



## CITY OF ALAMO HEIGHTS

COMMUNITY DEVELOPMENT SERVICES DEPARTMENT  
6116 BROADWAY  
SAN ANTONIO, TX 78209  
210-826-0516

### Architectural Review Board Meeting July 20, 2021 – 5:30 P.M.

In accordance with order of the Office of the Governor issued March 16, 2020, where he temporarily suspended certain provisions of the Texas Open Meetings Act, take notice that a regular meeting scheduled at **5:30 p.m.** on **Tuesday, July 20, 2021** will be conducted by telephone conference in order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”), to slow the spread of the Coronavirus (COVID-19), to consider and act upon any lawful subjects which may come before it. **Per Governor’s Order GQ-36, attendees are not required to wear facial covering (mask) but they are encouraged. The City will continue to practice social distancing, and seating will be limited to capacity limits.**

**INSTRUCTIONS FOR TELECONFERENCE: The public toll-free dial-in number to participate in the telephonic meeting is 346-248-7799 and enter access number 868 0184 5240#.**

#### **Case No. 853F – 164 Oakview E**

Request of Felix Ziga of Ziga Architecture Studio, PLLC, applicant, representing Crowe Developments, LLC, owner, for the compatibility review of the proposed design located at 164 Oakview E in order to construct a new single-family residence with a detached accessory structure under Demolition Review Ordinance No. 1860 (April 12, 2010).

**Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB’s recommendation for all demolition/final design review applications. Please check the ARB posted results on the City’s website after the ARB meeting to confirm any future meeting dates.**

**Plans are available for public viewing on the City’s website, with the exception of floor plans, (<http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/>) and at the Community Development Services Department located at 6116 Broadway St, 2<sup>nd</sup> floor. You may also contact Brenda Jimenez ([bjimenez@alamoheightstx.gov](mailto:bjimenez@alamoheightstx.gov)), Lety Hernandez ([lhernandez@alamoheightstx.gov](mailto:lhernandez@alamoheightstx.gov)), or Nina Shealey ([nshealey@alamoheightstx.gov](mailto:nshealey@alamoheightstx.gov)) by email or our office at (210) 826-0516 for additional information regarding this case.**



ZIGA ARCHITECTURE STUDIO  
Architecture | Interiors | Historic Preservation

May 28, 2021

Attn: City of Alamo Heights  
Boards & Commissions  
Community Development Services Department  
6116 Broadway, Alamo Heights, TX 78209  
(210) 826-0516

**Re: Cover Letter - 164 E. Oakview Pl. – Proposed Replacement Structure**

Architectural Review Board Members and City of Alamo Heights Staff,

The enclosed project submittal includes the proposed replacement structure design for our client's property located at 164 E. Oakview Pl. The owner engaged our firm after a miscommunication error during their demolition process of their previously approved design, and they thus decided to proceed in a different direction with the project and design.

Our proposed design is compatible with the existing neighborhood in that it follows appropriate massing, scale and proportion to the existing block face, and residential neighborhood character. The design team drew inspiration from the many examples of ranch style homes, some very traditional and others more modern in nature, along with many examples of new construction modern design along our specific street. There are several examples of 2 story homes along our street frontage as well.

Additionally, extra care was taken to avoid the critical root zones and canopy of 2 large trees located on the two adjacent neighboring properties. The single-story mass volume is pushed towards the street right-of-way, while the second story mass volume is setback to both respect looming height requirements and minimize impact to the existing tree canopy. As an added benefit, the second story allows for relief of impervious cover by pushing square footage away from the ground plane.

The driveway along Oakview Pl. has been eliminated and we are proposing rear alley access to a detached carport, cleaning up the front elevation and providing a more stately feel to the streetscape.

The selected material palette of painted steel, a combination of burnished stucco and stucco painted white, wood look metal siding, and galvanized standing seam metal roof, will provide contrast while remaining compatible with materials found throughout the neighborhood. The selected materials will provide durability and ease of maintenance to current and future owners. Our design intent is for the large spans of glass along the front façade to provide an inviting and open entry in the home.



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Architecture | Interiors | Historic Preservation

For the above reasons, we believe our proposed design is compatible with the existing neighborhood. Please refer to enclosed Plan Submittal and Exhibits.

The existing lot coverage is currently 0, and our proposed lot coverage is 37%. Please refer to attached lot coverage worksheet.

The existing floor area ratio is currently 0, and our proposed floor area ratio is 48%. Please refer to attached floor area ratio worksheet.

The existing height is currently 0, and our proposed height is 25'-4". Please refer to attached floor area ratio worksheet.

If there are any questions, please feel free to contact us.  
Your service and consideration of our proposed project is truly appreciated.

Sincerely,

Felix Ziga, AIA  
Principal Architect & Owner  
Ziga Architecture Studio, PLLC

<b>Property Address:</b> 164 E. Oakview Pl
<b>Original Architect:</b>

<b>Architecture Type:</b>
<b>Year Built:</b>

Lot Coverage*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Lot area	10100		10100	
Main house footprint	0		2521	
Front porch	0		144	
Side porch 1	0		158	
Side porch 2	0			
Rear porch	0		339	
Garage footprint	0			
Carport footprint	0		616	
Shed footprint	0			
Breezeways	0			
Covered patio structure	0			
Other accessory structures	0			
<b>Total (total lot coverage/lot area):</b>	0		3778/10100	
<b>Total Lot Coverage:</b>	0		.37	
Floor Area Ratio (FAR)**	Applicant	Staff	Applicant	Staff
Lot area	10100		10100	
Main house: 1st floor	0		2860	
Main house: 2nd floor	0		1258	
Garage: 1st floor	0		616	
Garage: 2nd floor	0			
Other structures (unless exempted - see below)				
<b>Total (total FAR/lot area):</b>			4734/10100	
<b>Total FAR:</b>			.47	
<b>Height of Main Structure:</b>	\$1703.20		25'-4"	

\***Lot coverage** is defined as the percentage of the total lot area covered by a roof, floor or other buildings excepting eaves. Carports, sheds, porches, covered pedestrian walkways, breezeways, arbors, gazebos and covered patios are included in lot coverage calculations (**Exception:** The maximum lot coverage shall exclude free-standing entryway arbors with open-air lattice framework under fifty (50) square feet in area and eight (8) feet in height, and other free-standing open-air lattice/trellis structures located within a side or rear yard up to twelve (12) feet in height, totaling three hundred (300) square feet or less and subject to other standards governing accessory structures.

\*\***Floor area ratio (FAR)** is defined as the ratio of the total above ground gross floor area of all structures on a site to the total square footage of a lot (for example, a FAR of .53 for a seven thousand five hundred (7,500) square foot lot is three thousand nine hundred seventy-five (3,975) gross square feet (.53 X 7,500) of floor area). The following areas shall be included when computing the gross floor area:

- (1) Exterior walls: The thickness of the wall shall be included in the calculation;
- (2) Above grade floor area: Any room that has a wall surface that extends more than three (3) feet above grade;
- (3) Laundry rooms, mechanical rooms, storage rooms, built-in cabinets and media niches;
- (4) Mezzanines and lofts;
- (5) Floor area used by stairways, elevators, escalators and similar features. The floor area of each run of stairs shall be counted once;
- (6) Vaulted ceilings: the floor area shall be counted at the actual floor area only and not in the air spaces;
- (7) Usable spaces (generally defined as having a five (5) foot minimum height) such as rooms, closets and cabinets under a run of stairs;
- (8) Exterior structures and additions with a solid roof and enclosed on more than two (2) sides in whole or part with permanent solid walls or windows such as porches, balconies, patios and breezeways;
- (9) Attached and detached garages and carports; and
- (10) Accessory buildings such as sheds, pool houses, guest houses, bonus rooms and second units.

**The following areas shall not be included when computing the gross floor area:**

- (1) Below grade floor area: any area that has a wall surface that extends less than three (3) feet above grade;
- (2) Porches, balconies, patios, breezeways, decks, overhangs, eaves, cantilevers and awnings with solid roof-like cover, but not enclosed on more than two (2) sides;
- (3) Porches, balconies, patios, breezeways and decks that do not have a solid roof-like cover; and
- (4) Attic space that is not habitable. If made habitable in the future, shall be included in floor area ratio.

**Definitions as listed per City of Alamo Heights "Code of Ordinances" can be found at [www.municode.com](http://www.municode.com) (Ch. 3 "Zoning," Sec. 3-2 "Definitions")**

Property Address: 164 E. Oakview Pl

Total Impervious Cover Sq. Ft. for Stormwater Development Fee*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Footprint of all structures			3778	
Driveway/Parking Pad				
Walkways			480	
Swimming Pool/Spa				
Other impervious cover: _____				
Total impervious surface cover (in this project):			4258	
Total impervious surface cover <i>removed/existing</i> (in this project):				
<b>Total impervious surface cover sq. ft. (proposed minus removed = net figure for this project)*</b>			4258	
<b>Stormwater Development Fee*</b>			\$1703.20	

Impervious Surface Cover within front yard setback**	Applicant	Staff	Applicant	Staff
Front yard setback area			2249	
Footprint of any structure(s)			103	
Driveway/Parking Pad				
Walkways			224	
Other impervious cover: _____				
Impervious surface cover within front yard setback in this project			327	
Impervious surface cover <i>removed/existing</i> within front yard setback in this project				
<b>Impervious surface cover net proposed sq. ft. within front yard setback</b>			327	
<b>Impervious surface cover proposed within front yard setback</b>			<b>B / A</b>	<b>B / A</b>
<b>Maximum 30% allowed for SF-A and SF-B Districts</b>			<b>.15</b>	

\*The stormwater development fee shall be equivalent to the net additional square footage of total impervious surface area (excluding public sidewalks) of the property multiplied by \$0.40.

Exemptions. The following real property, only, shall be exempt from the provisions of this section:

- (1) Property owned by the City of Alamo Heights and/or dedicated to right-of-way for public streets and/or to provide drainage service; and
- (2) Property with proper construction and maintenance of a privately owned drainage or stormwater system wholly sufficient to provide all the drainage or stormwater service for that property.

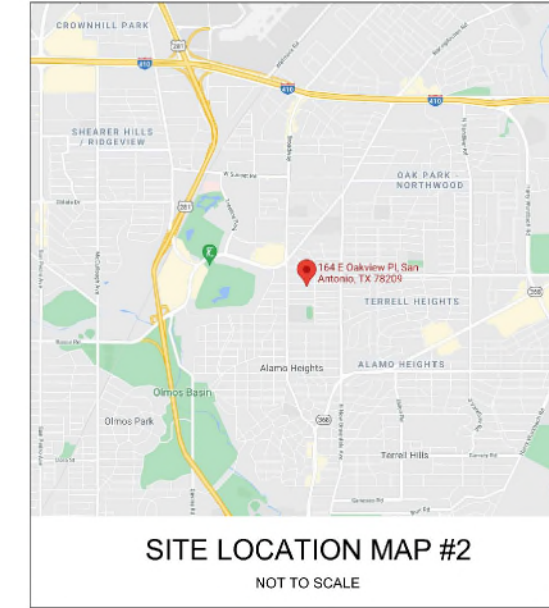
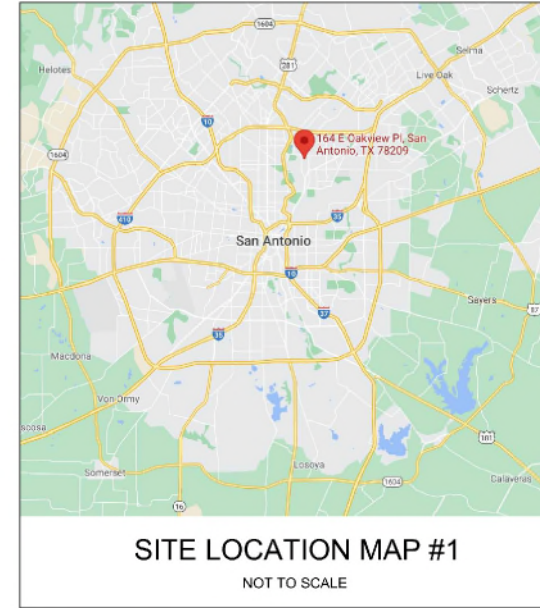
\*\*Depending on property's zoning district, the maximum impervious surface allowed within the front yard setback area is 30% (per Sec. 3-18) and 40% (per Sec. 3-50; please refer to Code for other regulations).

**Impervious cover.** Ground surfaces including concrete or paved driveways, sidewalks, parking lots, building and other improvements that resist the infiltration of water, thereby resulting in water runoff. Impervious cover includes any surface material or surface treatment or surface condition which sheds fifty (50) percent or more of rainfall, or water, which falls on it.

City of Alamo Heights "Code of Ordinances" can be found at [www.municode.com](http://www.municode.com) (Ch. 3 "Zoning," Sec. 3-18, Sec. 3-50; Ch. 13 "Storm Drainage," Sec. 13-29 "Stormwater development fee" and Sec. 13-1 "Definitions").

# NEW RESIDENCE

164 E. OAKVIEW PL., ALAMO HEIGHTS, TX 78209



## GENERAL NOTES

- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS OR SPECIFICATIONS, ADDENDUM, BULLETIN, OR OTHER DOCUMENT, SHALL BE AS BINDING AS IF REQUIRED BY ALL. CONTRACTOR SHALL USE ONLY COMPLETE SETS OF CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM OF WORK.
- CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODE, ORDINANCES, A.D.A. T.A.S., AND REGULATIONS OF ALL GOVERNING BODIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR AND ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- ALL TRAFFIC CONTROLS ON THIS PROJECT SHALL ADHERE TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE OWNER SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER OF THE OTHER PROPERTY.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION PROPERLY AND PROVIDE ALL SUITABLE FILL MATERIAL AS APPROVED BY THE SOILS ENGINEER, AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
- EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.
- ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT THE CONTRACTOR SHALL REPLACE OR REPAIR ANY WORK OR MATERIAL FOUND TO BE DEFECTIVE.
- CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE IS USING ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHER SHALL VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES.
- SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED, IF EXISTING UTILITY CONSTRUCTION CONFLICTS WITH REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, EXCEPT THAT THE SPECIFICATIONS, WHERE MORE STRINGENT, SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, WATER, AND ELECTRICITY FOR ALL PROJECT FUNCTIONS, OFFICE, STORAGE, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, TOILET, VALVES, OR OTHER DEVICES NECESSARY TO RUN POWER TOOLS AND EQUIPMENT. SUCH MODIFICATIONS TO EXISTING UTILITIES SHALL BE REMOVED AT COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT IN A TIMELY MANNER THAT WILL ALLOW NOT LESS THAN 10 DAYS FOR REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT CORRECT NUMBER REQUIRED, BUT NOT LESS THAN 4 COPIES.
- THE GENERAL CONTRACTOR SHALL PROVIDE STREET NUMBERING ON THE BUILDING IN COMPLIANCE WITH LOCAL AUTHORITY.
- ALL PENETRATIONS THRU WALLS SHALL BE SEALED AIR/WATER TIGHT AND CAULKED WITH 2 PART SEALANT EACH SIDE.
- THE GENERAL CONTRACTOR SHALL PROVIDE (1) COPY OF AS-BUILT DRAWINGS TO THE OWNER AT THE COMPLETION OF THE PROJECT. AS-BUILT DRAWINGS SHALL BE KEPT ON THE JOB AT ALL TIMES AND UPDATED THROUGHOUT THE CONSTRUCTION PHASE.
- UNLESS NOTED OTHERWISE, SITE PLAN DIMENSIONS ARE TO FACE OF CURB, FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS, FRAMING, MASONRY, CONCRETE WALL PANELS, OR FOUNDATION WALLS.

## SHEET INDEX

CS	COVER SHEET	
SP100	SITE/ROOF PLAN	
A100	PROPOSED FLOOR PLANS	
A101	PROPOSED FLOOR PLANS - CARPORT	
A200	PROPOSED EXTERIOR ELEVATIONS	
A201	PROPOSED EXTERIOR ELEVATIONS - CARPORT	
A202	PROPOSED EXTERIOR ELEVATIONS - CARPORT	
A300	TYPICAL WALL SECTION AND DETAILS	
A500	ELECTRICAL FLOOR PLAN	NOT DRAWN YET
A600	DOOR SCHEDULES	
A601	WINDOW SCHEDULES	

## ARCHITECT

ZIGA ARCHITECTURE STUDIO, PLLC

11723 WHISPER VALLEY ST, SAN ANTONIO, TX 78230 | 210-201-3637

1700 S LAMAR BLVD, STE 338, AUSTIN, TX 78704 | 512-522-5505

INFO@STUDIOZIGA.COM | WWW.STUDIOZIGA.COM

## CODE INFORMATION

2018 INTERNATIONAL RESIDENTIAL CODE  
2018 IECC

## BUILDING DATA

SQ. FT.		
2,521 S.F.	1ST FLOOR LIVING	
1,258 S.F.	2ND FLOOR LIVING	
3,779 S.F.	TOTAL LIVING	
616 S.F.	GARAGE	
641 S.F.	PORCH/BALCONY	
5,036 S.F.	TOTAL GROSS	



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NEW RESIDENCE  
164 E. OAKVIEW PL.  
ALAMO HEIGHTS, TX 78209  
NEW HEIGHTS DEVELOPMENT LLC

DRAWING FOR  
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ARCHITECTURE STUDIO, PLLC.

#	DATE	DESCRIPTION
1	04/30/2021	SD REVIEW 1
2	05/26/2021	CLIENT REVIEW
3	05/28/2021	ARB SET
4	06/28/2021	REVISED ARB SET

ISSUE	
#	DESCRIPTION
	COVER SHEET
PROJECT NO.	21-111
DATE:	06-28-21
DRAWN BY:	FJZ
REVIEWED BY:	FJZ
PROJECT ARCHITECT: FELIX J. ZIGA JR., AIA TEXAS LICENSE NO. 24683	

CS



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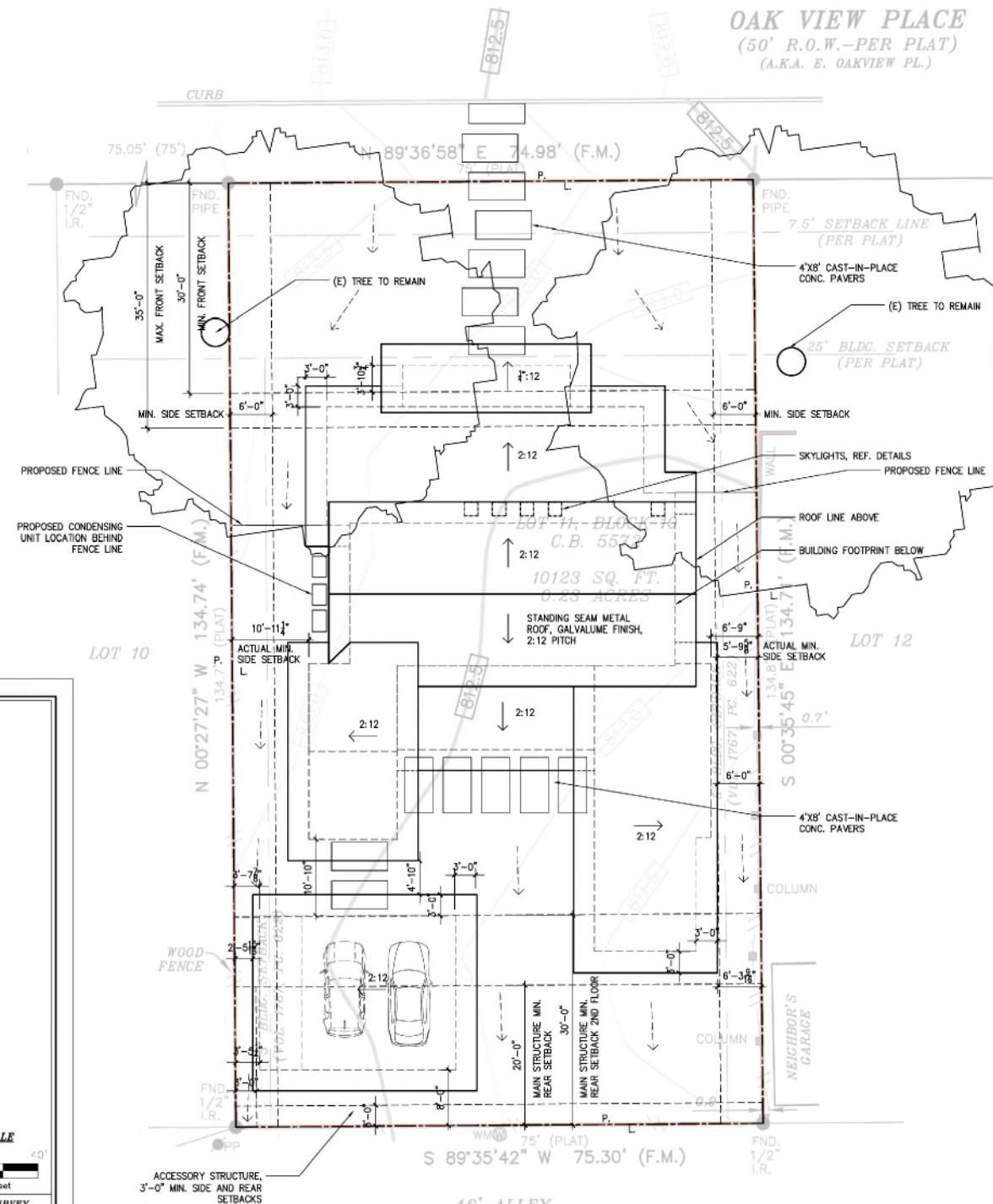
PROPOSED SITE/ROOF PLAN

PROJECT NO.	21-111
DATE	06-28-21
DRAWN BY:	FJZ
REVIEWED BY:	FJZ

PROJECT ARCHITECT:  
FELIX J. ZIGA JR., AIA  
TEXAS LICENSE NO. 24683

SP100

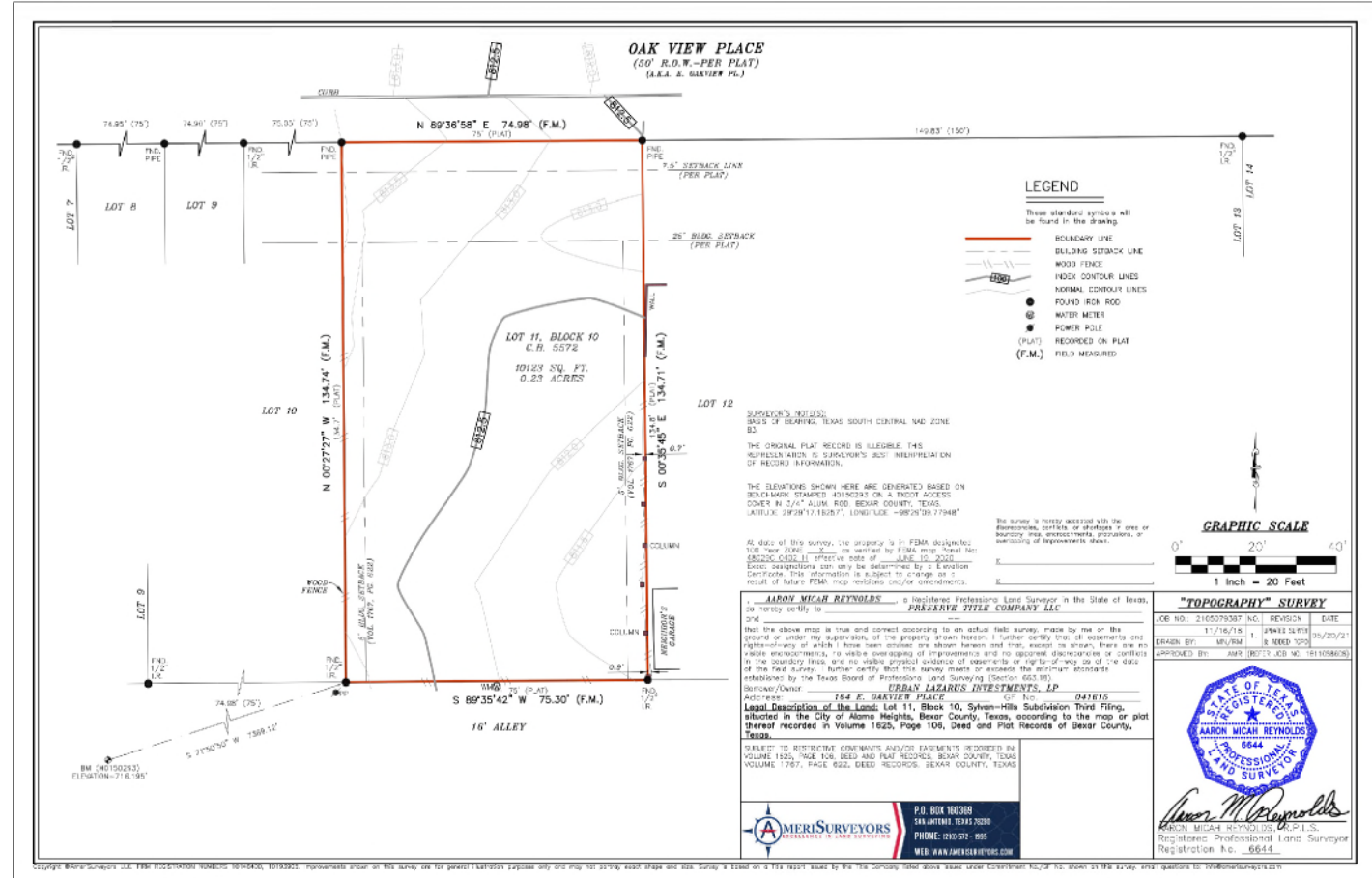
OAK VIEW PLACE  
(50' R.O.W.-PER PLAT)  
(A.K.A. E. OAKVIEW PL.)



2 PROPOSED SITE PLAN

SCALE: 1"=10'-0"

EXISTING AND PROPOSED DRAINAGE



**LEGEND**

These standard symbols will be found in this drawing:

- BOUNDARY LINE
- BUILDING SETBACK LINE
- WOOD FENCE
- INDEX CONTOUR LINES
- NORMAL CONTOUR LINES
- FOUNDED ROCK
- WATER METE
- POWER POLE
- (PLAT) RECORDED ON PLAT (F.M.)
- FIELD MEASURED



"TOPOGRAPHY" SURVEY

DATE: 11/16/15  
CREATED BY: AMR/MLA  
APPROVED BY: AMR (0675) JOB NO. 151106603



Aaron M. Reynolds  
PROFESSIONAL LAND SURVEYOR  
Registration No. 6644

AMERISURVEYORS  
P.O. BOX 96388  
DALLAS, TEXAS 75216-3888  
PHONE: 214.353.8855  
WEB: WWW.AMERISURVEYORS.COM

1 SURVEY  
SCALE: AS NOTED

SURVEY NOTE: NO TREES WITHIN PROPERTY BOUNDARY



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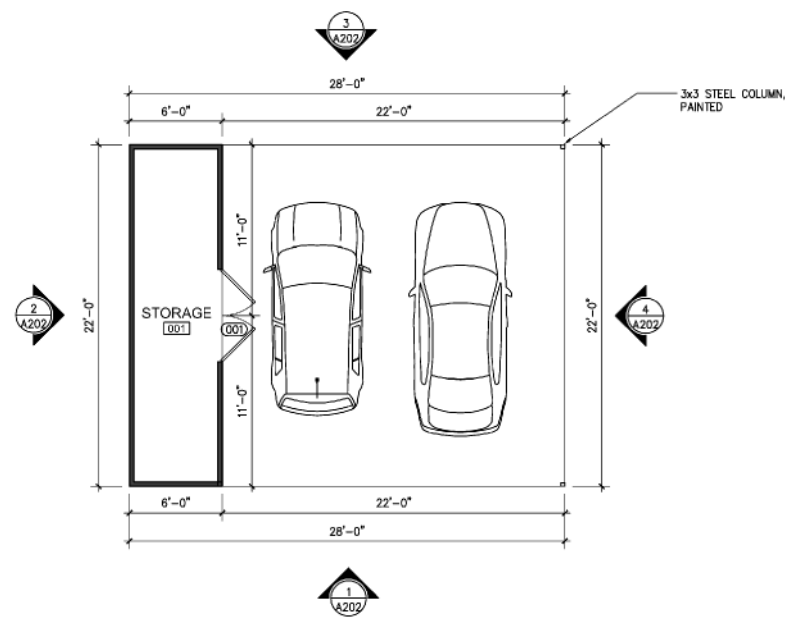
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PROPOSED FLOOR  
PLAN - CARPORT

PROJECT NO. 21-111  
DATE: 06-28-21  
DRAWN BY: FJZ  
REVIEWED BY: FJZ

PROJECT ARCHITECT:  
FELIX J. ZIGA JR., AIA  
TEXAS LICENSE NO. 24683

AIOI



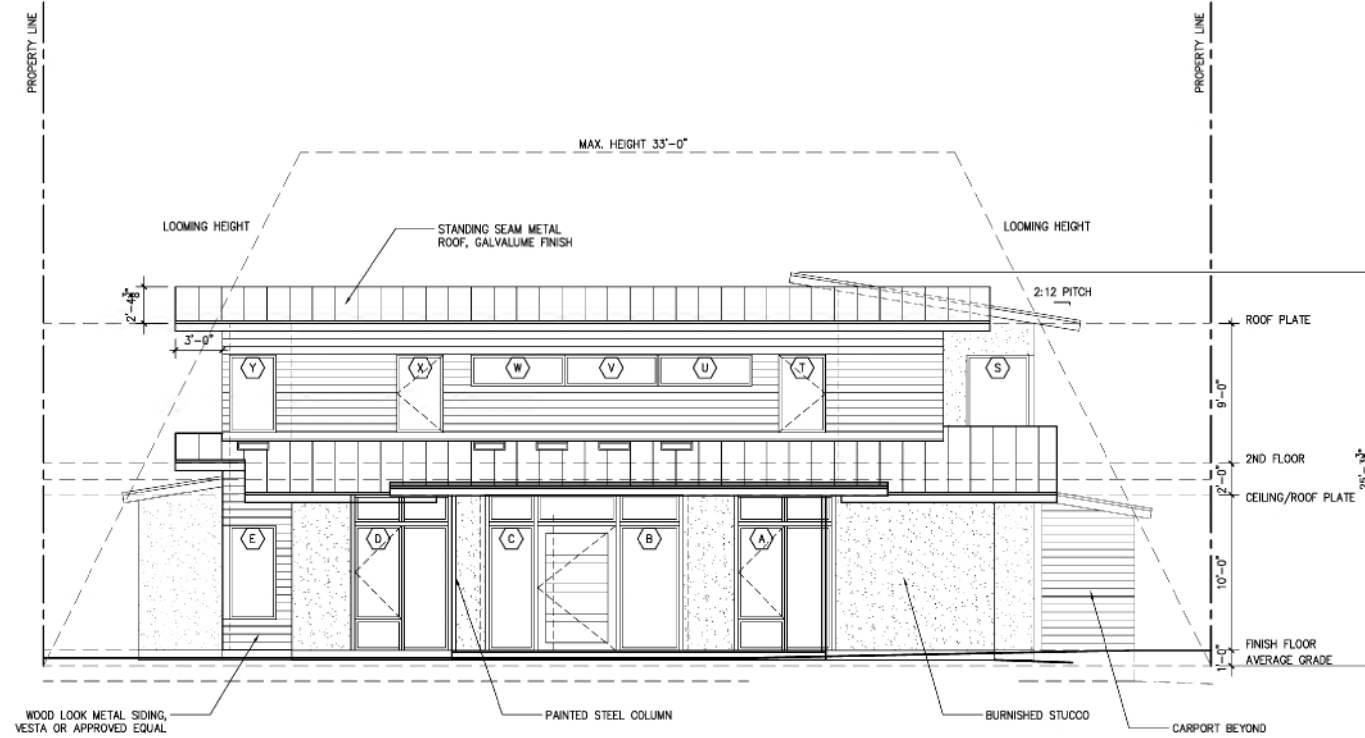
1 PROPOSED CARPORT FLOOR PLAN  
SCALE: 3/16"=1'-0"



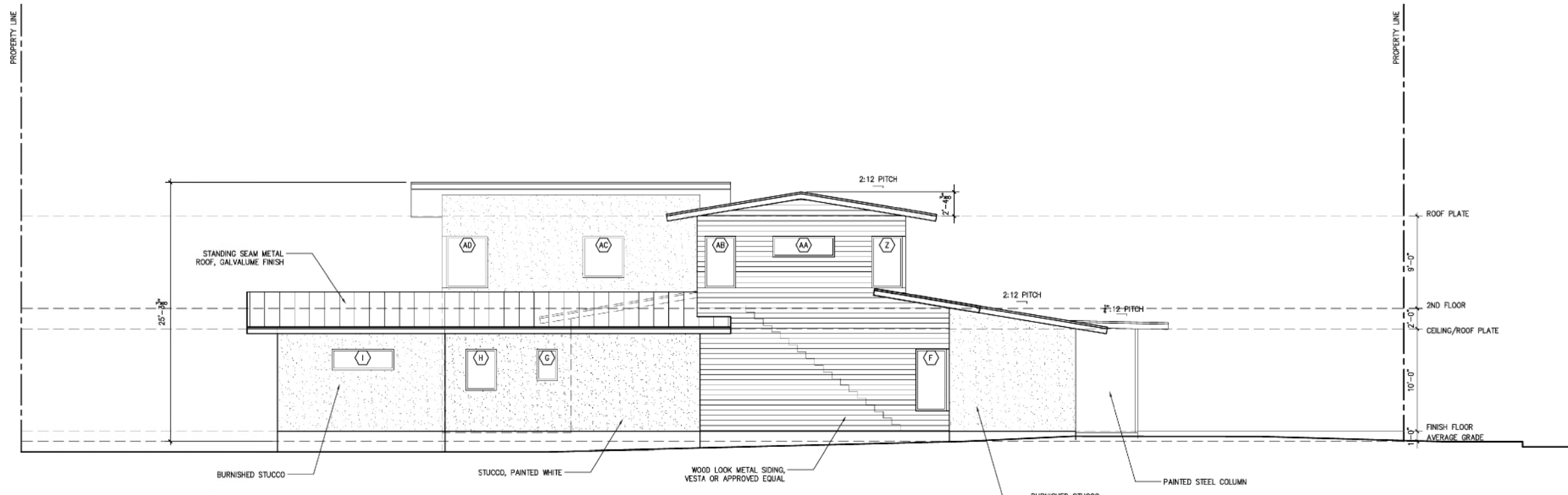


TABLE R404.1.1 AIR BARRIER AND INSULATION INSTALLATION		
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Details or joints in the air barrier shall be sealed. This air barrier in any dropped ceiling(s) shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access coverings, drop-down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling(s)	The air barrier in any dropped ceiling(s) shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access coverings, drop-down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling(s) shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch maximum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window(s) and framing, and skylights and framing shall be sealed.	
Roof joints	Roof joints shall include the air barrier.	Roof joints shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of outdoor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of decking, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
Crack space walls	Exposed earth in screened crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided, instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Shaft(s), utility penetrations, and fire shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that an installer readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be air tight and G-rated.	Recessed light fixtures installed in the building thermal envelope shall be air tight and G-rated.
Plumbing and wiring		Self-insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that an installer readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or service boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate exterior thermal envelope shall be sealed to the subfloor or drywall.	
Concealed speakers	When required to be sealed, concealed fire speakers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between the speaker cover plates and walls or ceilings.	

1. In addition, insulation of log walls shall be installed with the provisions of IRC 603.



**1 PROPOSED NORTH ELEVATION**  
SCALE: 3/16"=1'-0"



**2 PROPOSED EAST ELEVATION**  
SCALE: 3/16"=1'-0"



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**NEW RESIDENCE**

**164 E. OAKVIEW PL.**  
**ALAMO HEIGHTS, TX 78209**

**NEW HEIGHTS DEVELOPMENT LLC**

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ISSUE		
#	DATE	DESCRIPTION
1	04/30/2021	SD REVIEW 1
2	05/26/2021	CLIENT REVIEW
3	05/28/2021	ARB SET
4	06/28/2021	REVISED ARB SET

**PROPOSED EXTERIOR ELEVATIONS**

PROJECT NO.	21-111
DATE:	06-28-21
DRAWN BY:	FJZ
REVIEWED BY:	FJZ
PROJECT ARCHITECT:	FELIX J. ZIGA JR., AIA TEXAS LICENSE NO. 24683

A200



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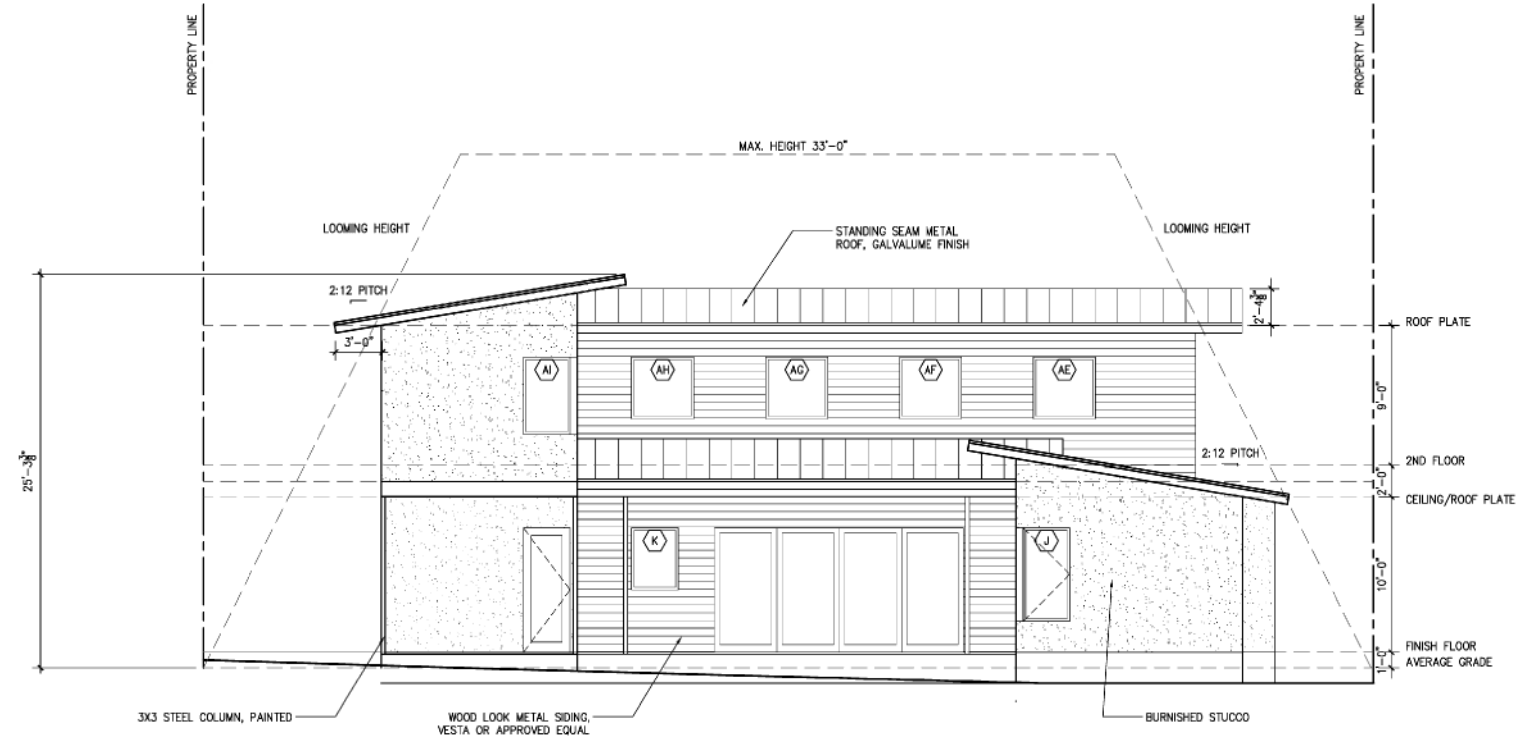
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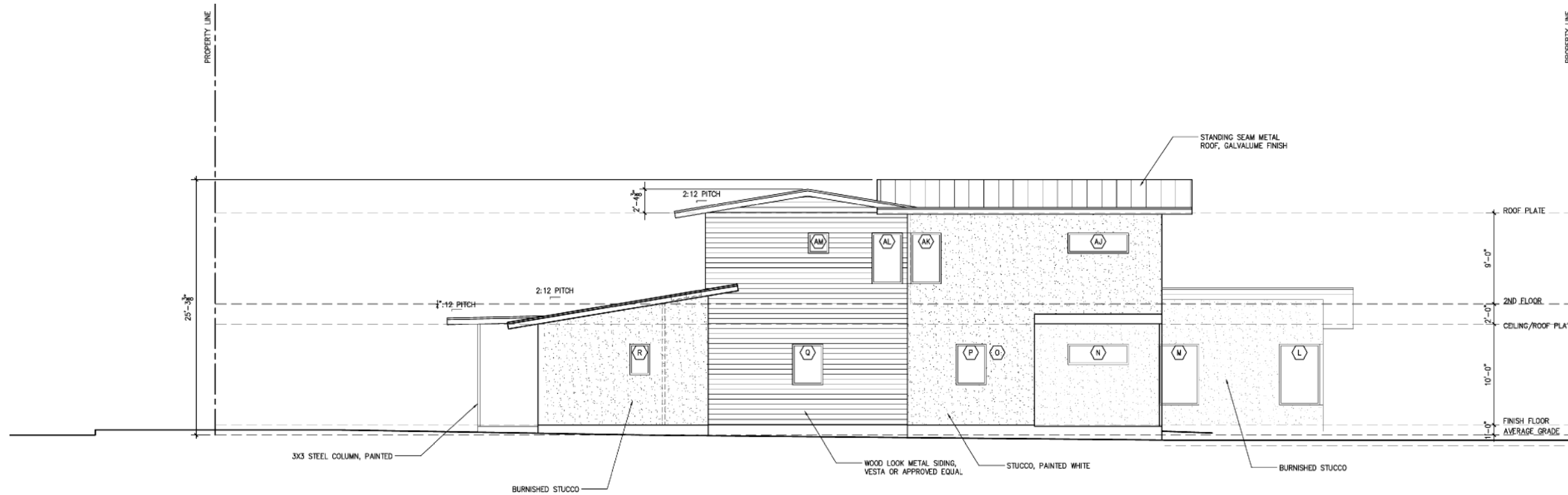
PROPOSED EXTERIOR  
ELEVATIONS

PROJECT NO. 21-111  
DATE: 06-28-21  
DRAWN BY: FJZ  
REVIEWED BY: FJZ  
PROJECT ARCHITECT:  
FELIX J. ZIGA JR., AIA  
TEXAS LICENSE NO. 24683

A201



1 PROPOSED SOUTH ELEVATION  
SCALE: 3/16"=1'-0"



2 PROPOSED WEST ELEVATION  
SCALE: 3/16"=1'-0"



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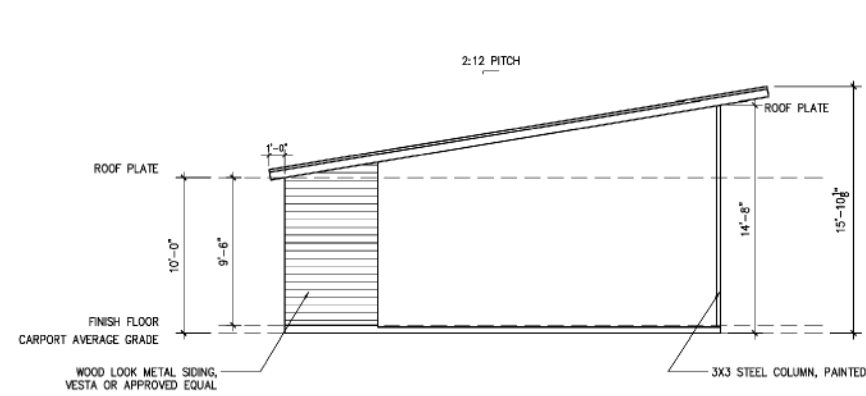
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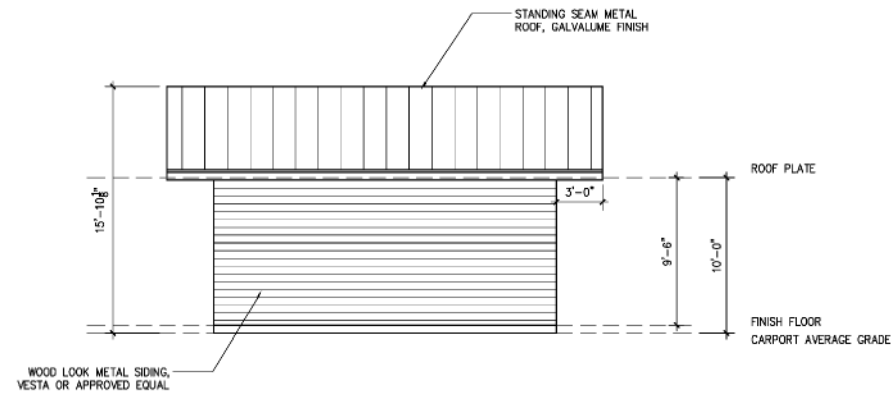
PROPOSED EXTERIOR  
ELEVATIONS - CARPORT

PROJECT NO. 21-111  
DATE: 06-28-21  
DRAWN BY: FJZ  
REVIEWED BY: FJZ  
PROJECT ARCHITECT:  
FELIX J. ZIGA JR., AIA  
TEXAS LICENSE NO. 24683

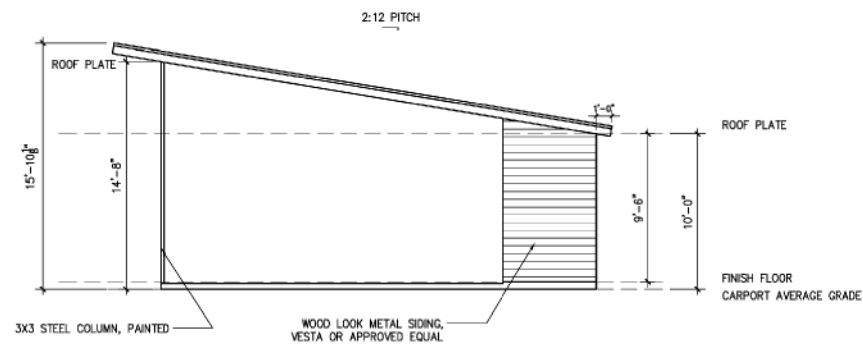
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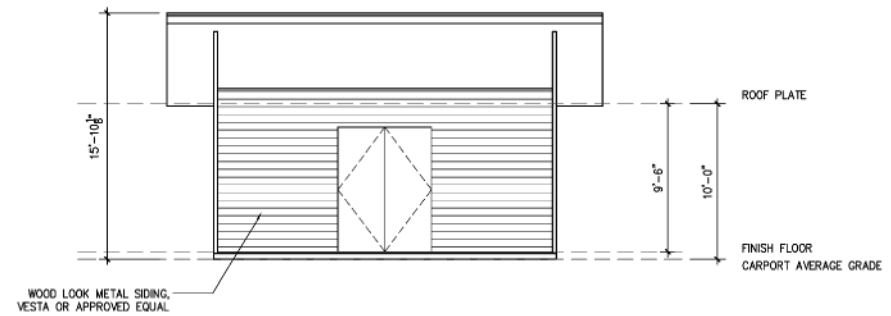
1 SOUTH ELEVATION - CARPORT  
SCALE: 3/16"=1'-0"



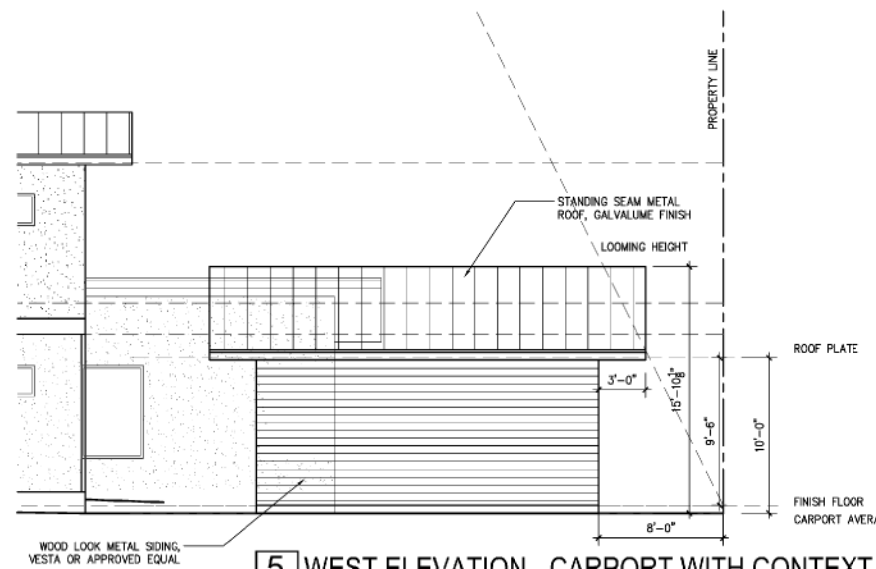
2 WEST ELEVATION - CARPORT  
SCALE: 3/16"=1'-0"



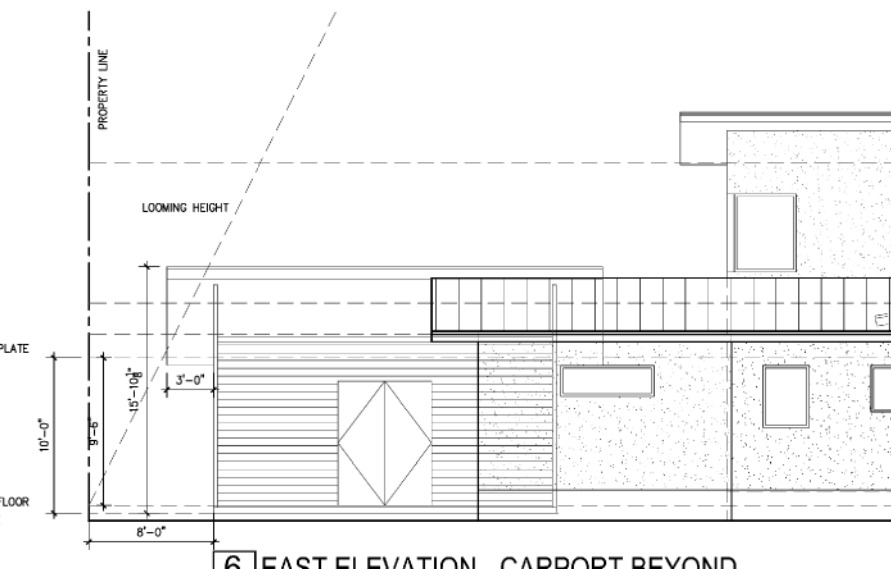
3 NORTH ELEVATION - CARPORT  
SCALE: 3/16"=1'-0"



3 EAST ELEVATION - CARPORT  
SCALE: 3/16"=1'-0"



5 WEST ELEVATION - CARPORT WITH CONTEXT  
SCALE: 3/16"=1'-0"



6 EAST ELEVATION - CARPORT BEYOND  
SCALE: 3/16"=1'-0"

Existing Streetscape Photographs



180



174



164



160



154



Proposed Streetscape Photographs



180



174



164



160



154



164 E. Oakview Pl.



Proposed Streetscape Photographs Continued



159



164



171



164 E. Oakview Pl.



Modern and 2 Story Examples along Oakview Pl. Photographs



144



171



173



184



230



164 E. Oakview Pl.



Perspective Renderings



Front 1



Front 2



Rear 1



Rear 2

