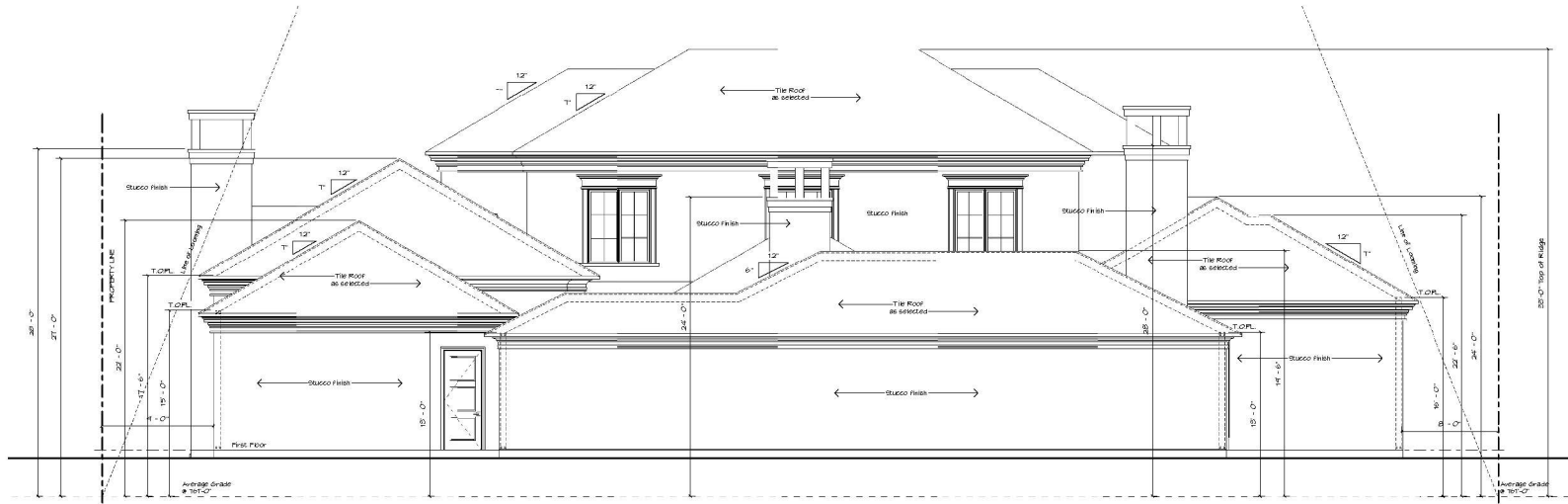
THE FRANKLIN RESIDENCE
200 GRANT
ALAMO HEIGHTS, TEXAS
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BLOCK: 10
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Project #: 2225
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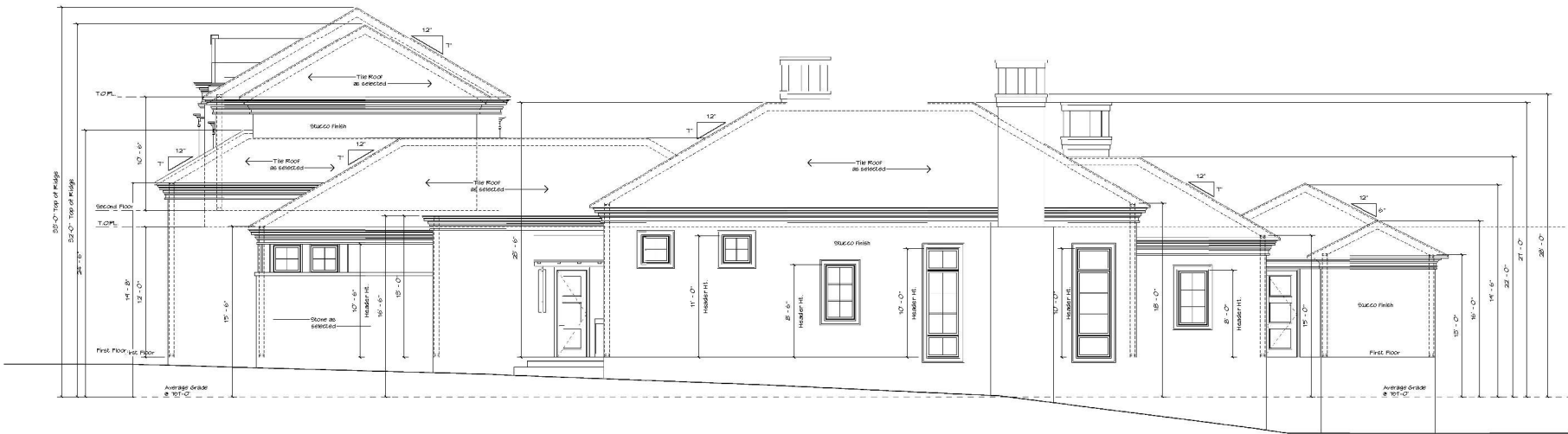
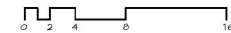
Revisions:
1
2

Issue Date:
10-27-2025

Sheet Title & No.
EXTERIOR ELEVATIONS
A6



1 REAR ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"