



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
Tuesday, June 16, 2020 – 5:30 P.M.

In accordance with order of the Office of the Governor issued March 16, 2020, where he temporary suspended certain provisions of the Texas Open Meetings Act, take notice that a regular meeting scheduled **at 5:30 p.m. on Tuesday, June 16, 2020** will be conducted by telephone conference in order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”), to slow the spread of the Coronavirus (COVID-19), to consider and act upon any lawful subjects which may come before it. **There will be no public access to Alamo Heights Council Chamber.**

INSTRUCTIONS FOR TELECONFERENCE: The public toll-free dial-in number to participate in the telephonic meeting is 800-717-4201 and enter access number 3446107#.

Case No. 801 F – 270 Oakview E

Request of Kristen Klamer, applicant, representing Diane Kolar, owner, for the significance review of the existing main structure located at 270 Oakview E and compatibility review of the proposed design in order to demolish 100% of the existing residence and construct a new two-story single-family residence with attached garage under Demolition Review Ordinance No. 1860 (April 12, 2010).

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB’s recommendation for all demolition/final design review applications. Please check the ARB posted results on the City’s website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online* (<http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/>) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Brenda Jimenez (bjimenez@alamoheightstx.gov), Lety Hernandez (lhernandez@alamoheightstx.gov), or Nina Shealey (nshealey@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case. Please note that plans will not be available online for all case types and floor plans will not be available online.



MASON · RÖS

architecture & interiors

Michael H Mason AIA

Kristen Mason Klamer

Jennifer da Rös

May 26, 2020

City of Alamo Heights
Community Development Services Department
Architecture Review Board

6116 Broadway Street,
San Antonio, TX 78209

Attention: Lety Hernandez, Planner

ARCHITECTURE REVIEW BOARD
270 E. OAKVIEW PLACE, SAN ANTONIO, TX 70121

PROJECT DESCRIPTION

This residence is conceived for the use by a small family with specific needs for their lifestyle. The objective is to achieve the clients' needs by complementing the neighborhood with developing a Prairie Style structure influenced first by Frank Lloyd Wright with numerous projections of porches and overhangs, casting shadows in the summer and warming light in the winter. The use of brick, natural stone, and plaster along with contemporary window treatment help set a simple backdrop for a lush landscape of plants. The beautiful pool and stone deck set off a South Texas yard landscaped for low maintenance and informality resulting in a pleasant atmosphere for client and guests.

APPROPRIATENESS

The neighborhood is comprised of a mix of small single-story cottages next to 2-story replacement structures. The single-story cottages typically have compartmentalized spaces and congested floor plans. This creates unhappy inhabitants, as they want to circulate more freely and open views through the house and to the outdoors. The expense to renovate and build additions brings most clients to develop a new, more modernized, and high-functioning homes. The residence we have designed wraps around a large heritage Oak Tree and large openings create connection to the private back yard. The exterior balconies' projections and linear proportions create strong horizontal spaces and brings a comfortable experience to both owner and passerby. The first story is 10' and second story 9'. These floor plates are generous without being grandiose.

LOT COVERAGE / FAR / HEIGHTS

The new 2-story residence is placed within the buildable area and its massing fits within the allowable looming standard height, Lot Coverage and FAR standards as set by zoning. The new structure will be approximately 28'0 tall and includes an attached 2-car garage.

1. The existing LOT COVERAGE is 30%; the proposed LOT COVERAGE is 33%.
2. The existing single-story cottage's FAR is 25%; the proposed 2-story residence is 44%.
3. The existing single-story's height is approx. 17'0; the proposed 2-story's height is approx. 28'0.



SITE CONDITIONS

1. The existing cottage structure to be demolished is a 1-story single-family residence and stands approximately 17'0 in height and has an attached 1-car garage that faces E. Oakview Place. It sits 38'0 from the front property line.
2. There is an existing pool and stone deck and equipment shed that meet all setback requirements and are to remain.
3. An existing 29" Oak tree located in the back yard, is to remain and be protected throughout construction. The proposed design wraps around the tree, and in order to give the tree enough clearance, the structure's footprint is pushed to the 30' front yard setback.

We sincerely believe this project will enhance the neighborhood with its appropriate scale, good detailing, and style. We look forward to applying recommendations to refine the design.

Sincerely,

05/26/2020

PRINCIPAL ARCHITECT, **Michael H Mason, AIA**

DATE

Property Address:
Original Architect:

Architecture Type:
Year Built:

Lot Coverage*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Lot area	9150		9150	
Main house footprint	2000		1800.92	
Front porch	36.7		111	
Side porch 1			119	
Side porch 2				
Rear porch	466		379	
Garage footprint	252		538.6	
Carport footprint				
Shed footprint	76.5		76.5	
Breezeways				
Covered patio structure				
Other accessory structures				
Total (total lot coverage/lot area):	.309		.330	
Total Lot Coverage:	2831.2		3025.02	
Floor Area Ratio (FAR)**	Applicant	Staff	Applicant	Staff
Lot area	9150		9150	
Main house: 1st floor	2000		1746	
Main house: 2nd floor	n/a		1786.5	
Garage: 1st floor	252		538.6	
Garage: 2nd floor	n/a			
Other structures (unless exempted - see below)	0		0	
Total (total FAR/lot area):	.246		.444	
Total FAR:	2252 SF		4071.1	
Height of Main Structure:			27'-11 1/2"	

***Lot coverage** is defined as the percentage of the total lot area covered by a roof, floor or other buildings excepting eaves. Carports, sheds, porches, covered pedestrian walkways, breezeways, arbors, gazebos and covered patios are included in lot coverage calculations (**Exception:** The maximum lot coverage shall exclude free-standing entryway arbors with open-air lattice framework under fifty (50) square feet in area and eight (8) feet in height, and other free-standing open-air lattice/trellis structures located within a side or rear yard up to twelve (12) feet in height, totaling three hundred (300) square feet or less and subject to other standards governing accessory structures.

****Floor area ratio (FAR)** is defined as the ratio of the total above ground gross floor area of all structures on a site to the total square footage of a lot (for example, a FAR of .53 for a seven thousand five hundred (7,500) square foot lot is three thousand nine hundred seventy-five (3,975) gross square feet (.53 X 7,500) of floor area). The following areas shall be included when computing the gross floor area:

- (1) Exterior walls: The thickness of the wall shall be included in the calculation;
- (2) Above grade floor area: Any room that has a wall surface that extends more than three (3) feet above grade;
- (3) Laundry rooms, mechanical rooms, storage rooms, built-in cabinets and media niches;
- (4) Mezzanines and lofts;
- (5) Floor area used by stairways, elevators, escalators and similar features. The floor area of each run of stairs shall be counted once;
- (6) Vaulted ceilings: the floor area shall be counted at the actual floor area only and not in the air spaces;
- (7) Usable spaces (generally defined as having a five (5) foot minimum height) such as rooms, closets and cabinets under a run of stairs;
- (8) Exterior structures and additions with a solid roof and enclosed on more than two (2) sides in whole or part with permanent solid walls or windows such as porches, balconies, patios and breezeways;
- (9) Attached and detached garages and carports; and
- (10) Accessory buildings such as sheds, pool houses, guest houses, bonus rooms and second units.

The following areas shall not be included when computing the gross floor area:

- (1) Below grade floor area: any area that has a wall surface that extends less than three (3) feet above grade;
- (2) Porches, balconies, patios, breezeways, decks, overhangs, eaves, cantilevers and awnings with solid roof-like cover, but not enclosed on more than two (2) sides;
- (3) Porches, balconies, patios, breezeways and decks that do not have a solid roof-like cover; and
- (4) Attic space that is not habitable. If made habitable in the future, shall be included in floor area ratio.

Definitions as listed per City of Alamo Heights "Code of Ordinances" can be found at www.municode.com (Ch. 3 "Zoning," Sec. 3-2 "Definitions")

Property Address: _____

	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Total Impervious Cover Sq. Ft. for Stormwater Development Fee*				
Footprint of all structures	2252		2422	
Driveway/Parking Pad	764		555	
Walkways	121		120	
Swimming Pool/Spa	456		456	
Other impervious cover: _____	76.5		76.5	
Total impervious surface cover (in this project):	3669.5		3629.5	
Total impervious surface cover <i>removed/existing</i> (in this project):			3137	
Total impervious surface cover sq. ft. (proposed minus removed = net figure for this project)*			492.5	
Stormwater Development Fee*				

Impervious Surface Cover within front yard setback**	Applicant	Staff	Applicant	Staff
Front yard setback area	2250		2250	
Footprint of any structure(s)	188.7		0	
Driveway/Parking Pad	590		420	
Walkways	121.7		120	
Other impervious cover: _____				
Impervious surface cover within front yard setback in this project	900.4		540	
Impervious surface cover <i>removed/existing</i> within front yard setback in this project			900.4	
Impervious surface cover net proposed sq. ft. within front yard setback			.24	
Impervious surface cover proposed within front yard setback			B / A	B / A
Maximum 30% allowed for SF-A and SF-B Districts			.24	

*The stormwater development fee shall be equivalent to the net additional square footage of total impervious surface area (excluding public sidewalks) of the property multiplied by \$0.40.

Exemptions. The following real property, only, shall be exempt from the provisions of this section:

- (1) Property owned by the City of Alamo Heights and/or dedicated to right-of-way for public streets and/or to provide drainage service; and
- (2) Property with proper construction and maintenance of a privately owned drainage or stormwater system wholly sufficient to provide all the drainage or stormwater service for that property.

**Depending on property's zoning district, the maximum impervious surface allowed within the front yard setback area is 30% (per Sec. 3-18) and 40% (per Sec. 3-50; please refer to Code for other regulations).

Impervious cover. Ground surfaces including concrete or paved driveways, sidewalks, parking lots, building and other improvements that resist the infiltration of water, thereby resulting in water runoff. Impervious cover includes any surface material or surface treatment or surface condition which sheds fifty (50) percent or more of rainfall, or water, which falls on it.

City of Alamo Heights "Code of Ordinances" can be found at www.municode.com (Ch. 3 "Zoning," Sec. 3-18, Sec. 3-50; Ch. 13 "Storm Drainage," Sec. 13-29 "Stormwater development fee" and Sec. 13-1 "Definitions").



KOLAR RESIDENCE

270 E OAKVIEW PLACE, SAN ANTONIO, TX 78209

CODE REFERENCE				
DESCRIPTION:	HEIGHT AREA & YARD	REQUIRED	EXISTING	PROPOSED
Demolition of existing 1-story single-family residence and new construction of 2-story single-family residence. All freestanding structures with a diameter shall be remain and be protected against.	MIN. L.O.F. AREA	9,400 SF	9150 SF	NO CHANGE
	MIN. L.O.F. WIDTH	60 FT	75 FT	NO CHANGE
APPLICABLE CODES:	MIN. L.O.F. DEPTH	3 FT	120 FT	NO CHANGE
IRC (International Residential Code) 2015	MAX HEIGHT	33 FT	33 FT	27'-11 1/2" FT
	FRONT YARD SETBACK	30 FT	24.8 FT	30 FT
SPECIAL PROVISIONS:	INTERIOR SIDE YARD	6 FT	3 FT	1/4 2' FT
WIND RATING: 130 MPH, EXPOSURE CATEGORY 'B' (IC 8501.2.6.A)	NO SIDEWALK CREEPERY ALONG SIDE	15 FT	N/A	N/A
	REAR YARD SETBACK	20 FT	46 FT	32'-0" FT
	1ST FLOOR	30 FT	N/A	32'-0" FT
	2ND STORY	30 FT	N/A	32'-0" FT
PROPERTY INFO:	COVERED PARKING	2 SPACES	2 SPACES	2 SPACES
ALAMO HEIGHTS CITY LIMITS	GARAGE SETBACK	50 FT	38 FT	37 FT
PRIMARY ZONING: 9FA	DRIVEWAY WIDTH	14 FT MAX IN FRONT YARD SETBACK	14 FT MAX IN FRONT YARD SETBACK	14 FT MAX IN FRONT YARD SETBACK
ZONING DISTRICT: ALAMO HEIGHTS CITY LIMITS	ACCESSORY STRUCTURES	3 FT	4 FT	NO CHANGE
OVERLAY DISTRICT: AHOD	REAR YARD	3 FT	10.5 FT	NO CHANGE
PARCEL I.D.	ARTICULATION	30 FT	37.9 FT	24.5 FT
	MAX FACADE WIDTH (FRONT)	30 FT	29 FT	24.4 FT
	MAX FACADE WIDTH (SIDE)	30 FT	30 FT	24.4 FT
	L.O.F. COVERAGE	40%	31%	33.0%
	IMPERVIOUS SIDE FRONT YARD	30% MAX	40%	24%
	F.A.R. (FLOOR AREA RATIO)	.45	3	.44

DRAWING LIST	
ARCHITECTURAL	
A000	COVER SHEET
A001	GENERAL NOTES
A002	SPECIFICATIONS
A003	SPECIFICATIONS CONTINUED
A004	SPECIFICATIONS CONTINUED
A020	DOOR AND WINDOW SCHEDULE
A100	PROJECT DESCRIPTION / SURVEY
A101	DEMOLITION & PROPOSED SITE/ROOF PLAN
A102	PHOTOS OF EXISTING STRUCTURE
A103	PRECEDENCE FOR GARAGE VARIANCE
A104	SCHEMATIC LANDSCAPE AND EXTERIOR LIGHTING PLAN
A200	EXISTING FLOOR PLAN AND EXTERIOR ELEVATIONS
A201	PROPOSED FLOOR PLAN - FIRST FLOOR
A202	PROPOSED FLOOR PLAN - SECOND FLOOR
A230	PROPOSED ROOF PLAN
A401	EXTERIOR ELEVATIONS - FRONT AND REAR
A402	EXTERIOR ELEVATIONS - WEST AND EAST
A403	EXTERIOR ELEVATIONS - PHOTOGRAPHIC STREETSCAPE (EXISTING / NEW)
STRUCTURAL	
FOUNDATION AND FRAMING DESIGN WILL BE INCLUDED IN FULL PERMIT SET	

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Property of Mason-Ros Architecture LLC
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Contractor Responsible for Verification
of Site Conditions and Quantities.

DATE	ISSUE
02.03.2020	Preliminary Plan Review
04.04.2018	Plan Review Submittal
04.20.2020	Board of Adjustments
05.20.2020	Board of Adjustments - Rev1
05.26.2020	Architecture Review Board

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KOLAR RESIDENCE
270 E OAKVIEW PLACE
SAN ANTONIO, TX 78209

Project number: 190811
Date: 4.20.2020

COVER SHEET

A000

SCALE: AS NOTED NTS
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KOLAR RESIDENCE Alamo Heights, TX

PROJECT CONCEPTION

This residence is conceived for the use by a small family with specific needs for their lifestyle. The objective is to achieve the client needs by complementing the neighborhood with a Prairie Style structure influenced first by Frank Lloyd Wright with numerous projections of porches and overhangs casting shadows in the summer and more warming light in the winter. The use of brick and wood and/or plaster along with contemporary window treatment are the materials of choice along with a lush landscape of plants and landscape lighting to make a rich setting in day and night. The beautiful newly developed pool sets off a South Texas yard landscaped for low maintenance and informally resulting in a pleasant atmosphere for client and passerby.

EXISTING RESIDENCE TO BE DEMOLISHED

The existing cottage structure to be demolished is a 1-story single-family residence and stands approximately 20'0" in height. The new 2-story residence will meet all required setbacks and heights as set by zoning. The new structure will be approximately 28'0" tall.

VARIANCE FOR ATTACHED GARAGE

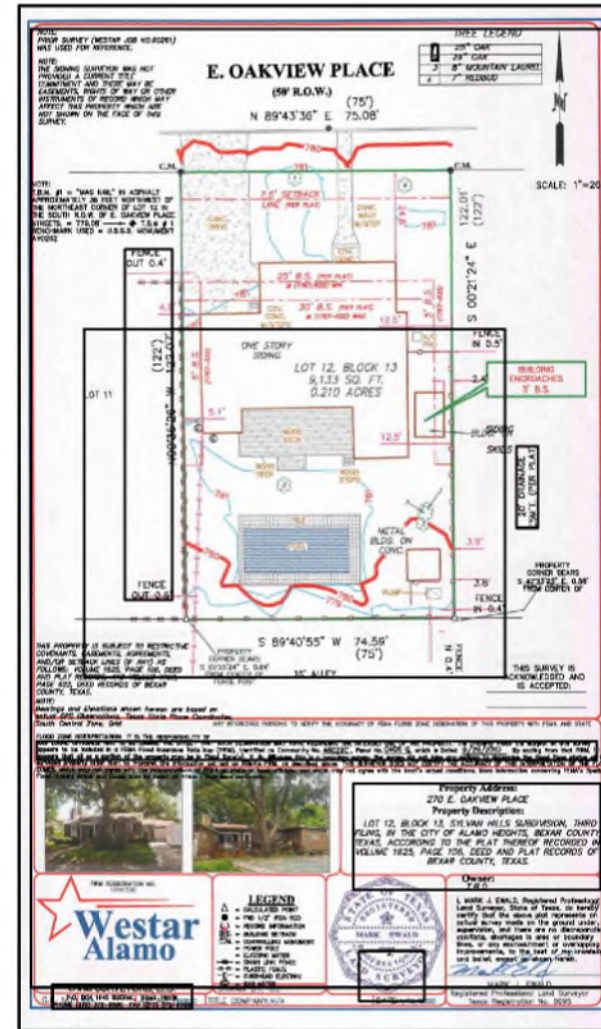
The existing single-family residence that is proposed demolished, has an attached 1-car garage that faces E. Oakview Place. It sits 38'0" from the front property line.

The proposed single-family residence includes an attached 2-car garage, set 37'0" back from the property line and is oriented toward E. Oakview Place.

Of the 26 residences on E. Oakview between Vanderhoeven and N New Braunfels Ave, only 6 properties appear to meet the zoning requirements for parking. 11 properties have garages or carports facing E Oakview and measure less than 50' back from property line, as measured from the San Antonio GIS interactive zoning map. And 8 have garages or carports that appear to meet the required setback but are oriented toward the street. 1 property does not provide covered parking.

The project site hardships are as follows:

- an existing pool and stone deck are to remain and meet all setback requirements
- The pool and sprinkler equipment is housed to the southeast corner of the property, making a garage access from the rear alley impossible.
- They alley is prone to flooding and vehicular access from alley into a garage would not be an option.
- The existing 29" Oak tree located in the back yard, is to remain and be protected throughout construction. The proposed design wraps around the tree and the footprint is set at the 30' front yard setback.



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ISSUE: 02.03.2020 Preliminary Plan Review
04.04.2018 Plan Review Submittal
04.20.2020 Board of Adjustments
04.30.2020 Board of Adjustments - Rev1
05.20.2020 Board of Adjustments - Rev2

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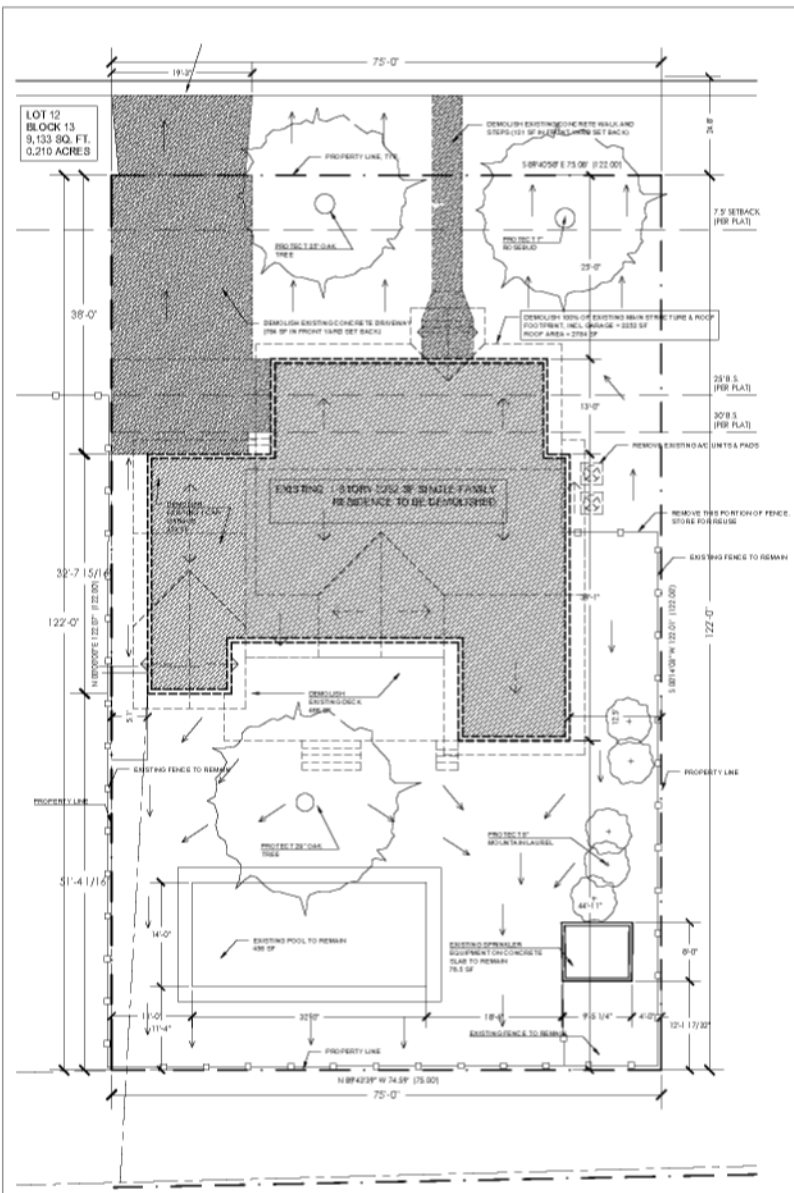
KOLAR RESIDENCE
270 E. OAKVIEW PLACE
SAN ANTONIO, TX 78209

Project number: 192811
Date: 4.20.2020

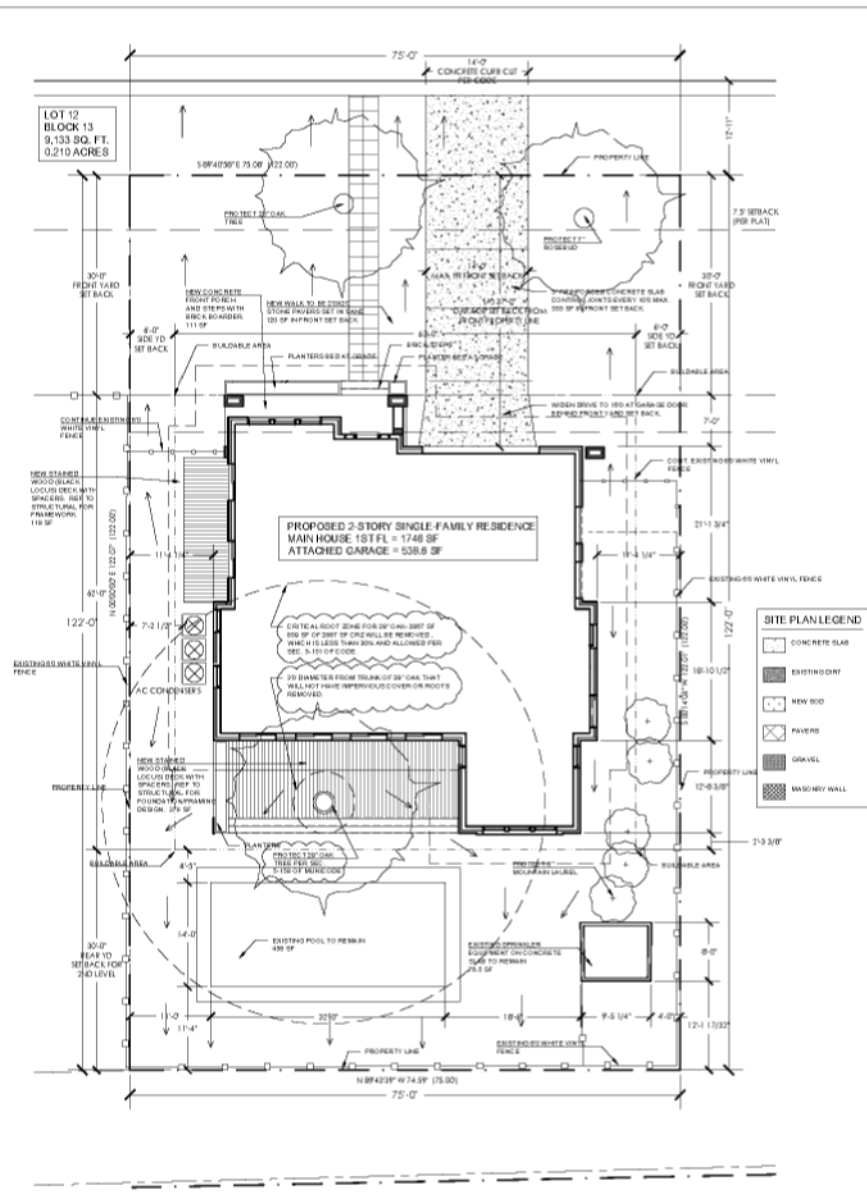
**PROJECT DESCRIPTION
& LAND SURVEY**

A100

SCALE: AS NOTED AS NOTED
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2
101
EXISTING/DEMOLITION - SITE PLAN
scale: 1/8" = 1'-0"
north



1
101
PROPOSED SITE PLAN
scale: 1/8" = 1'-0"
north

SITE PLAN LEGEND

[Symbol]	CONCRETE SLAB
[Symbol]	EXISTING FOOT
[Symbol]	NEW FOOT
[Symbol]	PAVERS
[Symbol]	GRAVEL
[Symbol]	MASONRY WALL

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ISSUE:
02.03.2020 Preliminary Plan Review
04.04.2018 Plan Review Submittal
04.30.2020 Board of Adjustments - Rev 1
05.20.2020 Board of Adjustments - Rev 2

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KOLAR RESIDENCE
370 E. OAKVIEW PLACE
SAN ANTONIO, TX 78209

Project number: 82081
Date: 4.20.2020

EXISTING & NEW SITE PLAN

A101

SCALE: AS NOTED 1/8" = 1'-0"
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EXISTING STRUCTURE - NORTH

10
102



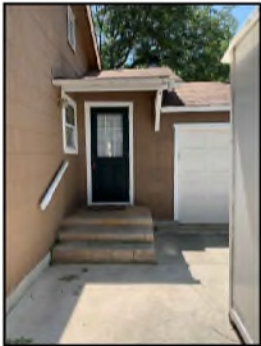
EXISTING STRUCTURE - NORTHEAST

9
102



EXISTING STRUCTURE - NORTH

8
102



EXISTING STRUCTURE - NORTH

7
102



EXISTING STRUCTURE - WEST

6
102



EXISTING STRUCTURE - WEST

5
102



EXISTING STRUCTURE - EAST

4
102



EXISTING STRUCTURE - SOUTH

3
102



EXISTING STRUCTURE - SOUTH

2
102



EXISTING STRUCTURE - SOUTH

1
102



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KOLAR RESIDENCE

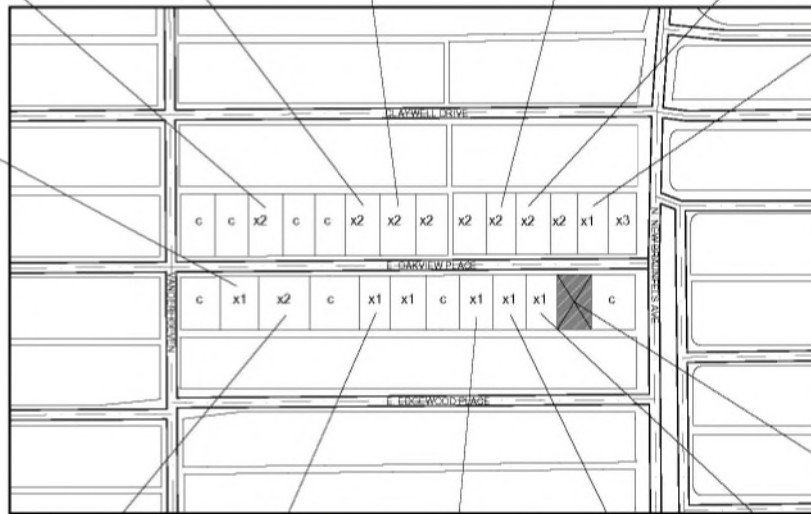
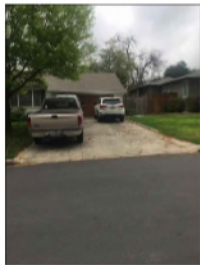
370 E. OAKVIEW PLACE
SAN ANTONIO, TX 78206

Project number: 270815
Date: 4.20.2020

**PHOTOGRAPHS OF
EXISTING STRUCTURE**

A102

SCALE: AS SHOWN NTS
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- c -conforming covered parking
-meets set back
-orientation toward side
- x1 -non-conforming garage
-does not meet set back
-orientation toward street
- x2 -non-conforming garage
-does meet set back
-orientation toward street
- x3 -non-conforming parking
-does not have covered parking

1
100' E OAKVIEW PLACE

scale: 1/128" = 1'-0"
north



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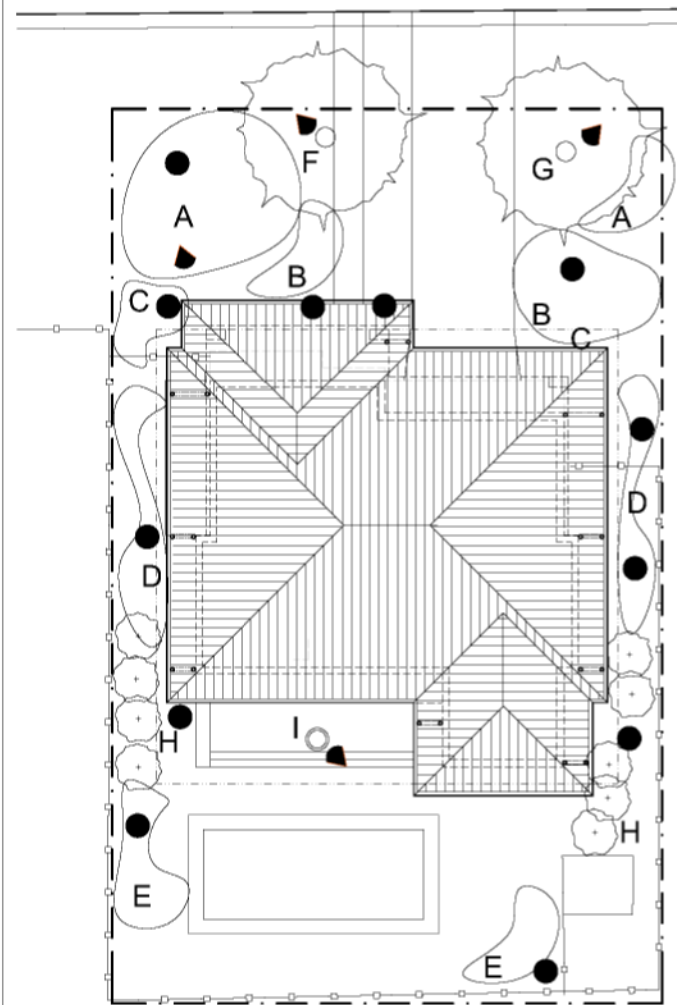
KOLAR RESIDENCE
270 E. OAKVIEW PLACE
SAN ANTONIO, TX 78206

Project number: 270R1
Date: 4.20.2020

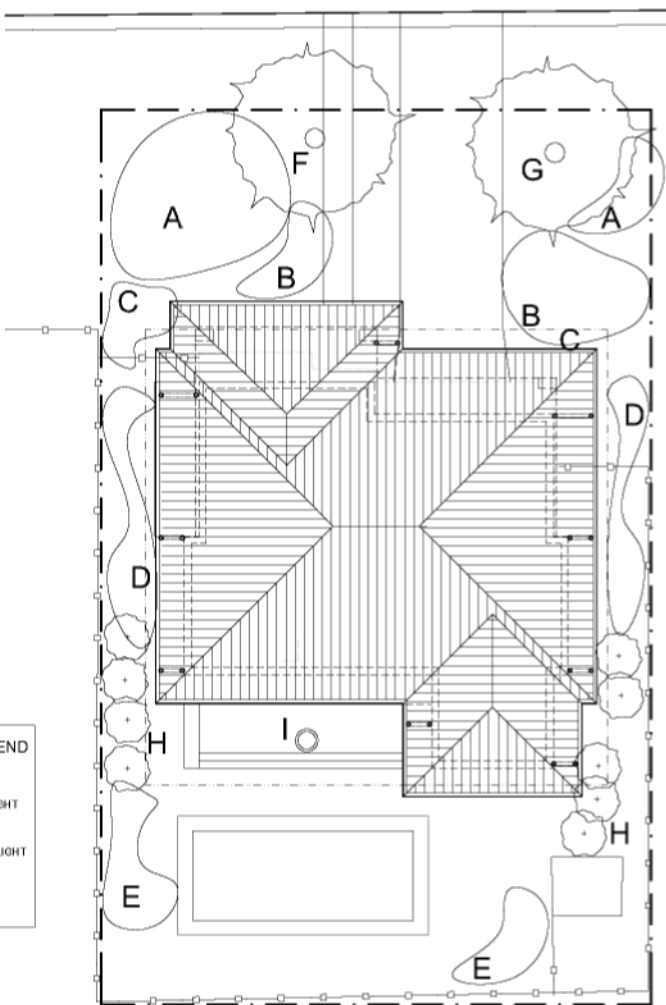
PRECEDENCE FOR GARAGE VARIANCE

A103

SCALE AS NOTED 1/128" = 1'-0"
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2
104 SCHEMATIC LIGHTING PLAN scale: 1/8" = 1'-0" north



1
104 SCHEMATIC LANDSCAPE PLAN scale: 1/8" = 1'-0" north

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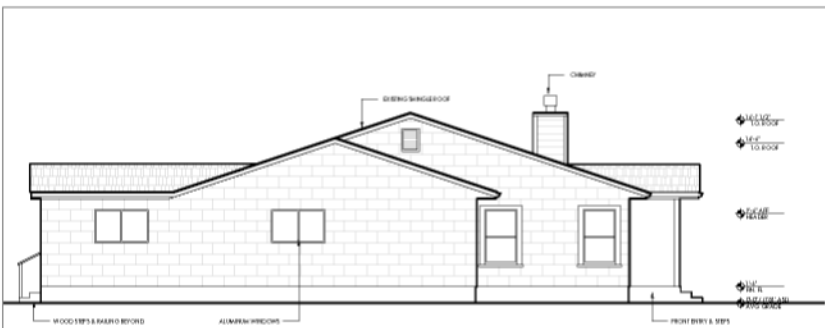
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KOLAR RESIDENCE
 270 E. DARVIEW PLACE
 SAN ANTONIO, TX 78206

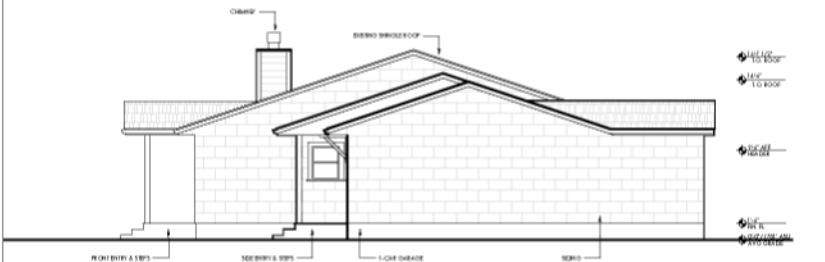
Project number: 192081
 Date: 4.20.2020

**LANDSCAPING &
 EXTERIOR LIGHTING
 PLANS
 A104**

SCALE: AS NOTED 1/8" = 1'-0"
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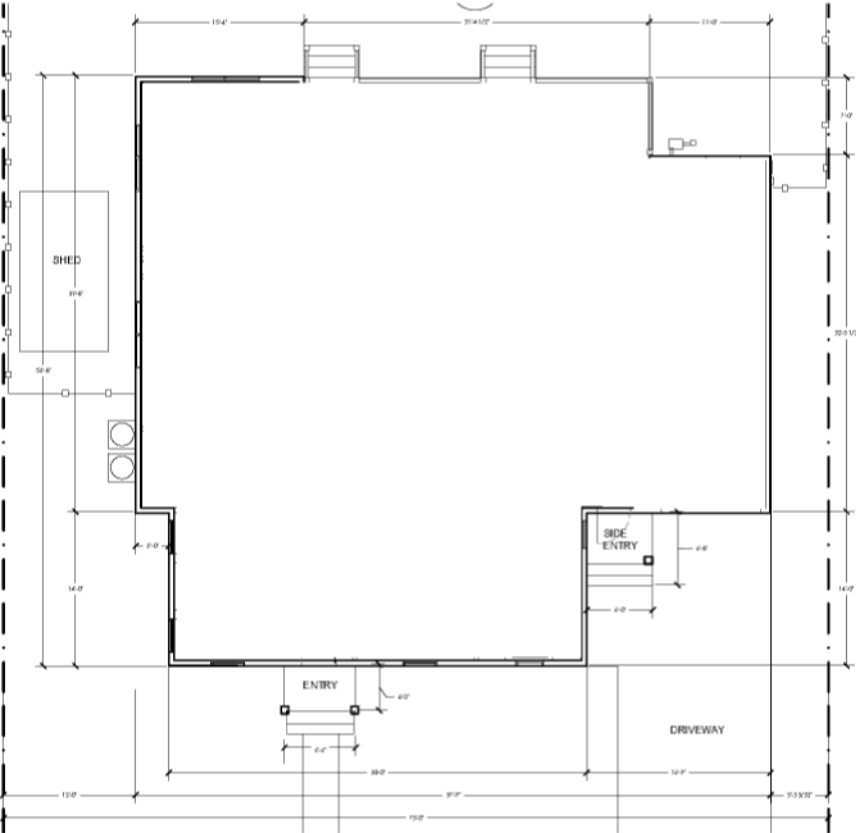
5
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EXISTING/DEMOLITION - EXISTING EAST FACADE
scale: 3/16" = 1'-0"



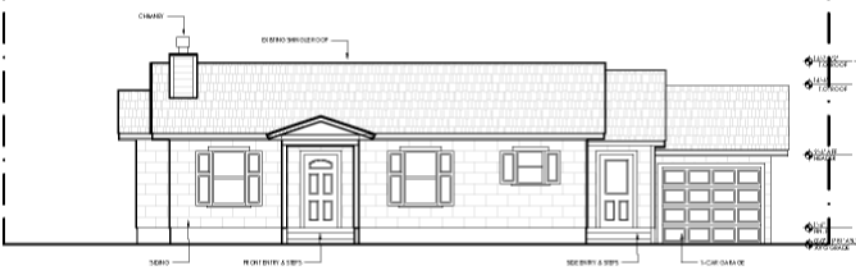
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EXISTING/DEMOLITION - EXISTING WEST FACADE
scale: 3/16" = 1'-0"



2
200
EXISTING/DEMOLITION - EXISTING SOUTH FACADE
scale: 3/16" = 1'-0"



3
200
EXISTING/DEMOLITION FLOOR PLAN
scale: 3/16" = 1'-0"



1
200
EXISTING/DEMOLITION - EXISTING NORTH FACADE
scale: 3/16" = 1'-0"

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ISSUE

02.03.2020	Preliminary Plan Review
04.04.2019	Plan Review Submittal
04.20.2020	Board of Adjustments - Rev1
05.20.2020	Board of Adjustments - Rev2
05.26.2020	Architecture Review Board

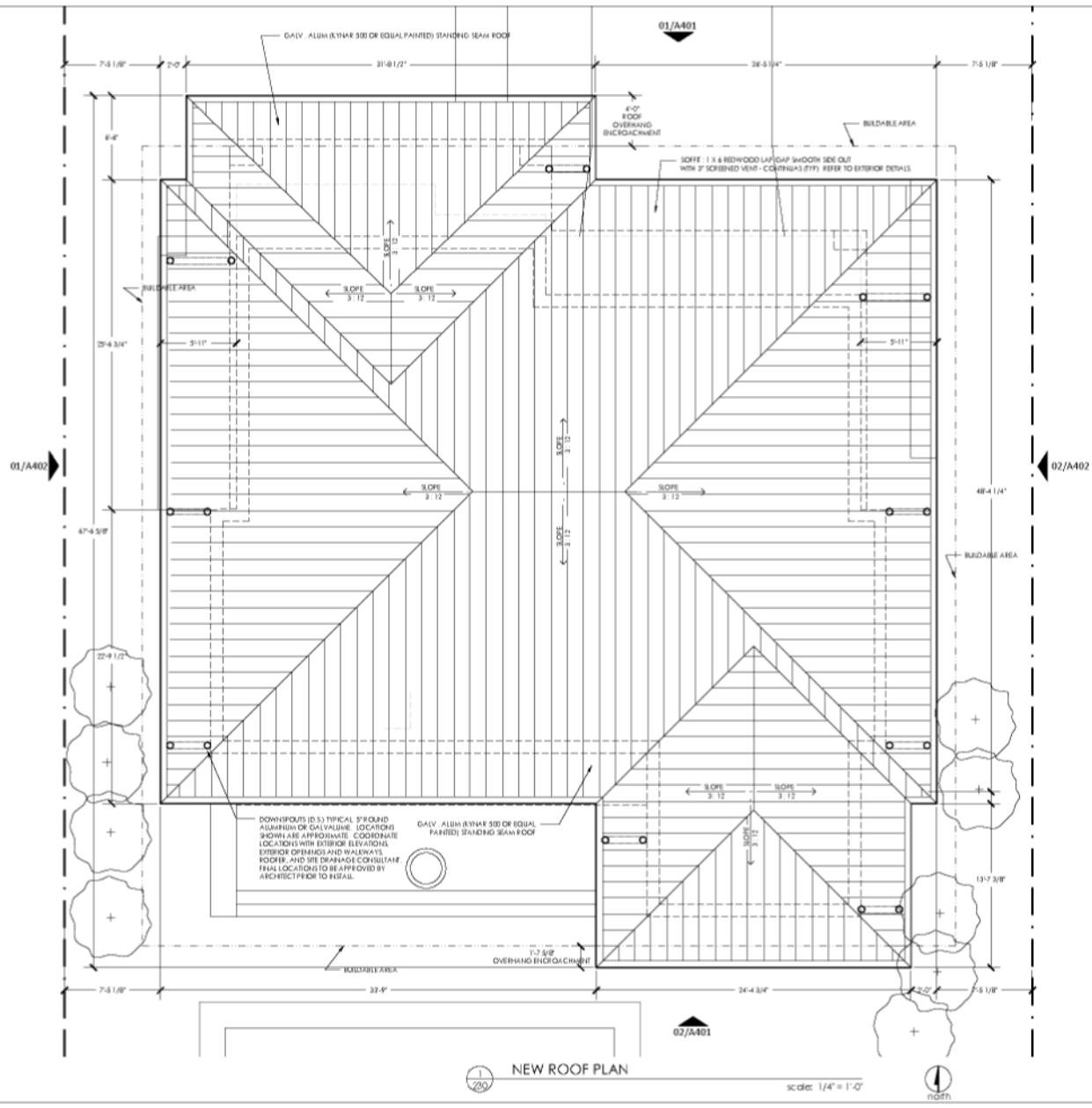
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210-991-9929 joseph@ae-engineering.com

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architecture
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www.masonros.com 504.250.8487

KOLAR RESIDENCE
270 E. OAKVIEW PLACE
SAY BROOK, TX 76086
Project number: 470811
Date: 4.20.2020

**EXISTING AND
PROPOSED
STREETSCAPE
A 403**

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 05.20.2020 Board of Adjustments - Rev2

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KOLAR RESIDENCE
 370 E. OAKVIEW PLACE
 SAN ANTONIO, TX 78209

Project number: 192081
 Date: 4.20.2020

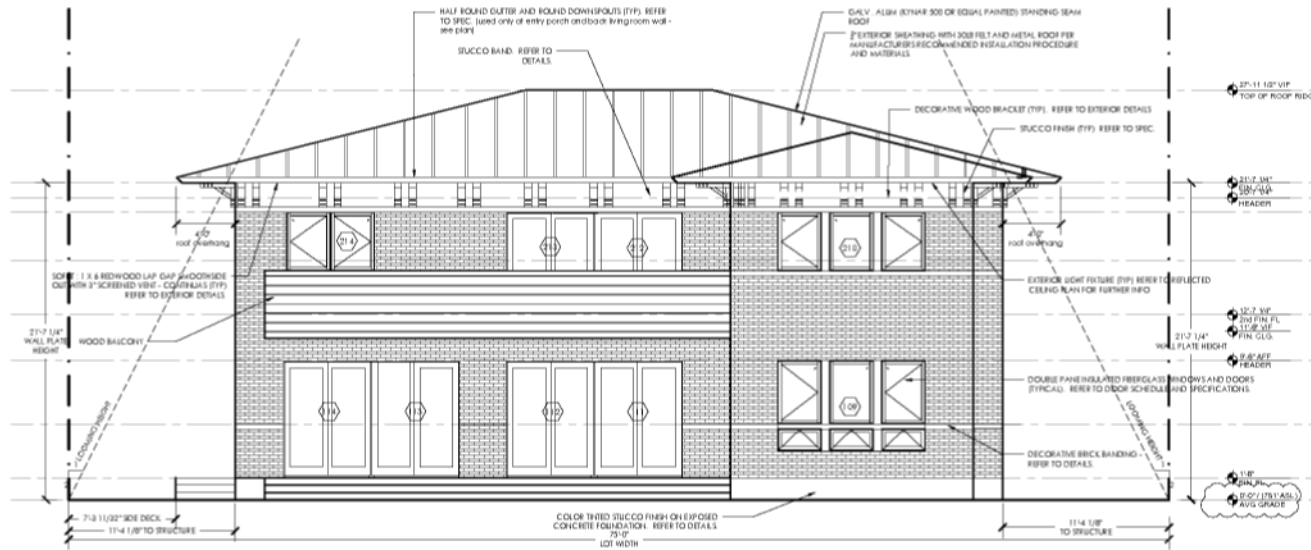
NEW ROOF PLAN

A230
 SCALE: AS NOTED 1/4" = 1'-0"
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NEW ROOF PLAN
 scale: 1/4" = 1'-0"

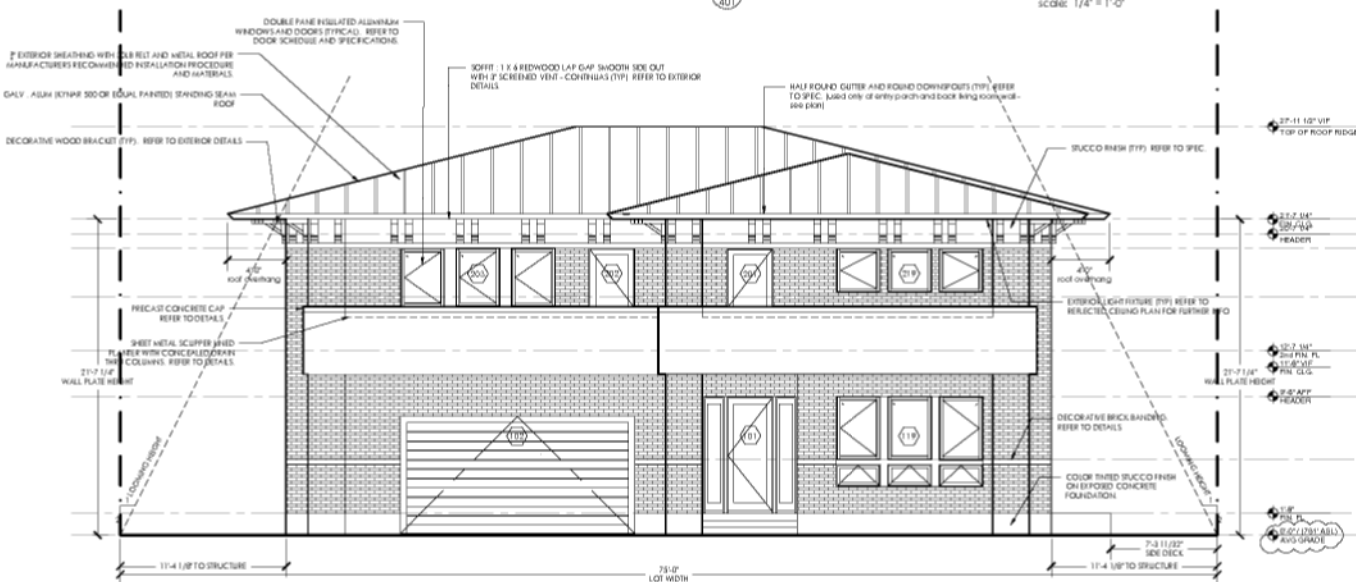


- NOTES:
1. ALL BRICK TO BE MODULAR BRICK SIZE. COLOR SELECTION BY OWNER.
 2. STAINED MORTAR (COLOR BY OWNER) TO BE RAKED IN THE HORIZONTAL DIRECTION AND FLUSH IN THE VERTICAL JOINT.
 3. REGARDING DECKS AT 1ST FLOOR:
WOOD DECKS AT WEST SIDE AND REAR OF HOUSE TO BE SEALED AN STAINED OF COLOR TO BE DETERMINED BY OWNER. WOOD DECKS TO BE SPACED WITH NAIL HEAD WIDTH SO ALL DRAINAGE TO BE THROUGH DECK TO GROUND.
 4. CONSTRUCTION FENCE TO BE INSTALLED BETWEEN HOUSE CONSTRUCTION AND POOL AREA.
 5. ALL CONSTRUCTION TO BE DONE IN ACCORDANCE TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AND ORDINANCES.
 6. ALL TREES AND PLANTING TO REMAIN TO BE PROTECTED DURING CONSTRUCTION.
 7. NO LUNCH DEBRIS TO BE LEFT AFTER END OF CONSTRUCTION DAY WITH GENERAL CLEANUP TO OCCUR DAILY.
 8. LANDSCAPE LIGHTING TO BE INSTALLED BY LANDSCAPE CONTRACTOR. LOCATION OF ELECTRICAL OUTLETS FOR LIGHTING TO BE COORDINATED BY GENERAL CONTRACTOR.
 9. DRIVEWAY AND WALKS TO BE POURED LAST AFTER MAJOR HOUSE CONSTRUCTION CLOSE TO COMPLETION AND HEAVY CEMENT AND DELIVERY TRUCKS ARE DONE WITH DELIVERIES.
 10. FINAL PUNCH LISTS TO BE COMPLETED BEFORE CONSTRUCTION FENCE PROTECTION POOL REMOVED.



EXTERIOR ELEVATIONS - SOUTH

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS - NORTH

SCALE: 1/4" = 1'-0"

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KOLAR RESIDENCE
370E OAKVIEW PLACE
SAFV ANTONIO, TX 78209

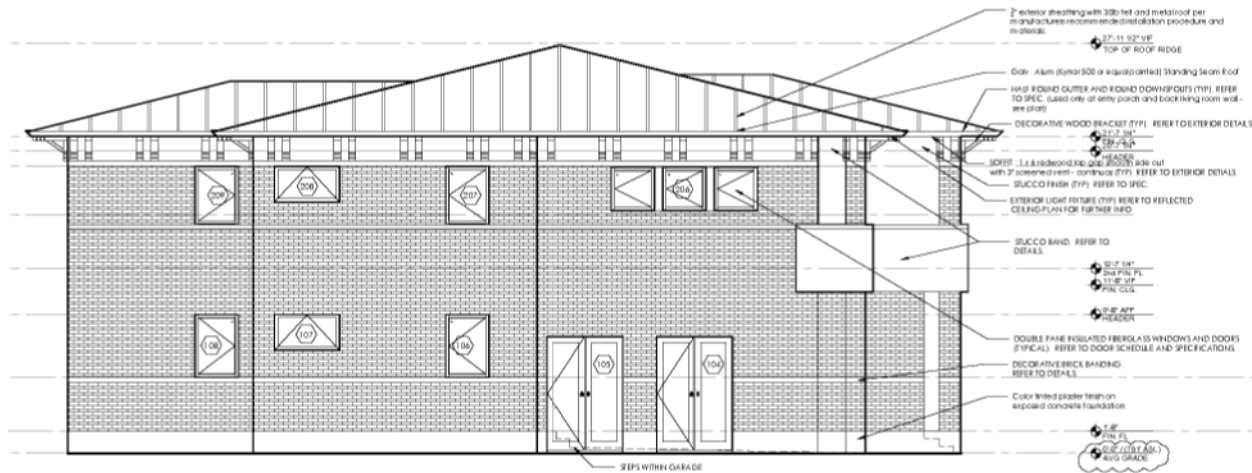
Project number: 192081
Date: 4.20.2020

EXTERIOR ELEVATION
SOUTH / NORTH

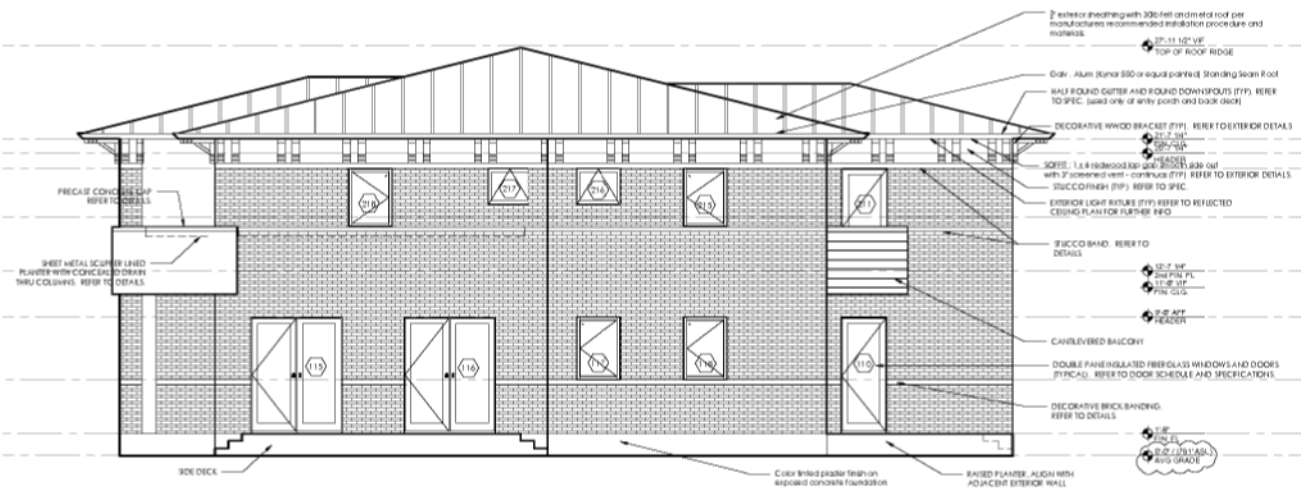
A401
SCALE: AS NOTED 1/4" = 1'-0"
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- NOTES:
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 10. FINAL PUNCH LISTS TO BE COMPLETED BEFORE CONSTRUCTION FENCE PROTECTION POOL REMOVED.



2
402
EXTERIOR ELEVATIONS - EAST
SCALE: 1/4" = 1'-0"



1
402
EXTERIOR ELEVATIONS - WEST
SCALE: 1/4" = 1'-0"

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KOLAR RESIDENCE
370E OAKVIEW PLACE
SAN ANTONIO, TX 78206

Project number: 200815
Date: 4.20.2020

EXTERIOR ELEVATION
WEST / EAST

A402
SCALE: AS NOTED 1/4" = 1'-0"
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ADJACENT EAST STRUCTURE
SINGLE-FAMILY RESIDENCE



PROJECT SITE
EXISTING SINGLE-FAMILY RESIDENCE
TO BE DEMOLISHED.
EXISTING FRONT-FACING GARAGE NOT SETBACK PER ZONING.



ADJACENT WEST STRUCTURE
EXISTING SINGLE-FAMILY HOME WITH FRONT-FACING GARAGE NOT
SETBACK PER ZONING.



SECOND STRUCTURE WEST OF PROJECT
EXISTING SINGLE-FAMILY STRUCTURE WITH FRONT-FACING GARAGE
NOT SETBACK PER ZONING.



EXISTING STREETScape
SCALE: N.T.S.



ADJACENT EAST STRUCTURE
SINGLE-FAMILY RESIDENCE



PROJECT SITE
PROPOSED SINGLE-FAMILY RESIDENCE



ADJACENT WEST STRUCTURE
EXISTING SINGLE-FAMILY HOME WITH FRONT-FACING GARAGE NOT
SETBACK PER ZONING.



SECOND STRUCTURE WEST OF PROJECT
EXISTING SINGLE-FAMILY STRUCTURE WITH FRONT-FACING GARAGE
NOT SETBACK PER ZONING.



PROPOSED STREETScape
SCALE: N.T.S.

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Board of Adjustments	04.20.2020
Board of Adjustments - Rev1	05.20.2020
Board of Adjustments - Rev2	05.26.2020
Architecture Review Board	05.26.2020

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KOLAR RESIDENCE
270 E. DARVIEW PLACE
SAN ANTONIO, TX 78206

Project number: 190815
Date: 4.20.2020

**EXISTING AND
PROPOSED
STREETScape
A 403**

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