



**CITY OF ALAMO HEIGHTS**  
**COMMUNITY DEVELOPMENT SERVICES DEPARTMENT**  
**6116 BROADWAY**  
**SAN ANTONIO, TX 78209**  
**210-826-0516**

**Board of Adjustment Meeting**  
**Wednesday, April 02, 2025 – 5:30 P.M.**

Take notice that a regular meeting of the Board of Adjustment of the City of Alamo Heights will be held on **Wednesday, April 02, 2025, at 5:30pm** in the City Council Chambers, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects which may come before it.

***INSTRUCTIONS FOR TELECONFERENCE: The City will make reasonable efforts to allow members of the public to participate via audio by dialing 1- 346-248-7799 and enter access number 893 9488 9735#. If you would like to speak on a particular item, when the item is considered, press \*9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.***

***The City cannot guarantee participation by phone due to unforeseen technical difficulties or provide prior notice if they occur; therefore, the City urges your in-person attendance if you require participation.***

**Case No. 2432 – 300 Circle St**

Application of Jahan Ahmadi, owner requesting the following variance(s) on the property located at **CB 4050 BLK 72 LOT 34, 35, 36 & W 8.5 OF 33**, also known as **300 Circle St**, zoned MF-D:

1. No sidewalk in right-of-way as required per Section 3-50 (7) of the City’s Zoning Code.

Plans may be viewed online\* ([www.alamoheightstx.gov/departments/planning-and-development-services/public-notices](http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices)) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Sarah Olivares, Planner, ([solivares@alamoheightstx.gov](mailto:solivares@alamoheightstx.gov)) or Lety Hernandez, Director, ([lhernandez@alamoheightstx.gov](mailto:lhernandez@alamoheightstx.gov)) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.

300 Circle  
FINAL

AERIAL VIEW:



INDEX OF DRAWING

A-01	SITE PLAN.
A-02	FLOOR PLAN.
A-03	ROOF PLAN.
A-04	ELEVATIONS.
A-05	LANDSCAPE PLAN.
A-06	ELECTRICAL PLAN.
A-07	WATER SUPPLY PLAN.
A-08	SEWERAGE PLAN.
A-09	NATURAL GAS LINE PLAN.
A-10	MECHANICAL PLAN.
A-11	

PROJECT INFORMATION

OWNER:	J. Ahmadi TEL: 512-656-4661
ADDRESS:	300 CIRCLE STREET, ALAMO HEIGHTS TEXAS 78209.
CONTRACTOR:	ASGAR HOLDINGS 143 E. COMMERCE STREET STE 606 SAN ANTONIO TEXAS 78205

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO BUILDING CODES REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.  
ALL IRC SECTIONS AND TABLES REFERENCED REFER TO THE 2021 IRC.
- BUILDER SHALL VERIFY: ALL LOT DIMENSIONS, EASEMENTS, BUILDING LINES, AERIAL EASEMENTS, HEIGHT RESTRICTIONS, ROOF OVERHANG & GUTTER LIMITATIONS, FINISH FLOOR HEIGHTS (W RESPECT TO DRAINAGE & FLOOD PLAIN ISSUES), COVERAGE % AND ALL DEED RESTRICTIONS PRIOR TO COMMENCING CONSTRUCTION.
  - BUILDER & ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY BEFORE COMMENCING ADDITIONAL WORK.
  - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. & FROM HABITABLE ROOMS ABOVE GARAGE BY 5/8" TYPE X GYP. BD. AND COMPLY WITH IRC SEC. R302.
  - ESCAPE/RESCUE WINDOW FROM SLEEPING AREAS SHALL HAVE A MINIMUM OF 5.7 SQ.FT. CLEAR NET OPENING AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". FINISHED SILL HEIGHT SHALL BE A MAXIMUM OF 44" ABOVE THE FLOOR & PER IRC SEC 310.
  - CONTRACTOR IS TO PROVIDE STEEL LINTELS ABOVE ALL OPENINGS WITH MASONRY ABOVE PER IRC SEC. 703.8
  - ONE-HOUR RATED GYPSUM BOARD SHALL BE INSTALLED UNDER STAIRS.
  - PROVIDE CROSS VENTILATION AT ENCLOSED ATTICS PER IRC R006.
  - ELECTRICAL CONTRACTOR TO LOCATE 110V OUTLET WITHIN 25'-0" OF A/C COMPRESSOR (GFI).
  - FIREPLACE CHIMNEY TO BE 2'-0" HIGHER THAN ANY STRUCTURE WITHIN 10'-0" (& 3'-0" MIN. HEIGHT AT RIDGE).
  - FACTORY BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE W/ IRC SECTION R1004 & SHALL BE TESTED IN ACCORDANCE W UL 127.
  - SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER IRC SEC. R314.
  - HANDRAILS SHALL BE INSTALLED ALONG ALL STEPS/STAIRS WITH 4 OR MORE RISERS AND CONFORM TO IRC SEC R311.
  - ALL HORIZONTAL GUARD RAILS WILL BE A MINIMUM OF 30" IN HEIGHT & COMPLY TO IRC SEC R312.
  - WALLS SHALL BE BRACED IN ACCORDANCE OF IRC SEC R602.10.
  - GLAZING SHALL COMPLY WITH IRC SEC. R305
  - ROOF OVERHANGS SHALL NOT EXTEND INTO ANY UTILITY EASEMENTS.
  - IN C.O.S.A., VENTS IN GARAGE PER C.O.S.A. AMENDMENTS TO L.R.C.
  - IN AREAS UNDER IRC 2006 OR LATER, PROJECTIONS LESS THAN 5 FROM PROP. LINE SHALL HAVE A 1-HOUR MIN. FIRE RESISTANCE RATING ON THE UNDERSIDE & SHALL NOT EXTEND TO WITHIN 4 OF PROP. LINE PER R302 & TABLE 302.1.
  - ALL DETAILS SHOWN ARE GENERAL AND ILLUSTRATIVE IN NATURE. BUILDER SHALL BE RESPONSIBLE FOR OVERSEEING AND INSURING ALL WATER-PROOFING, STRUCTURAL, AND OTHER CONSTRUCTION IS BUILT PROPERLY, PER CODES, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS.
  - REFER TO ATTACHED RESIDENTIAL DETAIL SHEET FOR STANDARD DETAILS. NOTIFY ARCHITECT IMMEDIATELY IF NOT INCLUDED IN THIS SET OF DRAWINGS.
  - ALL SITE & SURVEY INFORMATION PROVIDED BY OTHERS.
  - SITE GRADING AND DRAINAGE PLANS BY OTHERS.
  - ALL ENGINEERING DESIGNS INCLUDING, BUT NOT LIMITED TO, CIVIL, GEOTECHNICAL, STRUCURAL,MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED BY OTHERS.

CONSTRUCTION DRAWING LEGEND

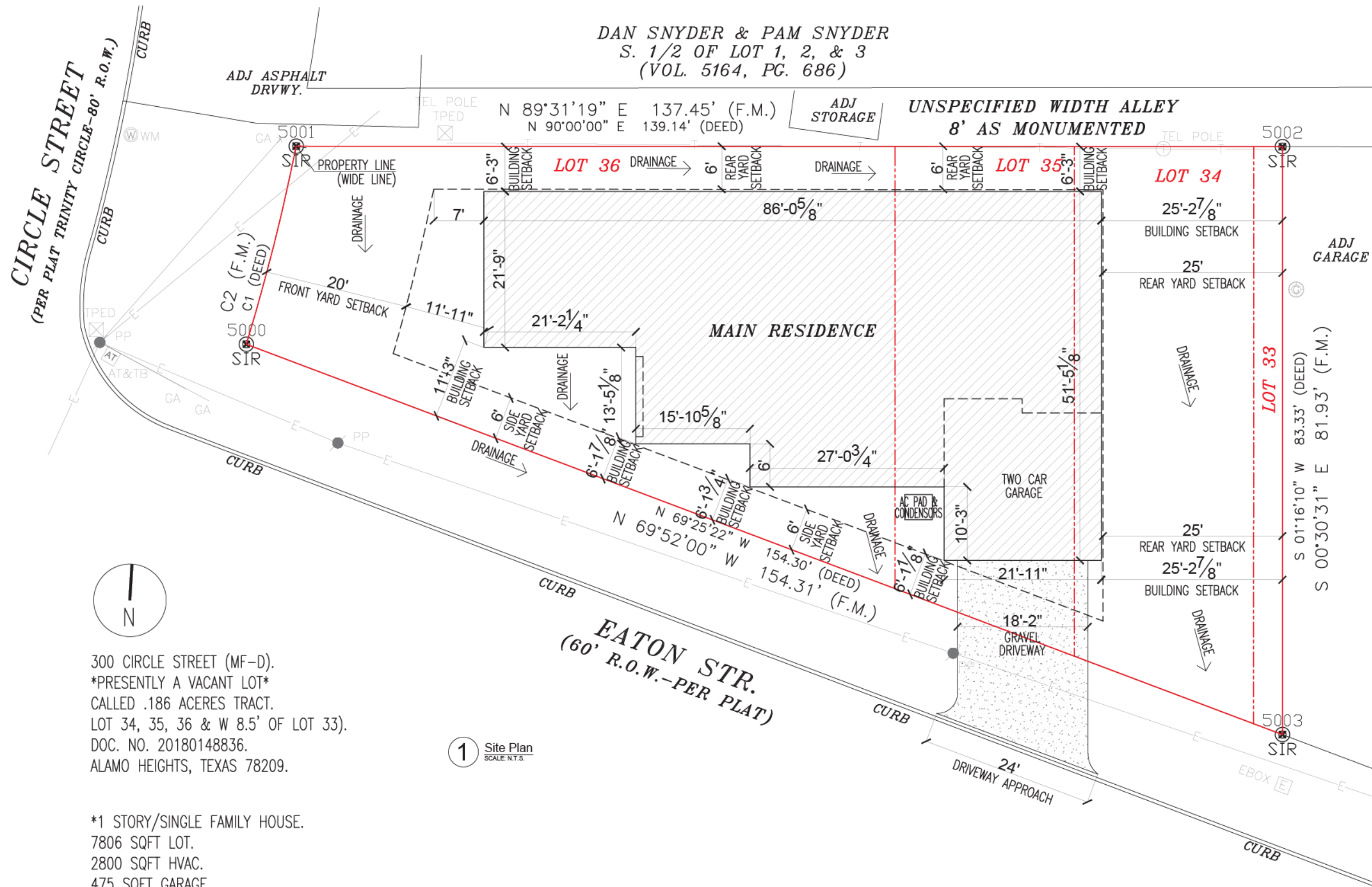
	SECTION MARK KEY
	CALL OUT KEY
	ELEVATION KEY
	COLUMN GRID KEY
	HEIGHT LEVEL KEY
	FINISHED FLOOR LEVEL KEY
	DIMENSION KEY
	WINDOW TAG KEY
	DOOR TAG KEY

DESIGN PROFESSIONAL



AREA CALCULATION:

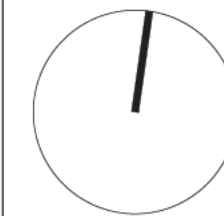
GROSS BUILDING AREA	
Name	Area
LOT AREA:	7806 SF
Conditioned Space	2800 SF
Garage	475 SF
Patio	---
TOTAL STRUCTURE:	3275 SF
* TOTAL IMPERVIOUS COVERAGE IS 44.40% OF AN ALLOWED 85%.	
* 193 SQFT DRIVEWAY IN PROPERTY LINES.	
* 1 STORY/ SINGLE FAMILY HOUSE	
* 3 BED/ 3.5 BATH	



300 CIRCLE STREET (MF-D).  
\*PRESENTLY A VACANT LOT\*  
CALLED .186 ACERES TRACT.  
LOT 34, 35, 36 & W 8.5' OF LOT 33).  
DOC. NO. 20180148836.  
ALAMO HEIGHTS, TEXAS 78209.

\*1 STORY/SINGLE FAMILY HOUSE.  
7806 SQFT LOT.  
2800 SQFT HVAC.  
475 SQFT GARAGE.  
193 SQFT DRIVEWAY IN PROPERTY LINES.  
3 BED.  
3.5 BATH.  
TOTAL IMPERVIOUS COVERAGE IS 44.40% OF AN ALLOWED 85%.  
\*NO FENCE PLAN AT THIS TIME.

1 Site Plan  
SCALE N.T.S.



Legend:	
	WALL
	LOW HT. WALL
	R.C.C. COLUMN
	R.C.C. BEAM
	WINDOW
	VENTILATOR

GENERAL NOTES:  
\* Canned lights to be 4-RC IC rated cans.  
\* Wall insulation will be open cell foam full void and 3/8 on roof deck.  
\* Windows will be thermally broken, argon filled double pane.

GROSS BUILDING AREA	
Name	Area
LOT AREA:	7806 SF
Conditioned Space	2800 SF
Garage	475 SF
Patio	

TOTAL STRUCTURE: 3275 SF  
\* TOTAL IMPERVIOUS COVERAGE IS 44.40% OF AN ALLOWED 85%.  
\* 193 SQFT DRIVEWAY IN PROPERTY LINES.  
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\* 3 BED/ 3.5 BATH

CONSTRUCTION SITE:  
300 CIRCLE STREET,  
ALAMO HEIGHTS TEXAS  
78209.

OWNER INFORMATION:  
J. Ahmadi  
TEL: 512-656-4661

CONTRACTOR INFORMATION:  
ASGAR HOLDINGS  
143 E. COMMERCE STREET  
STE 606 SAN ANTONIO  
TEXAS 78205

DRAWING STATUS:  
SITE PLAN

Project:  
RESIDENCE  
300 CIRCLE STREET

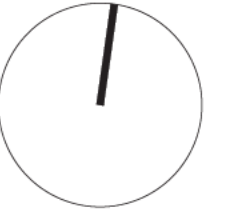


Contact:  
602 W Laurel St  
UNIT 4  
San Antonio TX 78212  
TEL: 210 867 5430

Drawn By:	RAZA M.	Date:	FEB, 2025
Checked By:	CHAD BRADSHAW	Scale:	N.T.S.
Revision No.	02	Drawing No.	A-01
Sheet Size:	ANSI EXPAND C (24"X36") C&A F&A 60		

Scale Reference:





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ELEVATIONS

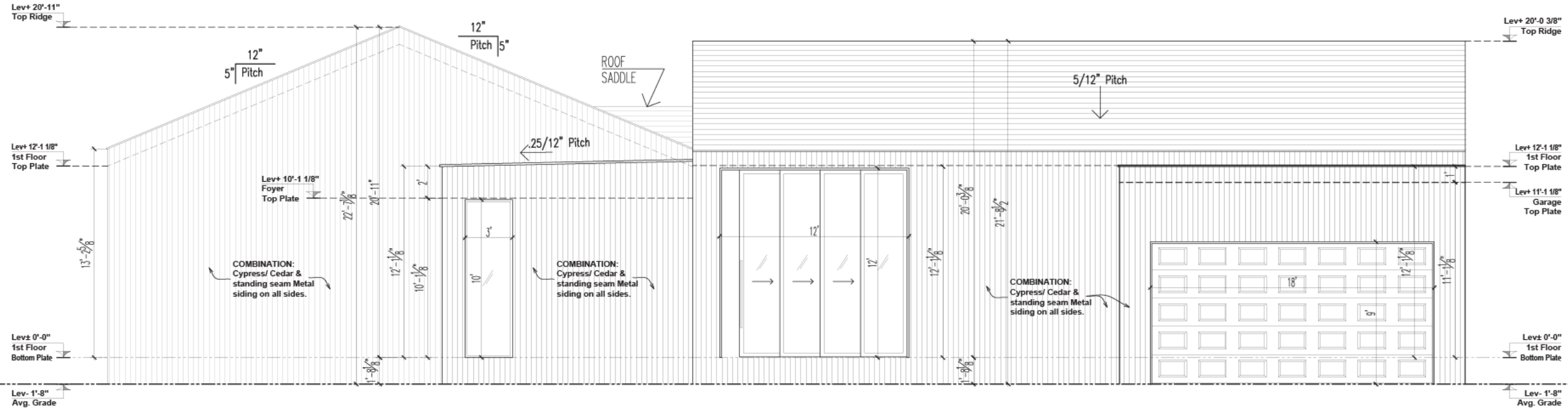
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300 CIRCLE STREET



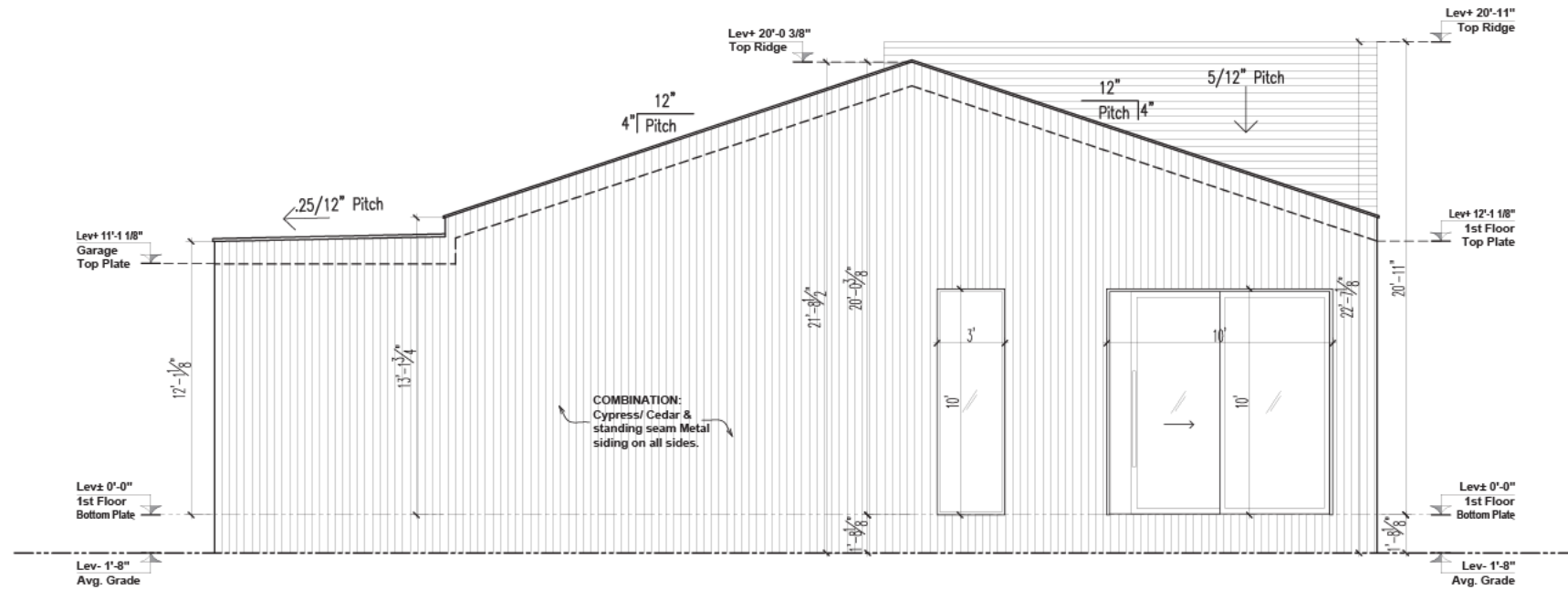
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San Antonio TX 78212  
TEL: 210 867 5430

Drawn By:	RAZA M.	Date:	FEB, 2025
Checked By:	CHAD BRADSHAW	Scale:	3/16" = 1'-0"
Revision No.	02	Drawing No.	A-04
Sheet Size:	ANSI EXPAND C (22"x34") CIB F14 80		

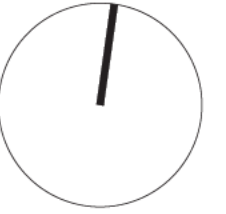
Scale Reference:  
0 1 2 3 4 5 10ft



1 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



Legend:

	WALL
	LOW HT. WALL
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DRAWING STATUS:

ELEVATIONS

Project:

RESIDENCE  
300 CIRCLE STREET



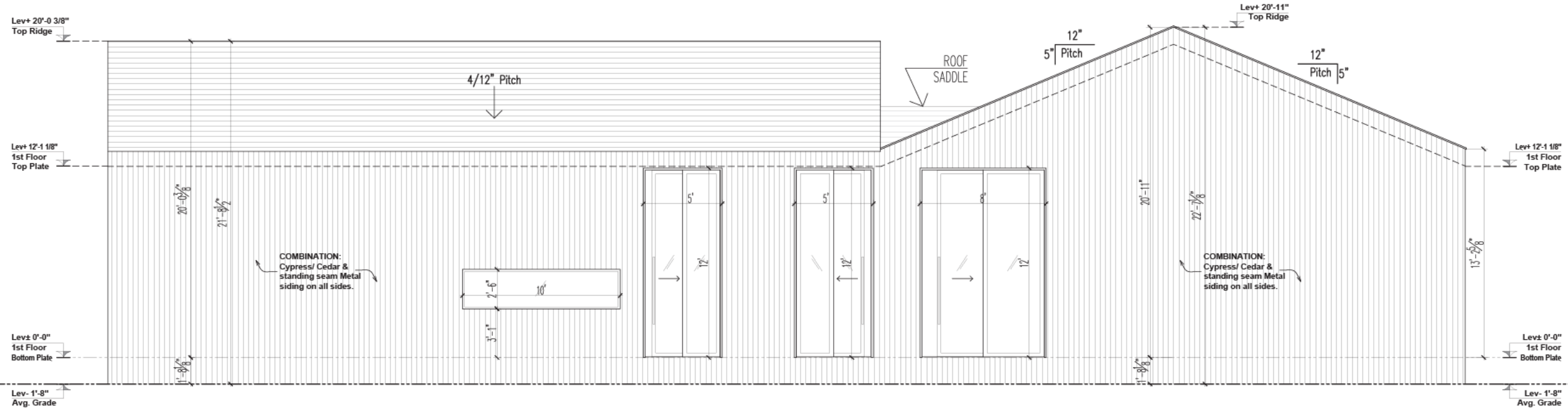
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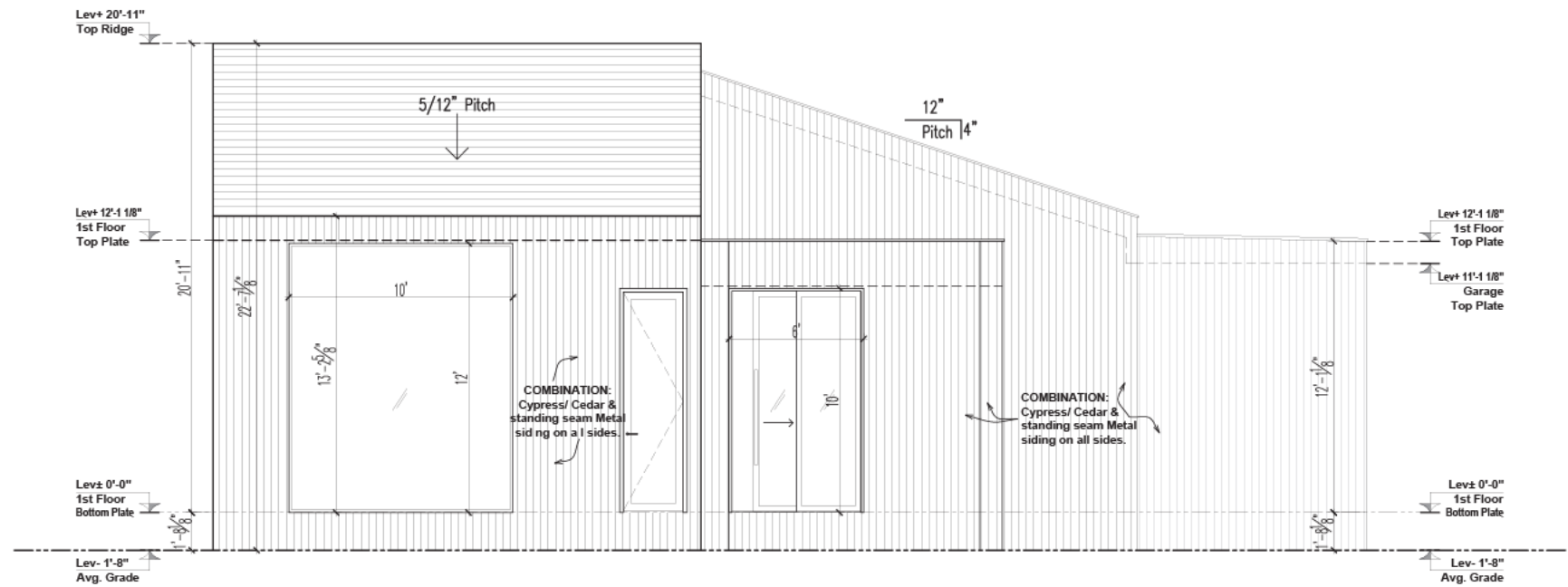
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Revision No.	02	Drawing No.	A-05
Sheet Size:	ANSI EXPAND C (22"x34") C&A F&A 80		

Scale Reference:

0 1 2 3 4 5 10'



1 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION  
SCALE: 3/16" = 1'-0"