



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Board of Adjustment Meeting
Wednesday, September 06, 2023 – 5:30 P.M.

Take notice that a regular meeting of the Board of Adjustment of the City of Alamo Heights will be held on **Wednesday, September 06, 2023, at 5:30pm** in the City Council Chambers, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects which may come before it.

***INSTRUCTIONS FOR TELECONFERENCE:** The City will make reasonable efforts to allow members of the public to participate via audio by dialing 1- 346-248-7799 and enter access number 893 9488 9735#. If you would like to speak on a particular item, when the item is considered, press *9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.*

The City cannot guarantee participation by phone due to unforeseen technical difficulties or provide prior notice if they occur; therefore, the City urges your in-person attendance if you require participation.

Case No. 2393 – 250 Tuxedo Ave

Application of Susan M Scott, owner, represented by Rodney McKinley Sr of Decorum Construction LLC, applicant, requesting the following variance(s) in order to demolish the existing garage and construct a new detached carport at the property located at **CB 4024, BLK 304, LOT 6, W 2.5 of 7**, also known as **250 Tuxedo Ave**, zoned SF-A:

1. A proposed 1.9ft side yard setback instead of the minimum 3ft required per Section 3-15(3) and 3-82(3),
2. The proposed lot coverage of 46.4% exceeds the maximum 40.0% allowed per Section 3-17 of the City’s Zoning Code.

Plans may be viewed online* (www.alamoheightstx.gov/departments/planning-and-development-services/public-notices) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Michelle Ramos, Planner (mramos@alamoheightstx.gov) or Lety Hernandez, Director, (lhernandez@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.

BOARD OF ADJUSTMENTS REQUEST

250 Tuxedo Avenue, San Antonio, TX 78209

09 August 2023

We request permission to maintain the current southeast setback used for the existing garage when replacing it with a carport. We wish to demolish the deteriorating 12ft x 25ft (300 square feet) garage, and construct a 12ft x 27ft (324 square feet) carport in its place. Instead of the six (6) feet setback requirement in Sec.3-15. 'Side yard setbacks and side articulation,' the setbacks maintained will be 1.9ft; see the attached boundary survey, dated 29 Aug 2007. The carport will be a flat roof and max 14ft in height, and will be constructed with the same framing and roofing materials as the main residence.

In reference to Sec. 3-21. 'Required off-street parking,' we request permission utilized the minimum required parking space of 324 square feet overall at 12ft x 27ft vice the two parking spaces at eighteen (18) feet by nine (9) feet each. This allows us to utilize the existing footprint with minimum alterations.



City of Alamo Heights
Residential Permit Application*
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 Broadway, Alamo Heights, Texas 78209
CDS Dept. v: (210) 826-0516 f: (210) 832-2299
Fire Dept. v: (210) 824-1281 f: (210) 828-3006

General Permit Information [Please print legibly]			Permit # (assigned by Staff):		
Project Address: 250 TUXEDO AVE, ALAMO HEIGHTS			Application Date: 22 JULY 2023		
Project Type – Please check all that apply:					
<input type="checkbox"/> New construction _____ sq. ft. <input type="checkbox"/> Addition _____ sq. ft. <input type="checkbox"/> Remodel/Alterations _____ sq. ft. <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Pool/Spa					
<input type="checkbox"/> Fence <input type="checkbox"/> Retaining Wall <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Sewer <input type="checkbox"/> Gas <input type="checkbox"/> Irrigation <input type="checkbox"/> Landscape					
<input type="checkbox"/> Tree Pruning/Removal <input checked="" type="checkbox"/> Other <u>CARPORT</u>					
Materials (if applicable): Roof <u>METAL</u> Exterior Walls _____ Foundation _____ Flatwork _____					
Is the property in the 100-Year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			Does this project involve any removal of trees? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Check One: <input type="checkbox"/> Architect/Engineer <input checked="" type="checkbox"/> Registered Contractor <input type="checkbox"/> Home/Property Owner*					
Scope of Work (This section must be filled out. If more space is needed, another sheet may be attached.) <u>Demo Existing garage due to degradation. Reconstruct a carport to cover two cars using the same footprint as the existing garage.</u>					
Lot Coverage* / Floor Area Ratio (FAR)	Existing (In sq. ft.)	Proposed (In sq. ft.)	Total Impervious Cover for Stormwater Development Fee	Existing (In sq. ft.)	Proposed (In sq. ft.)
Lot area	7950	7950	Footprint of all structures	3823	3823
Main house: 1st floor*	1743	1743	Driveway/Parking Pad	2627	2627
Main house: 2nd floor	854	854	Walkways	65	65
Front porch*	205	205	Swimming Pool/Spa	NA	NA
Side porch*	NA	NA	Other impervious cover:	NA	NA
Rear porch*	721	721	Total Impervious Cover:	82%	82%
Garage/Carport: 1st floor*	300	300	Stormwater Development Fee:		
Garage: 2nd floor	NA	NA	Impervious Cover within Front Yard Setback Area	Existing (In sq. ft.)	Proposed (In sq. ft.)
Shed*	NA	NA	Front yard setback area	2632	2632
Breezeway*	NA	NA	Footprint of any structure(s)	NA	NA
Covered patio structure*	721	721	Driveway/Parking Pad	1907	1907
Other accessory structures*	NA	NA	Walkways	35	35
Total Square Footage:	3823	3823	Other impervious cover:	NA	NA
Total Lot Coverage*:	48%	48%	Total Impervious Cover within Front Yard Setback:	72.45%	72.45%
Total FAR:	3823	3523			
Max. 40% lot coverage for SF-A and SF-B Districts			Max. 30% impervious cover within front yard setback for SF-A and SF-B Districts Max. 65% impervious coverage for 2F-C Districts		

*Failure to provide any information required on or along with this application will result in refusal to accept submission of this application and associated plan documents until all information required is provided.

**Projects undertaken by the home/property owner which reflect typical contractor related work such as grading, excavation, and demolition, or which utilizes equipment atypical to a home/property owners work shall be limited by the authorized hours of construction as would a typical general contractor.

I hereby acknowledge that I have read and completed this application and know the same to be true and correct. This project as submitted complies with the International Code series and NEC, as currently adopted by the City of Alamo Heights, and with the Code of Ordinances of the City of Alamo Heights. I hereby acknowledge that no work has or will commence on the proposed project until an approved permit is received. All provisions of laws and ordinances governing the proposed work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any federal, state or local ordinances regulating construction, the performance of construction or the use of any land or buildings.

Austen M. Scott
Signature of Property Owner (if applicable)
Roderick T. McWhorter Jr

Date: 9 Aug 23

Signature of Permit Applicant

Date: 24 July 2023

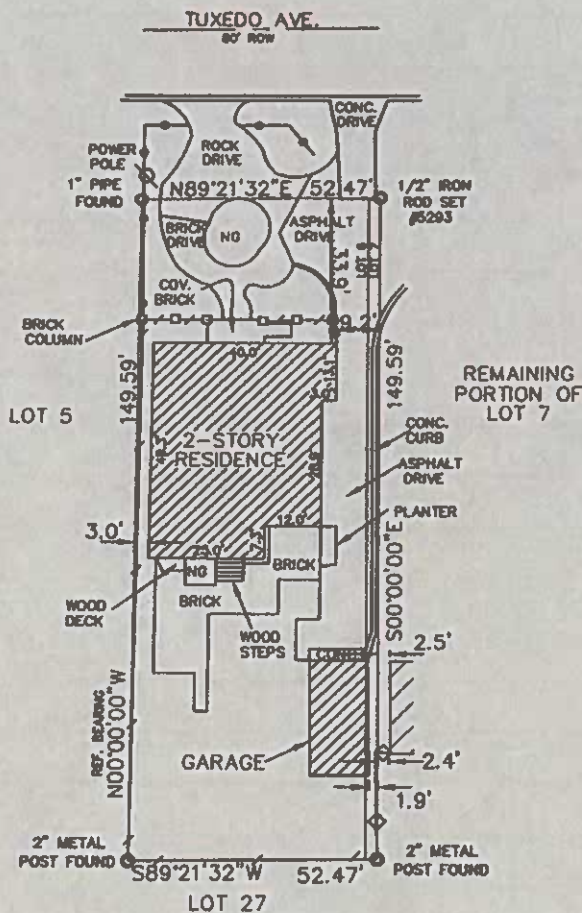
Permit Applicant is ☐ Architect/Engineer, ☒ Registered Contractor, or ☐ Authorized Agent

Boundary Survey
1033603

SUBJECT TO RECORDED RESTRICTIVE COVENANTS AND/OR EASEMENTS AS FOLLOWS:

VL. 437 PAGE 5 DEED RECORDS VL. 812 PAGE 510 DEED RECORDS
VL. 478 PAGE 365 DEED RECORDS VL. --- PAGE --- DEED RECORDS

NOTE: BEARINGS AND DISTANCES WERE BASED ON FIELD CONDITIONS.



1" = 30'
GRAPHIC SCALE
0 15 30

RLS #: 07-09-2158
CLIENT #: 1055805-6A40
FIELD DATE: 8/29/07
DRAFTER: NARCISO ALANIZ
APPROVED: STEPHEN COOK
SCALE: 1" = 30'

ADDRESS
250 TUXEDO AVE.
ALAMO HEIGHTS, TEXAS
78209

LEGAL DESCRIPTION: (AS FURNISHED)
LOT 6 AND THE WEST 2.5' OF LOT 7, BLOCK 384
ALAMO HEIGHTS, CITY OF ALAMO HEIGHTS
VOL. 185 PG. 290-296 DEED AND PLAT RECORDS OF BEXAR COUNTY TEXAS

BASIS OF BEARINGS: N 00°00'00" W 149.59'

LIST OF POSSIBLE ENCROACHMENTS: SEE DRAWING.

SURVEYOR INFORMATION:

SGC
STEPHEN G. COOK ENGINEERING, INC.
REGISTERED LAND SURVEYORS
12000 STARCREST, SUITE 107
SAN ANTONIO, TEXAS 78247-4117
210/481-2533 • FAX: 210/481-2150

FIRST AMERICAN
Title Insurance Company

NAVY FEDERAL

SeeMyNewHome!

SURVEYOR FILE NUMBER: 006-215-000
The Certified Registered Professional Land Surveyor signing this survey does so under the authority and jurisdiction of the State of Texas.

CERTIFIED TO: (AS FURNISHED)
First American Title Insurance Company
Borrower name: SUSAN H. SCOTT
Lender name: NAVY FEDERAL CREDIT UNION

NOTES
1. UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OVERHEAD UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY.
2. THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCIAL AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
3. MUNICIPAL RESTRICTIONS ARE NOT SHOWN.

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

LEGEND
X BARBED WIRE
O IRON FENCE
△ SMOOTH WIRE
◇ CHAIN LINK FENCE
/ / WOOD FENCE
— WATER FLOW
COV: COVERED
A/C: AIR CONDITIONER
C.B.: CHORD BEARING
CONC.: CONCRETE
P.P.: POWER POLE
P.B.S.: POINT OF BEGINNING
ONE OVERHEAD UTILITY LINE

RESIDENTIAL LAND SERVICES, INC.
FOR ALL INQUIRIES CONTACT:
RLS, INC.
info@rlsinc.com
(408) 781-1100

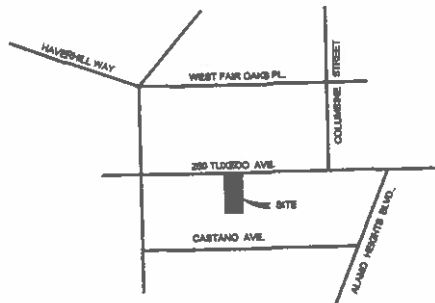
SURVEYOR'S CERTIFICATE
I, Stephen G. Cook, Texas Registered Professional Land Surveyor No. 5283, do hereby certify that the survey plat herein is a true and accurate representation of the property herein described, and do further state that this survey accurately depicts the substantial improvements to said property as located on the ground, and that there are no encroachments onto said property by any such improvements except as shown herein.

SURVEYOR'S NAME **DATED: 8/29/07**

NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL

DATE	REVISION	DATE	REVISION

Reviewed & Accepted by: _____ Date _____ / _____ Date _____



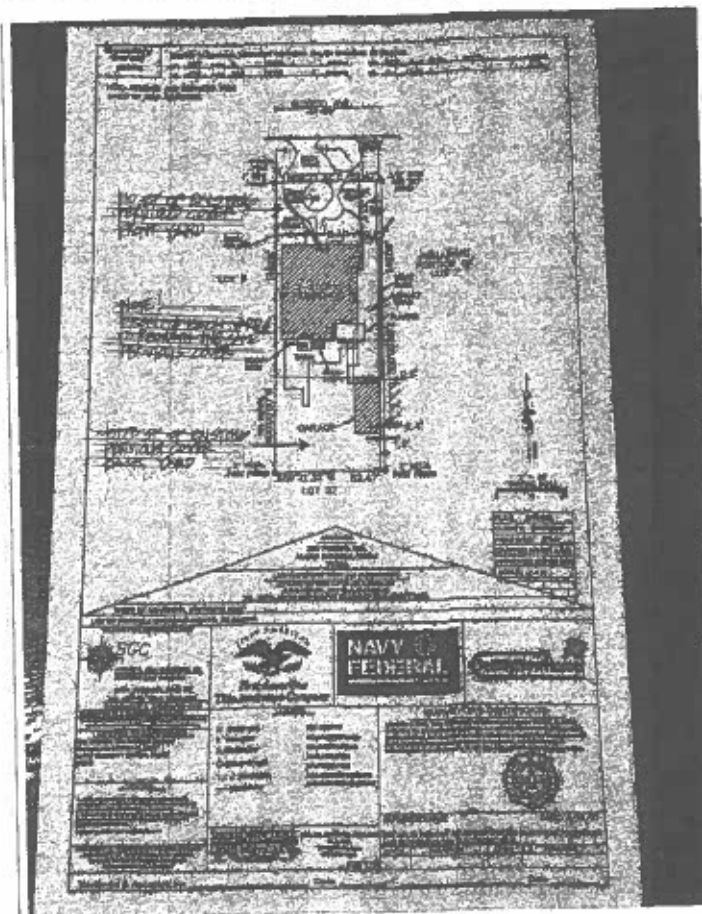
LOCATION MAP

INDEX TO DRAWINGS

ARCHITECTURAL

S-1 SITE PLAN / LOCATION MAP

A-1 FLOOR PLAN / ELEVATIONS / ROOF PLAN /
FRAMING PLAN / FOUNDATION / DETAILS



SURVEYOR SITE PLAN

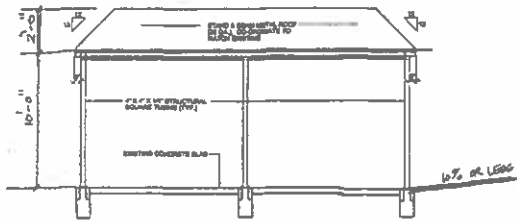
SCALE: NONE

A PERSONALIZED CARPORT DESIGN FOR
250 TUXEDO AVENUE
 SAN ANTONIO, TEXAS

Terrazas and Associates, Inc.
 Consulting Engineers
 Building 1, 7-1153
 James A. Terrazas, P.E.
 Texas No. 12345

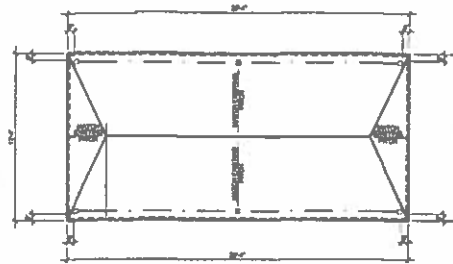
REVISION	DATE	BY	CHKD
1	10/1/83	JAT	JAT

PROJECT #
 DATE: 10/1/83
 DESIGNED BY: JAT
 CHECKED BY: JAT
 SHEET #
S-1
 of 1



LEFT & RIGHT ELEVATIONS

SCALE: 1/4" = 1'-0"



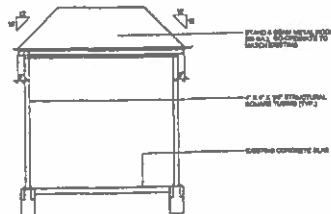
ROOF PLAN

SCALE: 1/4" = 1'-0"



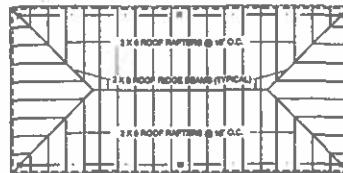
EXISTING SLAB

SCALE: 1/4" = 1'-0"



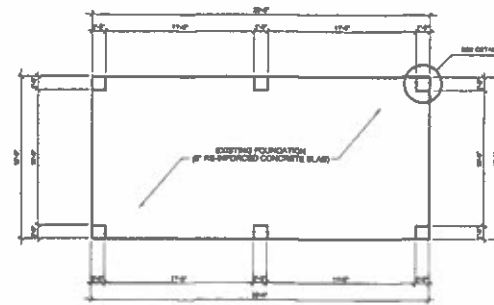
FRONT & REAR ELEVATIONS

SCALE: 1/4" = 1'-0"



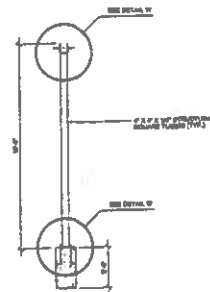
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

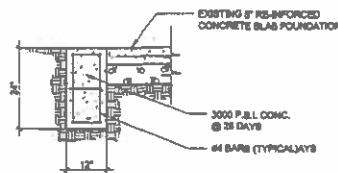
SCALE: 1/4" = 1'-0"



COLUMN DETAIL

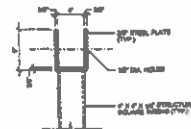
SCALE: NONE

NOTE:
USE 1/2" DIA. x 12" LONG
7 BOLTS FOR EACH
COLUMN PLATE



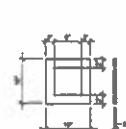
DETAIL 'A' CONCRETE FOOTING

SCALE: 1/4" = 1'-0"



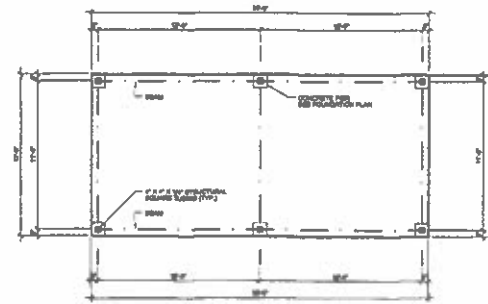
DETAIL 'A'

SCALE: NONE




DETAIL 'B'

SCALE: NONE



FLOOR PLAN

SCALE: 1/4" = 1'-0"



A PERSONALIZED CARPORT DESIGN FOR
250 TUXEDO AVENUE
 ALAMO HEIGHTS, TEXAS

Terrazas and Associates, Inc.
 Consulting Engineers
 Balcones, Texas 78163
 John A. Terrazas, P.E.
 Phone No. (214) 353-9973

F 11217

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT

PROJECT # _____
 DATE: _____
 DRAWN: JAT
 CHECKED BY: JAT

SHEET #
A-1
 - 4

