



CITY OF ALAMO HEIGHTS  
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT  
6116 BROADWAY  
SAN ANTONIO, TX 78209  
210-826-0516

**Board of Adjustment Meeting  
Wednesday, March 04, 2026 – 5:30 P.M.**

Take notice that a regular meeting of the Board of Adjustment of the City of Alamo Heights will be held on **Wednesday, March 04, 2026, at 5:30pm** in the City Council Chambers, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects which may come before it.

**Case No. 2468 – 215 Morse St**

Application of Myles Caudill, applicant, representing La Pita Ventures, LLC, owner, requesting the following variance(s) in order to construct a new single-family residence on the property located at **CB 4024 BLK 60 LOT 2**, also known as **215 Morse St**, zoned SF-A:

1. A proposed 0ft front yard setback to the main structure instead of the minimum 30ft required per Section 3-14, and
2. A proposed 5ft side yard setback on the northern side of the main structure instead of the minimum 6ft required per Section 3-15(2) of the City's Zoning Code.

Plans may be viewed online\* ([www.alamoheightstx.gov/departments/planning-and-development-services/public-notices](http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices)) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Garrett Pringle, Planner, ([gpringle@alamoheightstx.gov](mailto:gpringle@alamoheightstx.gov)), Tyler Brewer, Senior Planner, ([tbrewer@alamoheightstx.gov](mailto:tbrewer@alamoheightstx.gov)), or Lety Hernandez, Director, ([lhernandez@alamoheightstx.gov](mailto:lhernandez@alamoheightstx.gov)) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.

# 215 MORSE

## SQFT TOTALS

4110 TOTAL A/C SQFT  
 AC SQFT DN = 3580 SQFT  
 AC SQFT UP = 996 SQFT  
 GARAGE = 400 SQFT  
 FRONT PORCH = 72 SQFT  
 TOTAL SLAB = 3967 SQFT

## CODE ANALYSIS SQFT TOTALS

LOT SQFT = 11,174 SQFT  
 TOTAL COVERED SQFT = 3702 SQFT  
 % LOT COVERAGE = 33%  
 F.A.R. = 4698 SQFT  
 4698/11174 42%

## GENERAL CONDITIONS

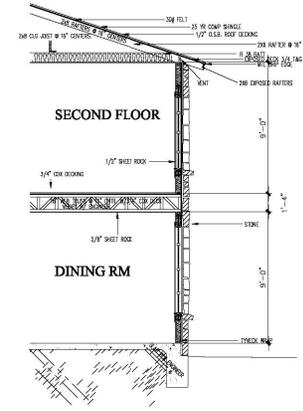
1. ALL WORK SHALL BE PERFORMED IN A COMPLETE AND WORKMANLIKE MANNER, CONFORMING WITH THE BEST STANDARDS OF PRACTICE IN APPLICABLE CODES AND LOCAL ZONING REGULATIONS.
2. THE WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES AND LOCAL ZONING REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK. THE DESIGNER SHALL BE NOTIFIED OF ANY VARIANCE.
4. NOTHING INDICATED IN THESE DRAWINGS SHALL IMPLY OTHER THAN A TOTAL AND COMPLETE WEATHERTIGHT AND STRUCTURALLY SOUND JOB. ANY DEVICE, CONNECTOR OR OTHER ITEM NEEDED TO ACCOMPLISH THIS SHALL BE PROVIDED AND INSTALLED EVEN IF NOT SPECIFICALLY NOTED.
5. REASONABLE CARE AND ACCURACY WAS PRACTICED IN THE PREPARATION OF THESE DRAWINGS. IF QUESTIONS ARISE AS TO THE INTENT OF ANY SPECIFIED ITEM, CONTACT THE DESIGNER IMMEDIATELY.
6. TRADE NAMES AND BRANDS NOTED ON PLANS ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS OF "EQUAL" PRODUCTS MAY BE MADE WITH OWNER'S PERMISSION. I.C.B.O./N.E.R. SUBSTITUTIONS SHALL BE MADE ONLY WITH PRODUCTS WHICH HAVE CURRENTLY ACTIVE I.C.B.O./N.E.R. EVALUATION REPORTS, OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.

## DESIGN CRITERIA

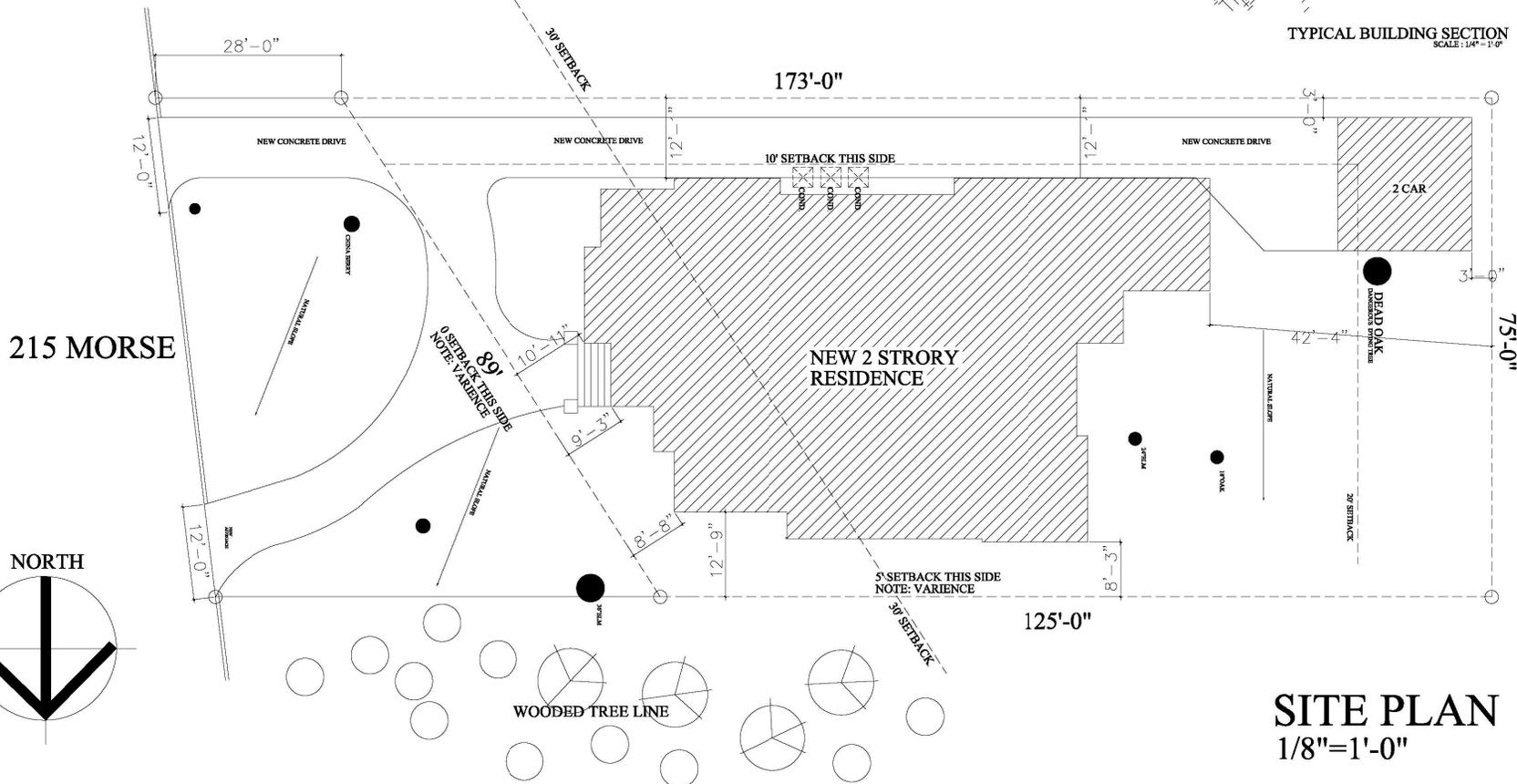
THE FOLLOWING DESIGN CRITERIA WAS USED IN THE PREPARATION OF THESE DRAWINGS. ANY DEVIATION NOTED SHOULD BE CALLED TO THE ATTENTION OF THE DESIGNER.  
 CODES: ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS FOR THEIR ADOPTING ORDINANCES:  
 2021 INTERNATIONAL CODE SERIES

## MATERIAL RATINGS

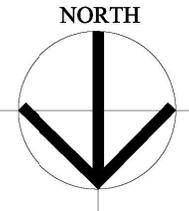
ALL PRODUCTS LISTED BY ICBO/NER NUMBER(S) SHALL BE INSTALLED PER THE REPORT & WFOR WRITTEN INSTRUCTIONS.  
 PRODUCT SUBSTITUTION(S) FOR PRODUCT(S) LISTED SHALL ALSO HAVE I.C.B.O. APPROVED EVALUATION REPORT(S) OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.



TYPICAL BUILDING SECTION  
 SCALE: 1/4" = 1'-0"



SITE PLAN  
 1/8" = 1'-0"



M.A. CAUDILL  
 ARCHITECTS  
 1000 W. LINDEN, ARLINGTON, TEXAS 76010  
 TEL: 817.461.1111  
 FAX: 817.461.1112

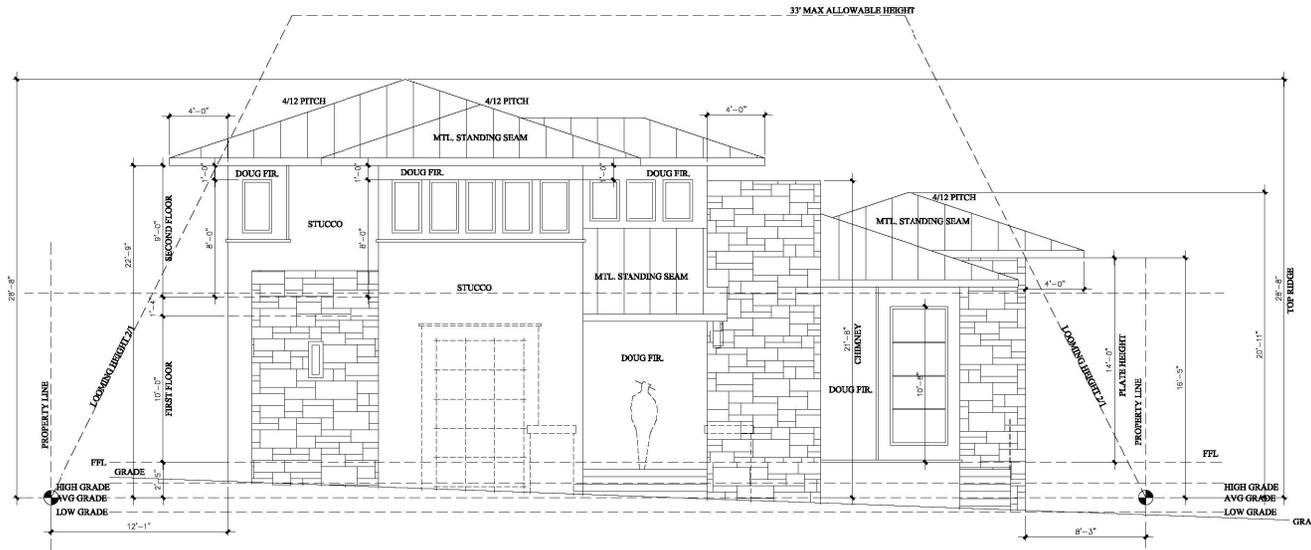
215 MORSE  
 ALAMO HEIGHTS TX

MATED CAUDILL ARCHITECTS 10/20/21 10/21 PM 11:20 AM 11/11/21  
 LAMARCA/ARCHITECTS  
 10/20/21 10/21 PM 11:20 AM 11/11/21  
 CONTRACTOR

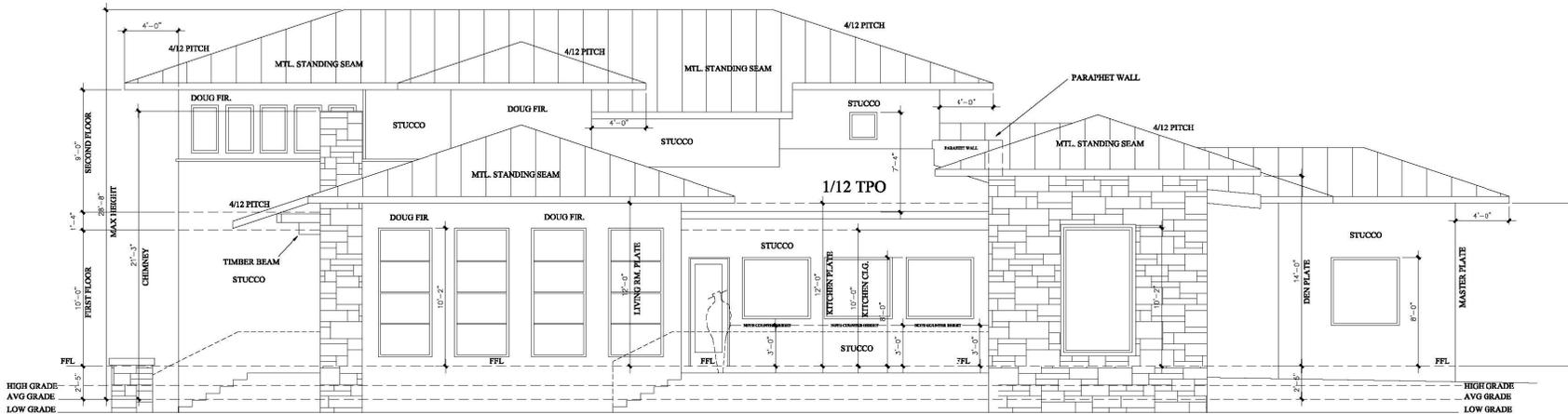


10/20/21 10/21 PM 11:20 AM 11/11/21

S1



**EAST ELEVATION**  
1/4"=1'-0"



**NORTH ELEVATION**  
1/4"=1'-0"



**M.A. CAUDILL**  
ARCHITECTS  
1000 W. WASHINGTON ST. SUITE 100  
DALLAS, TEXAS 75201-1000  
PH: 214.760.0000  
WWW.MACAUDILL.COM

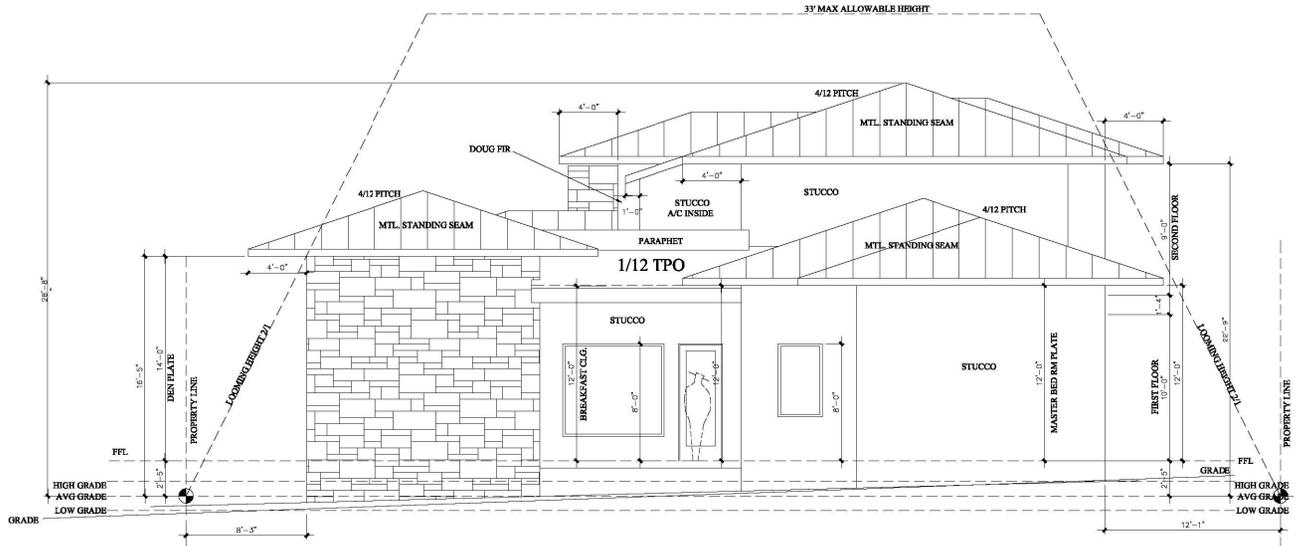
**215 MORSE**  
ALAMO HEIGHTS TX

MATD CADILL Architect 215 MORSE 1/21 FUEL TOWER 11/11/11.dwg

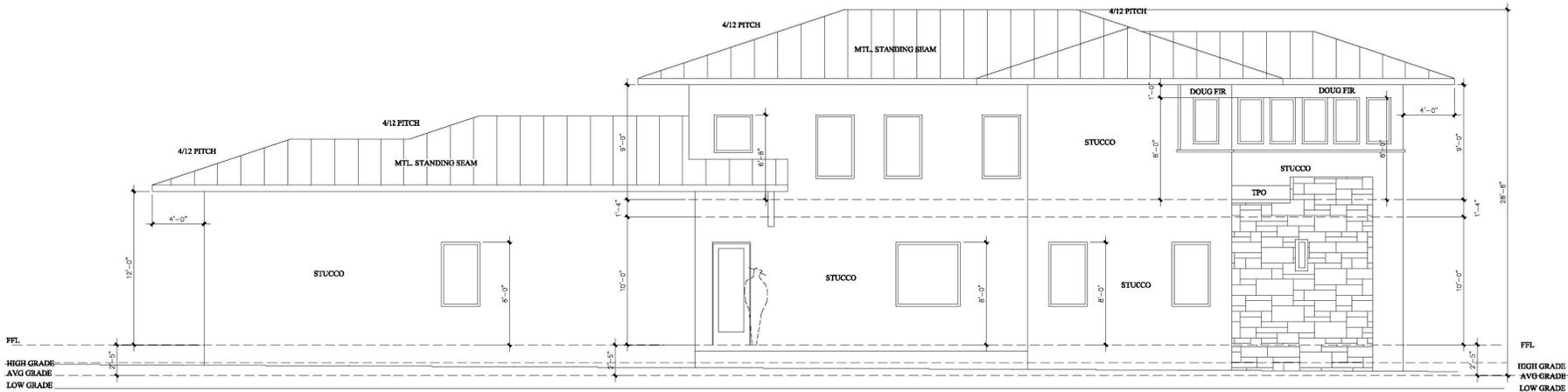


DATE PLOTTED: 11/11/11 10:00 AM

**A3**



**WEST ELEV**  
1/4"=1'-0"



**SOUTH ELEV**  
1/4"=1'-0"



**M.A. CAUDILL**  
ARCHITECTS  
1000 N. GARDEN ST. SUITE 100  
DALLAS, TEXAS 75202-1000  
PH: 214.750.1000  
WWW.MACAUDILL.COM

**215 MORSE TX**  
ALAMO HEIGHTS TX

M.A. CAUDILL ARCHITECTS 1000 N. GARDEN ST. SUITE 100 DALLAS, TEXAS 75202-1000  
PROJECT NUMBER: 215 MORSE TX  
DATE: 08/20/2024



1000 N. GARDEN ST. SUITE 100 DALLAS, TEXAS 75202-1000  
PH: 214.750.1000  
WWW.MACAUDILL.COM

**A4**

