



CITY OF ALAMO HEIGHTS

COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Special Meeting January 18, 2022 – 5:30 P.M.

Take notice that a Regular Architectural Review Board meeting of the City of Alamo Heights will be held on **Tuesday, January 18, 2022 at 5:30pm** in the City Council Chamber, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects with may come before it. **Per Governor's Order GQ-36, attendees are not required to wear facial covering (mask) but they are encouraged. The City will continue to practice social distancing, and seating will be limited to capacity limits.**

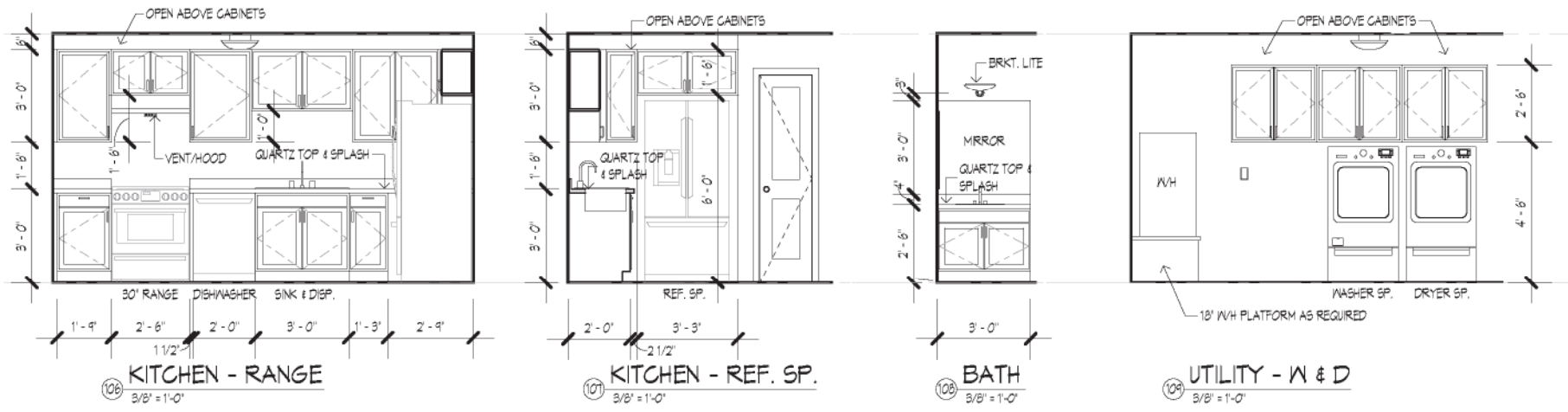
INSTRUCTIONS FOR TELECONFERENCE: Members of the public may also participate via audio by dialing 1-346-248-7799 and entering access number 868 0184 5240#. If you would like to speak on a particular item, when the item is considered, press *9 to "raise your hand". Citizens will have three (3) minutes to share their comments. The meeting will be recorded.

Case No. 869 F – 160 Terrell

Request of Sunrise Restoration, applicant, representing Rebecca Cavazos, owner, for the compatibility review of the proposed design located at 160 Terrell in order to construct a 2-story detached garage under Demolition Review Ordinance No. 1860 (April 12, 2010).

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB's recommendation for all demolition/final design review applications. Please check the ARB posted results on the City's website after the ARB meeting to confirm any future meeting dates.

Plans are available for public viewing on the City's website, with the exception of floor plans, (<http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/>) and at the Community Development Services Department located at 6116 Broadway St, 2nd floor. You may also contact Eron Spencer (espencer@alamoheightstx.gov) or Lety Hernandez (lhernandez@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case.

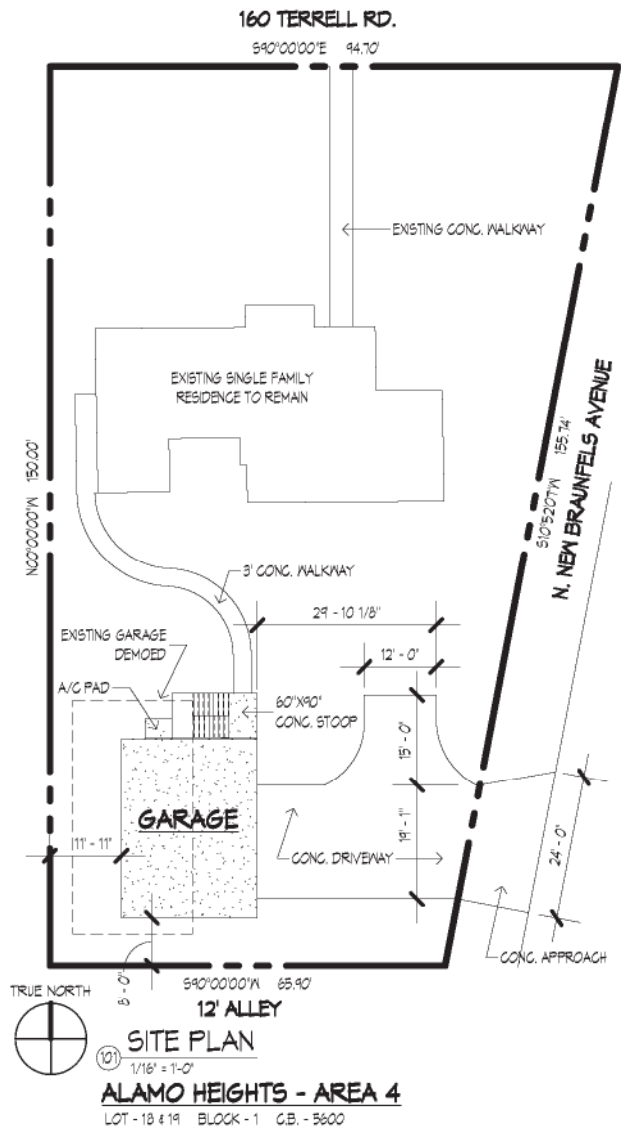
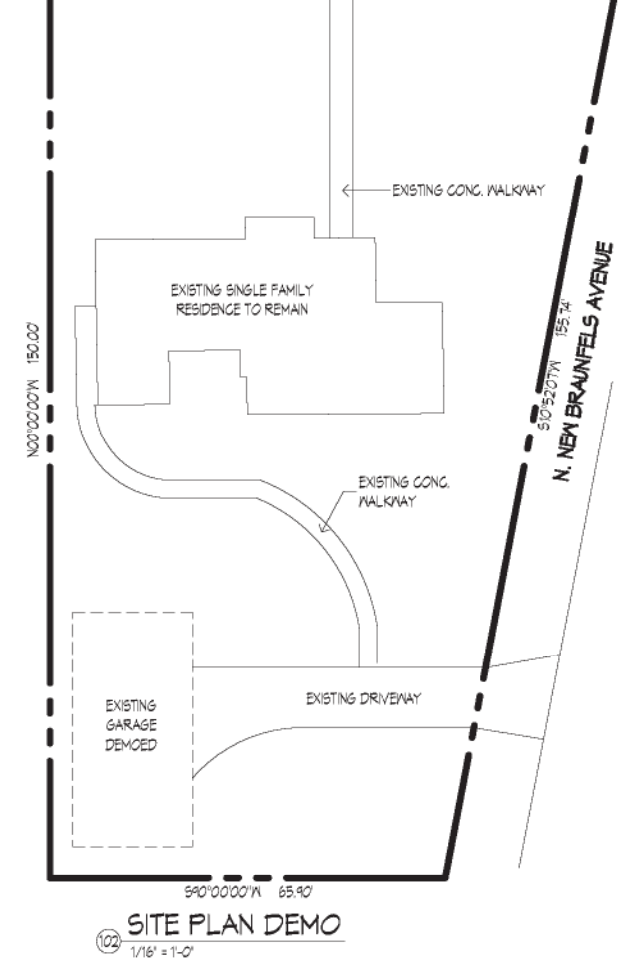
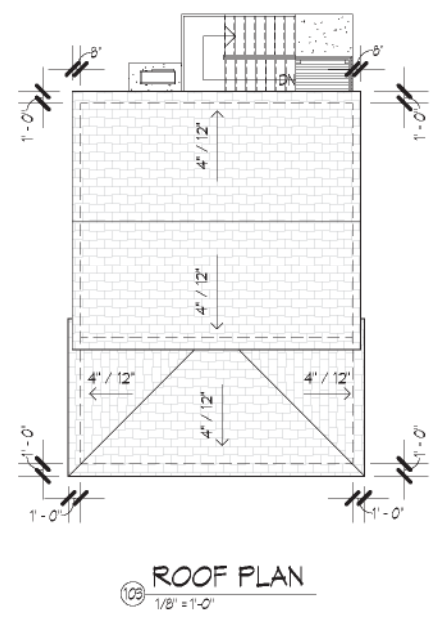
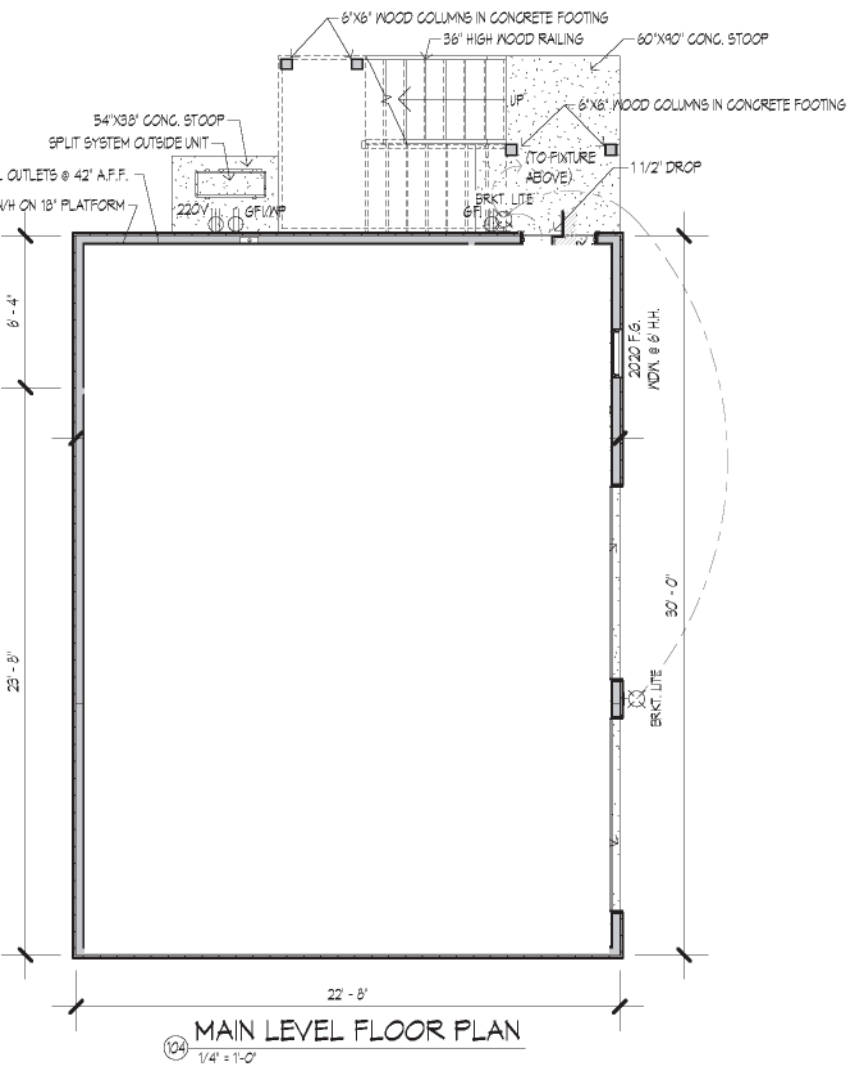
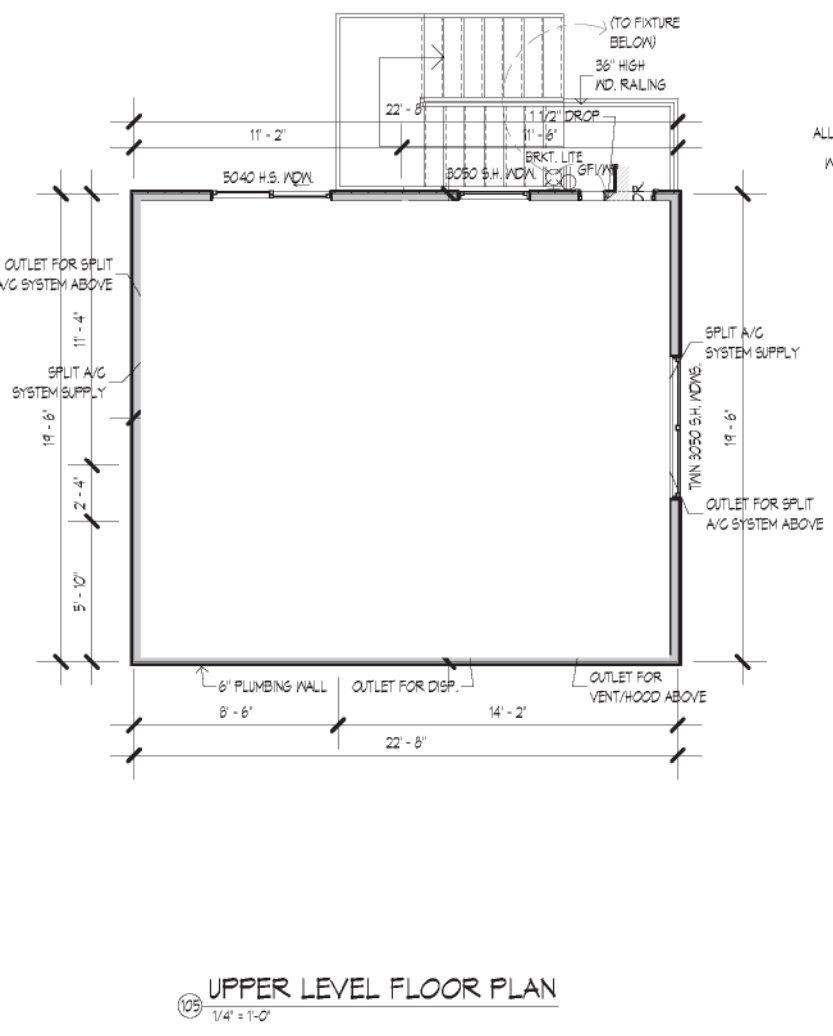


GENERAL NOTES:

- ALL EXTERIOR WALLS 2X4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
- VENT DRYER THRU ROOF. (VERIFY @ JOB.)
- ALL GLASS WITHIN 24" OF EXTERIOR DOORS TO BE TEMPERED GLASS AS REQUIRED BY CODE.
- ELECTRICAL TO COMPLY WITH NEC/CITY CODE & F.I. REQUIRED ON EXTERIOR FRONT/REAR OUTLETS, LAVATOIRES, GARAGES, & PLUGS WITHIN 6 FEET OF KITCHEN.

AREAS CALCULATIONS

UPPER LEVEL PLAN	442 SF
UTILITY AREA	110 SF
GARAGE	510 SF
GROSS AREA	1,122 SF



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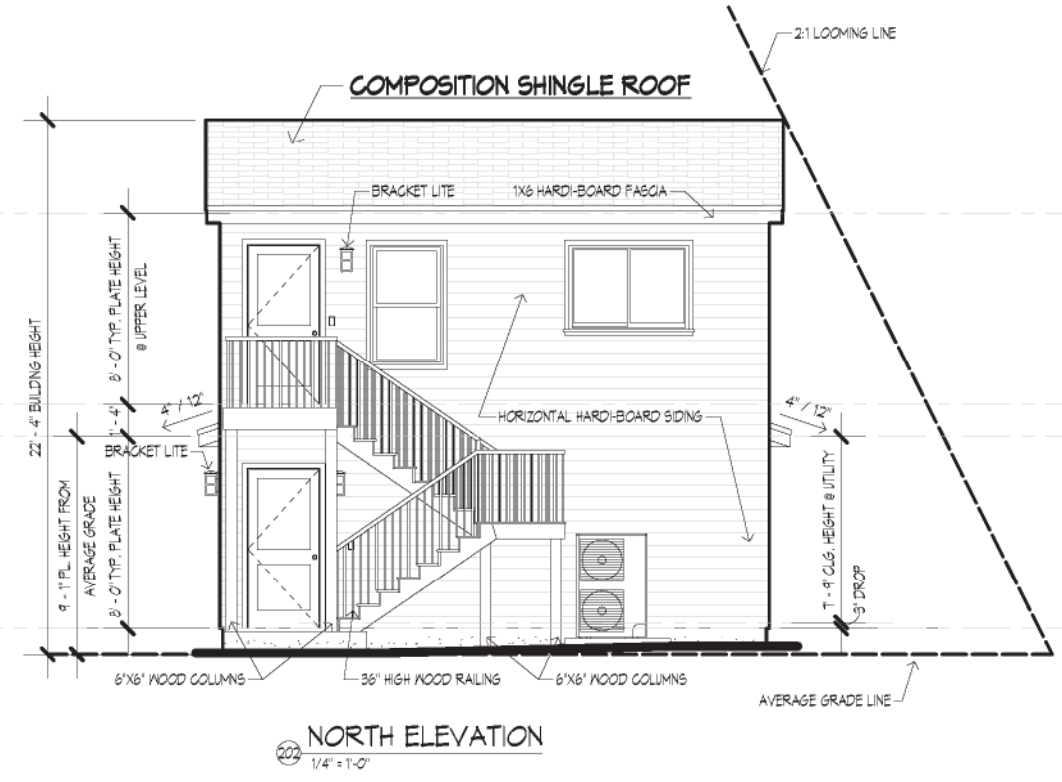
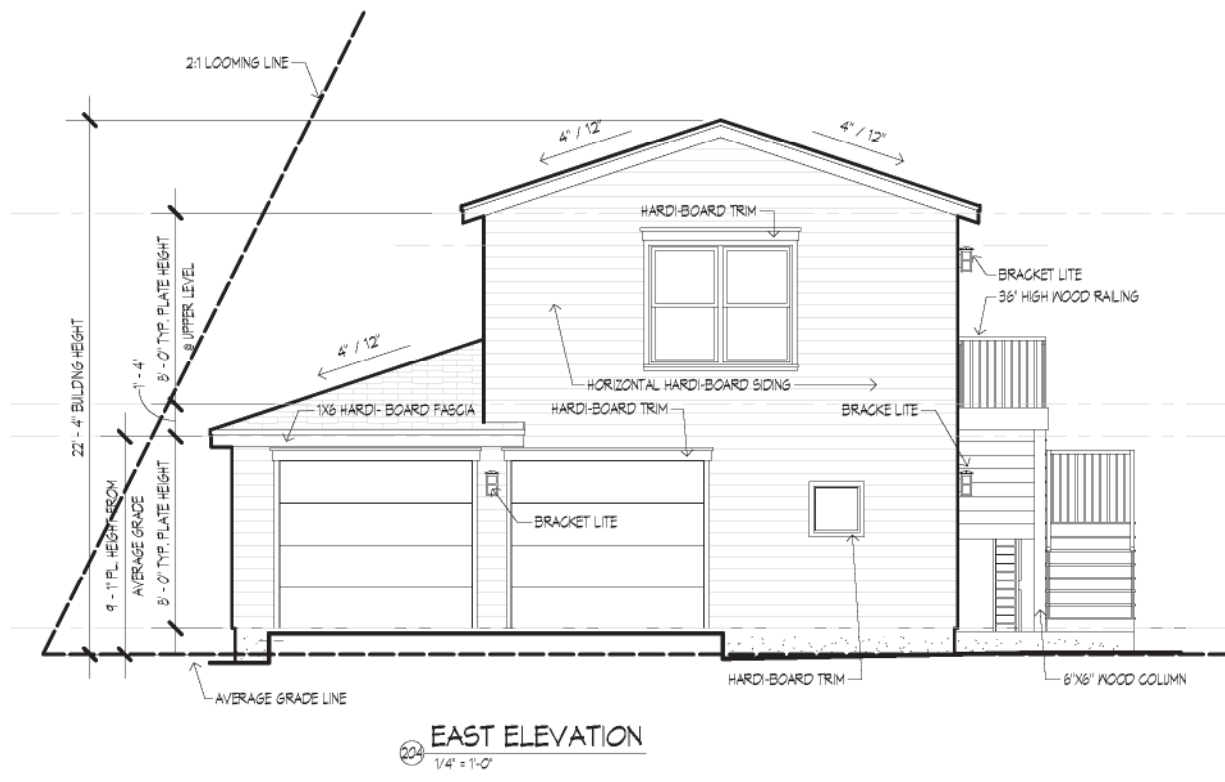
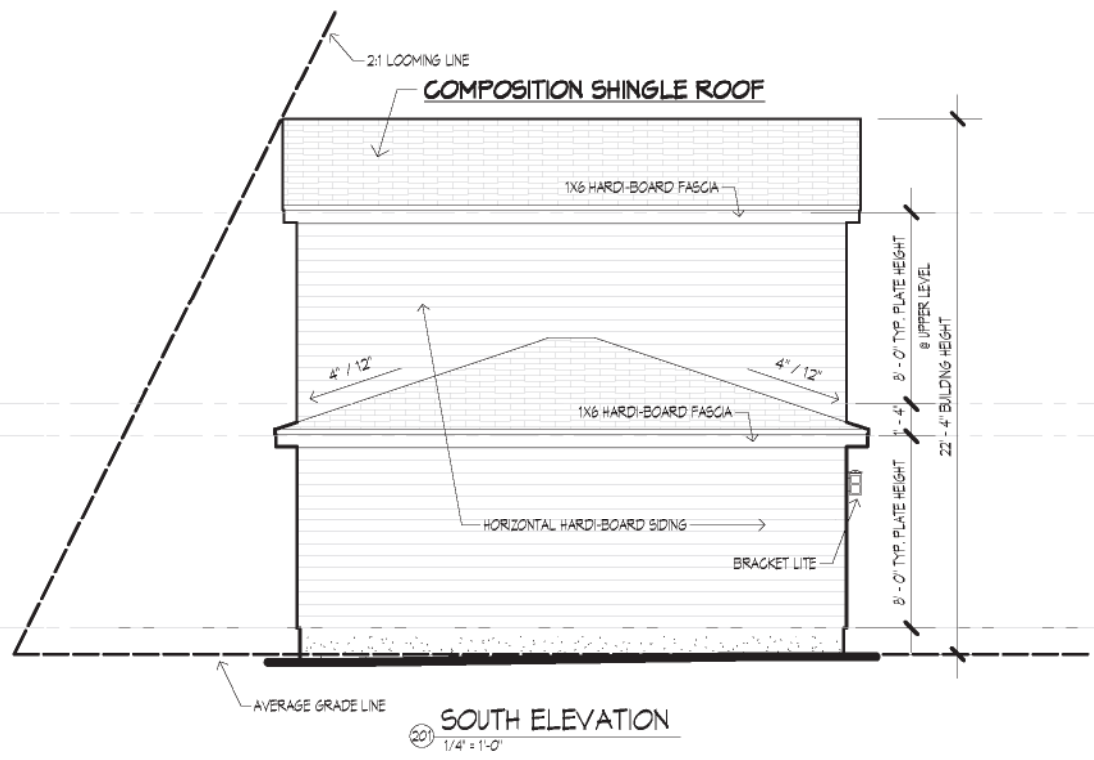
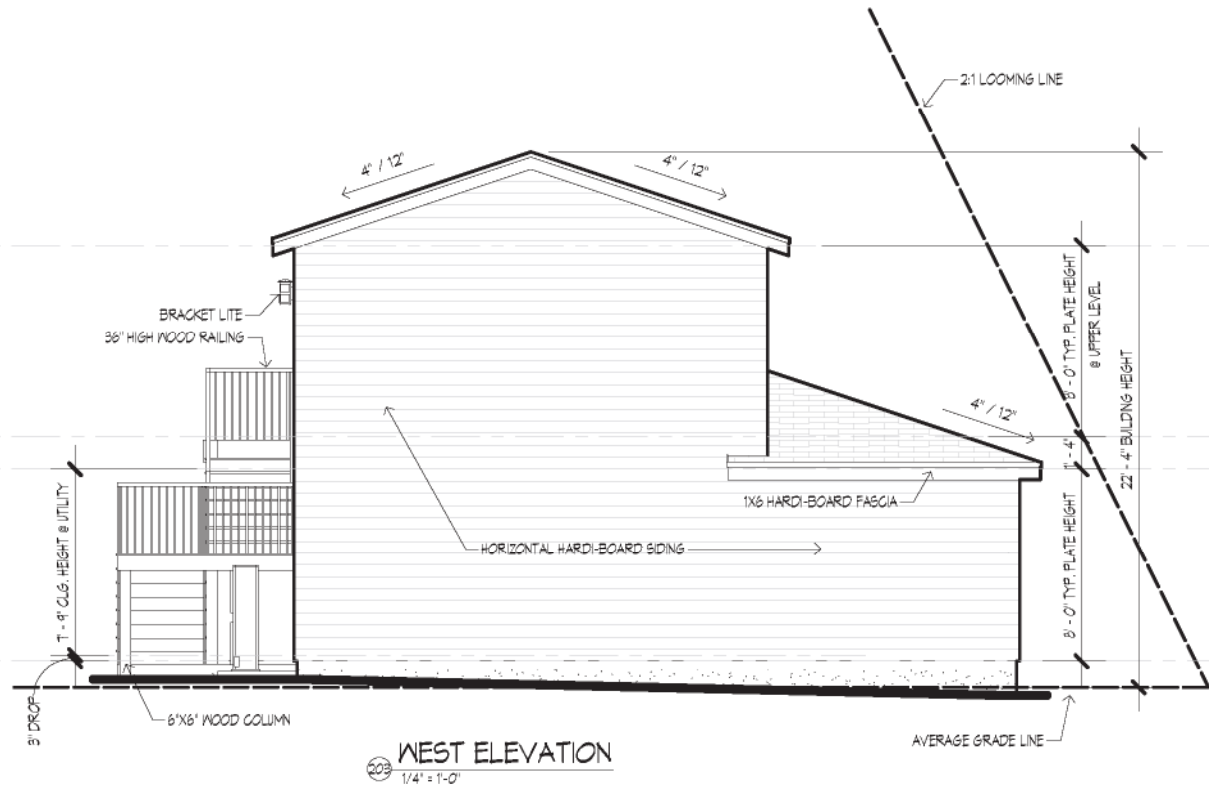
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CAVAZOS GARAGE APARTMENT

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09/17/21
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