

Jorge Cavazos and Yvette Almendarez
223 Allen Street
Alamo Heights, TX 78209

August 12th, 2020

City of Alamo Heights
Community Development Services
616 Broadway Street
Alamo Heights, TX 78209

To Whom It May Concern:

We are the owners of 223 Allen St in Alamo Heights. Allen Street is a short street that begins at Estes Ave and extends to the northwest for 2 blocks before reaching a dead-end at a creek bed. Our property is the last lot on the northwestern terminus of the street. The property presents several challenges for development, including sloping topography and an irregular lot shape. After purchasing the property, we demolished the existing home and have plans to construct a new home on the site. We have worked diligently with our architect and engineers to develop a best-use solution for the property. The home will be a Spanish style residence utilizing many reclaimed materials including wood beams, doors, and roof tiles. The plan includes construction of a swimming pool and deck area. While the vast majority of the home is single-story, there is a small guest suite and a storage area on a lower level.

Sincerely,

Jorge Cavazos & Yvette Almendarez

Property Address 223 Allen St Architecture/Structure Type 2 story home
 Original Architect Unknown Year Built 1941

Lot Coverage*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Lot area	16,988		16,988	
Main house footprint	4,371		4,804	
Front porch	NA		224	
Side porch 1	200		NA	
Side porch 2 <u>Deck</u>	225		NA	
Rear porch	NA		378	
Garage footprint	NA		830	
Carport footprint	NA		NA	
Shed footprint	152		NA	
Breezeways	NA		220	
Covered patio structure	150		340	
Other accessory structures <u>Greenhouse</u>	50		NA	
Total (total lot coverage/lot area):	<u>5,148 / 16,988</u>	<u>/</u>	<u>6,796 / 16,988</u>	<u>/</u>
Total Lot Coverage:	<u>30 %</u>	<u>___ %</u>	<u>40 %</u>	<u>___ %</u>
Floor Area Ratio (FAR)**	Applicant	Staff	Applicant	Staff
Lot area	16,988		16,988	
Main house: 1st floor	683		1,261	
Main house: 2nd floor	4,371		4,804	
Garage: 1st floor	NA		830	
Garage: 2nd floor	NA		NA	
Other structures (unless exempted - see below)	552		NA	
Total (total FAR/lot area):	<u>5,606 / 16,988</u>	<u>/</u>	<u>6,895 / 16,988</u>	<u>/</u>
Total FAR:	<u>0.33</u>	<u>0. ___</u>	<u>0.40</u>	<u>___ %</u>
Height of Main Structure:	<u>25'</u>		<u>24' 1 1/2"</u>	

***Lot coverage** is defined as the percentage of the total lot area covered by a roof, floor or other buildings excepting eaves. Carports, sheds, porches, covered pedestrian walkways, breezeways, arbors, gazebos and covered patios are included in lot coverage calculations (**Exception:** The maximum lot coverage shall exclude free-standing entryway arbors with open-air lattice framework under fifty (50) square feet in area and eight (8) feet in height, and other free-standing open-air lattice/trellis structures located within a side or rear yard up to twelve (12) feet in height, totaling three hundred (300) square feet or less and subject to other standards governing accessory structures.

****Floor area ratio (FAR)** is defined as the ratio of the total above ground gross floor area of all structures on a site to the total square footage of a lot (for example, a FAR of .53 for a seven thousand five hundred (7,500) square foot lot is three thousand nine hundred seventy-five (3,975) gross square feet (.53 X 7,500) of floor area). The following areas shall be included when computing the gross floor area:

- (1) Exterior walls: The thickness of the wall shall be included in the calculation;
- (2) Above grade floor area: Any room that has a wall surface that extends more than three (3) feet above grade;
- (3) Laundry rooms, mechanical rooms, storage rooms, built-in cabinets and media niches;
- (4) Mezzanines and lofts;
- (5) Floor area used by stairways, elevators, escalators and similar features. The floor area of each run of stairs shall be counted once;
- (6) Vaulted ceilings: the floor area shall be counted at the actual floor area only and not in the air spaces;
- (7) Usable spaces (generally defined as having a five (5) foot minimum height) such as rooms, closets and cabinets under a run of stairs;
- (8) Exterior structures and additions with a solid roof and enclosed on more than two (2) sides in whole or part with permanent solid walls or windows such as porches, balconies, patios and breezeways;
- (9) Attached and detached garages and carports; and
- (10) Accessory buildings such as sheds, pool houses, guest houses, bonus rooms and second units.

The following areas shall not be included when computing the gross floor area:

- (1) Below grade floor area: any area that has a wall surface that extends less than three (3) feet above grade;
- (2) Porches, balconies, patios, breezeways, decks, overhangs, eaves, cantilevers and awnings with solid roof-like cover, but not enclosed on more than two (2) sides;
- (3) Porches, balconies, patios, breezeways and decks that do not have a solid roof-like cover; and
- (4) Attic space that is not habitable. If made habitable in the future, shall be included in floor area ratio.

Definitions as listed per City of Alamo Heights "Code of Ordinances" can be found at www.municode.com (Ch. 3 "Zoning," Sec. 3-2 "Definitions")

Property Address 223 Allen St.

Total Impervious Cover Sq. Ft. for Stormwater Development Fee*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Footprint of all structures	4,723		5,634	
Driveway/Parking Pad	2,400		631	
Walkways	3,500		1,196	
Swimming Pool/Spa	350		592	
Other impervious cover: _____			1,318	
Total impervious surface cover (in this project):	10,973		9,371	
Total impervious surface cover <u>removed/existing</u> (in this project):			10,973	-
Total impervious surface cover <u>sq. ft.</u> (proposed minus removed = net figure for this project)*			(1,602)	
Stormwater Development Fee*			\$	\$

Impervious Surface Cover within front yard setback**	Applicant	Staff	Applicant	Staff
Front yard setback area	3,000		3,000	
Footprint of any structure(s)	100		474	
Driveway/Parking Pad	1,850		384	
Walkways	700		322	
Other impervious cover: _____			NA	
Impervious surface cover within front yard setback in this project	2,650		1,180	
Impervious surface cover <u>removed/existing</u> within front yard setback in this project			-2,650	-
Impervious surface cover net proposed <u>sq. ft.</u> within front yard setback			-(1,470)	
Impervious surface cover proposed within front yard setback			B / A	B / A
			39 %	___ %

*The stormwater development fee shall be equivalent to the net additional square footage of total impervious surface area (excluding public sidewalks) of the property multiplied by \$0.40.

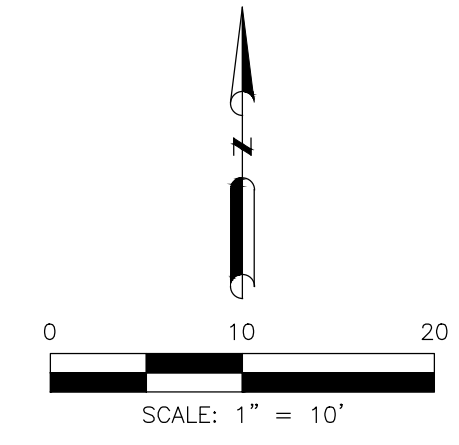
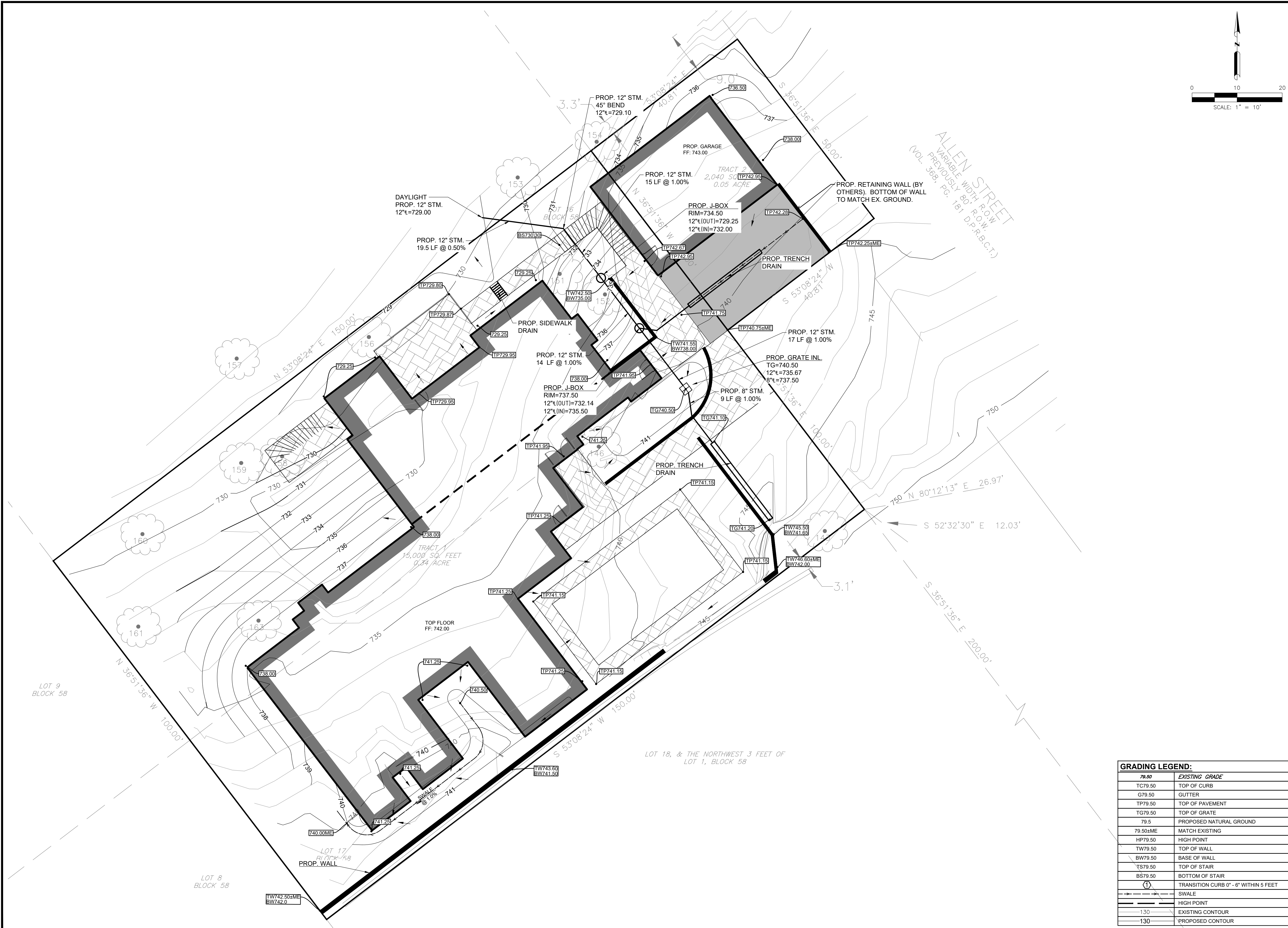
Exemptions. The following real property, only, shall be exempt from the provisions of this section:

- (1) Property owned by the City of Alamo Heights and/or dedicated to right-of-way for public streets and/or to provide drainage service; and
- (2) Property with proper construction and maintenance of a privately owned drainage or stormwater system wholly sufficient to provide all the drainage or stormwater service for that property.

**Depending on property's zoning district, the maximum impervious surface allowed within the front yard setback area is 30% (per Sec. 3-18) and 40% (per Sec. 3-50; please refer to Code for other regulations).

Impervious cover. Ground surfaces including concrete or paved driveways, sidewalks, parking lots, building and other improvements that resist the infiltration of water, thereby resulting in water runoff. Impervious cover includes any surface material or surface treatment or surface condition which sheds fifty (50) percent or more of rainfall, or water, which falls on it.

City of Alamo Heights "Code of Ordinances" can be found at www.municode.com (Ch. 3 "Zoning," Sec. 3-18, Sec. 3-50; Ch. 13 "Storm Drainage," Sec. 13-29 "Stormwater development fee" and Sec. 13-1 "Definitions").

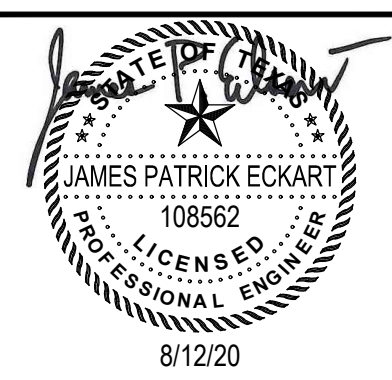


BENCHMARKS:

SHEET NOTES:

- GRADING NOTES:**
1. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 2. ALL SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSWALKS, SHALL CONFORM TO ALL APPLICABLE AMERICANS WITH DISABILITIES ACT STANDARDS AND THE TEXAS ACCESSIBILITY STANDARDS. IF ANY DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO POURING ANY PAVEMENT.
 3. ALL SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSWALKS, SHALL NOT EXCEED A RUNNING SLOPE OF 5% (1:20) WITHOUT A RAMP, AND SHALL NOT EXCEED A 2% CROSS SLOPE (1:50).
 4. THE ACCESSIBLE PARKING AND PASSENGER LOADING AREAS SHALL NOT EXCEED A SLOPE OF 2% (1:50) IN ANY DIRECTION.
 5. ALL EXISTING APPURTENANCES ON SITE SHALL BE ADJUSTED TO PROPOSED GRADE AS APPLICABLE.
 6. CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT AND ALL ADDENDA FOR BUILDING PAD LIMITS AND PREPARATION REQUIREMENTS.
 7. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS, AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.

REV	DESCRIPTION	DATE



WGA
CONSULTING ENGINEERS

WARD, GETZ & ASSOCIATES, PLLC
TEXAS REGISTERED ENGINEERING FIRM F-9756
9901 I.H. 10 West, Suite 800
San Antonio, Texas 78230
210.477.8564

223 ALLEN

GRADING & DRAINAGE PLAN

SCALE 1"=10'	DESIGN JPE	DRAWN JPE
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SHEET
C1.0

GRADING LEGEND:

79.50	EXISTING GRADE
TC79.50	TOP OF CURB
G79.50	GUTTER
TP79.50	TOP OF PAVEMENT
TG79.50	TOP OF GRATE
79.5	PROPOSED NATURAL GROUND
79.50+ME	MATCH EXISTING
HP79.50	HIGH POINT
TW79.50	TOP OF WALL
BW79.50	BASE OF WALL
TS79.50	TOP OF STAIR
BS79.50	BOTTOM OF STAIR
(T)	TRANSITION CURB 0' - 6" WITHIN 5 FEET
(S)	SWALE
(H)	HIGH POINT
130	EXISTING CONTOUR
130	PROPOSED CONTOUR



ALLEN STREET RESIDENCE | CONCEPT DESIGN

JULY 31, 2020

CAMPBELL LANDSCAPE ARCHITECTURE



13300 Old Blanco Rd #301
San Antonio, TX 78216
(210)369-9509

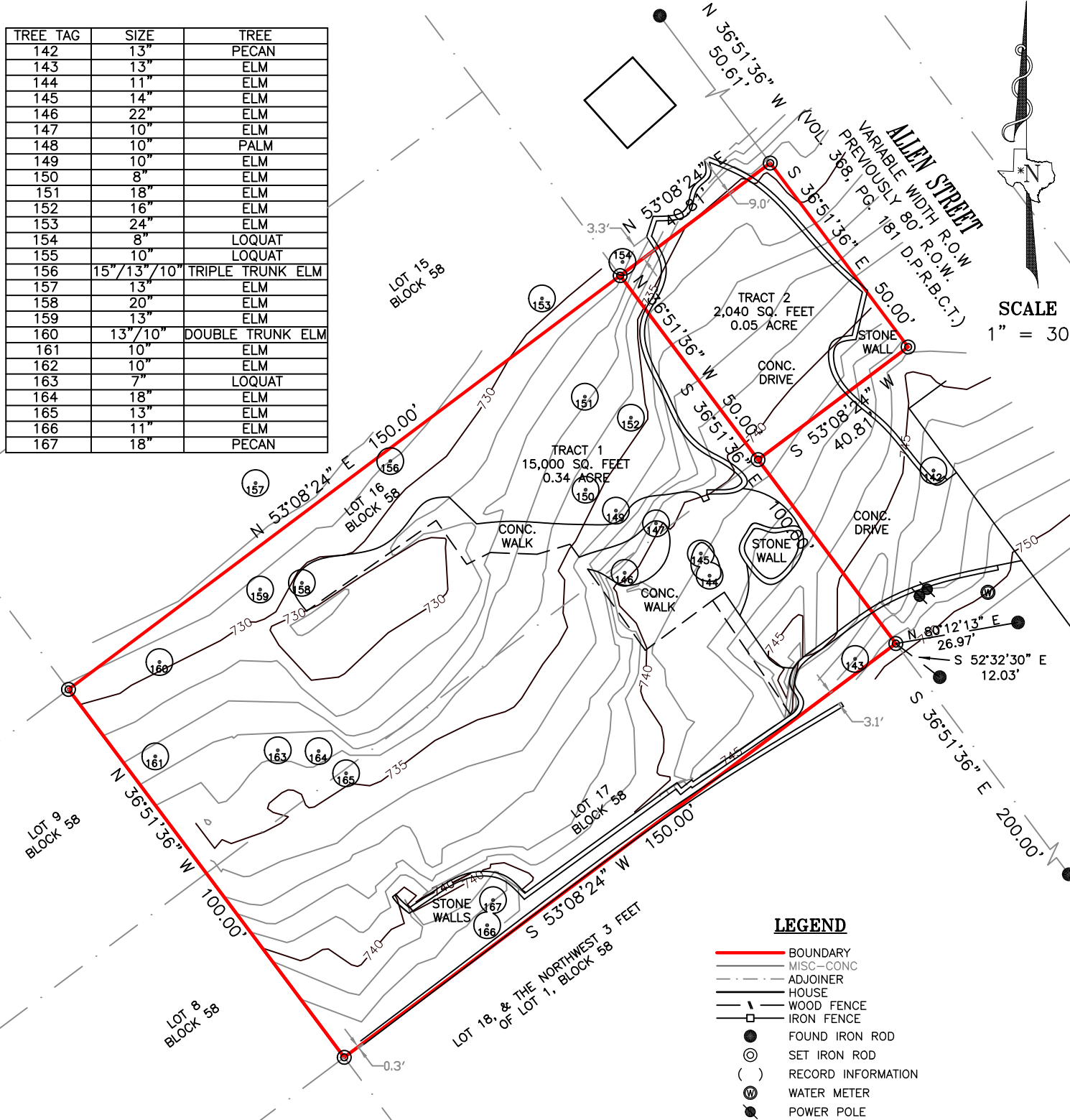
BORROWER/OWNER: DENNIS W. STACY & JULIE K. STACY
ADDRESS: 223 ALLEN STREET
CITY, STATE, ZIP: ALAMO HEIGHTS, TX 78209
TITLE COMPANY: ---
GF NUMBER: ---



LEGAL DESCRIPTION

TRACT 1: LOTS 16 AND 17, BLOCK 58, ALAMO HEIGHTS, IN THE CITY OF ALAMO HEIGHTS, BEXAR COUNTY, TEXAS, ACCORDING TO PLAT THEREOF RECORDED IN VOLUME 368, PAGE 181, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.
TRACT II: THE WEST 1/4 OF A STREET KNOWN AS ALLEN STREET IMMEDIATELY ADJOINING LOT 16, BLOCK 58, ALAMO HEIGHTS, IN THE CITY OF ALAMO HEIGHTS, BEXAR COUNTY, TEXAS, ACCORDING TO PLAT THEREOF RECORDED IN VOLUME 368, PAGE 181, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS; SAME BEING A PARCEL OF LAND 40 FEET WIDE BY 50 FEET LONG, THE LENGTH COINCIDING WITH THE FORMER STREET FRONTAGE OF LOT 16, BLOCK 58

TREE TAG	SIZE	TREE
142	13"	PECAN
143	13"	ELM
144	11"	ELM
145	14"	ELM
146	22"	ELM
147	10"	ELM
148	10"	PALM
149	10"	ELM
150	8"	ELM
151	18"	ELM
152	16"	ELM
153	24"	ELM
154	8"	LOQUAT
155	10"	LOQUAT
156	15"/13"/10"	TRIPLE TRUNK ELM
157	13"	ELM
158	20"	ELM
159	13"	ELM
160	13"/10"	DOUBLE TRUNK ELM
161	10"	ELM
162	10"	ELM
163	7"	LOQUAT
164	18"	ELM
165	13"	ELM
166	11"	ELM
167	18"	PECAN



NOTES

- 1) BEARINGS ARE BASED ON THE RELATIVE POSITION OF THE NORTH ARROW SHOWN ON THE RECORDED SUBDIVISION PLAT.
- 2) CONTOUR ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- 3) THIS SURVEY WAS REVISED MAY 16, 2019 TO ADD TOPOGRAPHIC CONTOURS TO THE ADJOINING TRACT TO THE SOUTHEAST AND TO ADD FINISHED FLOOR ELEVATIONS.
- 4) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, AND DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR, ANY INFORMATION REGARDING RECORDED EASEMENTS, SETBACKS AND ADJOINERS THAT MAY AFFECT THE QUALITY OF TITLE MAY NOT BE SHOWN.

ACCORDING TO FEMA MAP NO.48029C0405G WITH AN EFFECTIVE DATE OF FEBRUARY 16, 1996 AND A REVISION DATE OF SEPTEMBER 29, 2010, THIS PROPERTY LIES WITHIN ZONE X AND IS WITHIN A SPECIAL FLOOD HAZARD AREA. THIS INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE MAP REVISIONS BY FEMA.

I, Caesar A. Garcia, a Registered Professional Land Surveyor do hereby certify that the above plat represents an actual on the ground survey performed under my direct supervision and is true and correct to the best of my knowledge and belief and that there are no visible encroachments, overlapping of improvements and no discrepancies, shortages of area and conflicts in the boundary lines except as shown. I further certify that this survey meets the minimum standards established by the Texas Board of Professional Land Surveying.



CAESAR A. GARCIA
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5904

This survey is hereby accepted with all encroachments, overlaps, conflicts, and discrepancies in improvements, boundary lines, and/or land area.

X _____
X _____