



CITY OF ALAMO HEIGHTS

COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting June 16, 2026 – 5:30 P.M.

Take notice that a regular Architectural Review Board meeting of the City of Alamo Heights will be held on **Tuesday, June 16, 2026, at 5:30 P.M.** in the City Council Chamber, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects with may come before it.

Case No. 1037F – 216 Grant Ave

Request of Nic Abbey Homes, applicant, on behalf of Walter Embrey, owner, for the compatibility review of the proposed design located at 216 Grant Ave in order to construct a new single-family residence under Demolition Review Ordinance No. 1860 (April 12, 2010).

Chapter 5 of the Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB's recommendation for all demolition/final design review applications. Please check the ARB posted results on the City's website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online* (www.alamoheightstx.gov/departments/planning-and-development-services/public-notice) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Garrett Pringle, Planner, (gpringle@alamoheightstx.gov), Tyler Brewer, Senior Planner, (tbrewer@alamoheightstx.gov), or Lety Hernandez, Director, (lhernandez@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.



May 26, 2026

Request of Nic Abbey Homes, applicant, representing owner, for a compatibility review in order to construct a new two-story single-family residence located at 216 Grant Ave. Lot is vacant, no demolition required.

Coverage Worksheet

Lot Coverage* / Floor Area Ratio (FAR)	Existing (in sq. ft.)	Proposed (in sq. ft.)	Total Impervious Cover for Stormwater Development Fee	Existing (in sq. ft.)	Proposed (in sq. ft.)
Lot area	14419	14419	Footprint of all structures		4876
Main house: 1st floor*		2708	Driveway/Parking Pad		2557
Main house: 2nd floor		1610	Walkways		200
Front porch*		58	Swimming Pool/Spa		180
Side porch*			Other impervious cover: _____		
Rear porch*			Total Impervious Cover:		7813
Garage/Carport: 1st floor*		883	Stormwater Development Fee:		
Garage: 2nd floor			Impervious Cover within Front Yard Setback Area	Existing (in sq. ft.)	Proposed (in sq. ft.)
Shed*			Front yard setback area	2820	
Breezeway*			Footprint of any structure(s)		
Covered patio structure*		464	Driveway/Parking Pad		332
Other accessory structures*		771	Walkways		200
Total Square Footage:	14419	6486	Other impervious cover: _____		
Total Lot Coverage*:		33%	Total Impervious Cover within Front Yard Setback:		18%
Total FAR:		44.9%			
Max. 40% lot coverage for SF-A and SF-B Districts			Max. 30% impervious cover within front yard setback for SF-A and SF-B Districts Max. 65% impervious coverage for 2F-C Districts		

**Existing Site
Photos**



**Existing Site
Photos**



Proposed Front Elevation





Proposed Street View



200 Grant



216 Grant



308 Torcedo



203 Grant



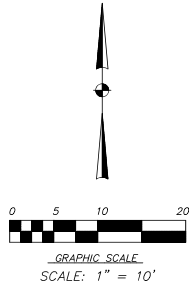
213 Grant



225 Grant

GRANT AVE.

(80' RIGHT-OF-WAY)
(VOL. 9681, PG. 91, DPR)
(VOL. 105, PG. 5-10, DPR)
(VOL. 105, PG. 290-296, DPR)



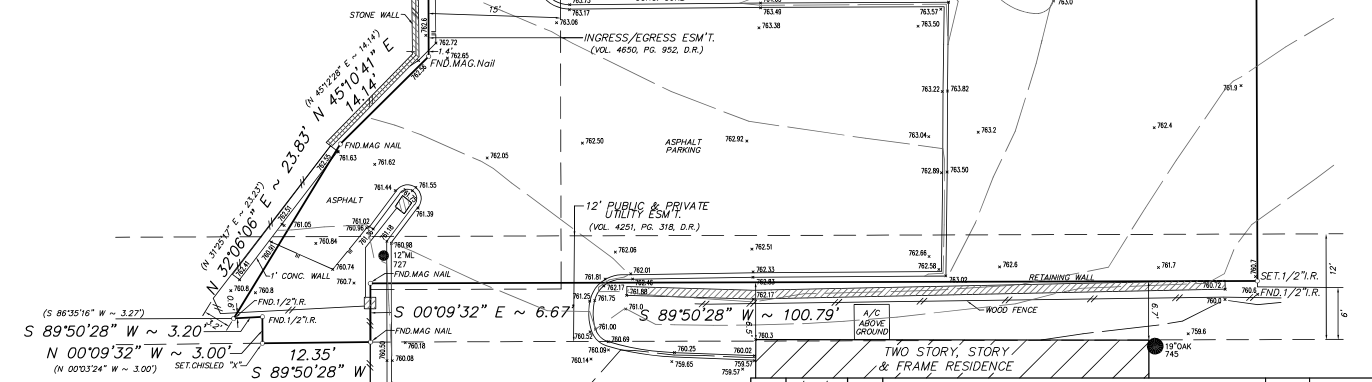
REMAINING PORTION
OF LOT 7
0.524 acres
BEING
LOT 1-5, PORTION
OF LOTS 6 & 7
AND A PORTION OF
A CLOSED ALLEY
BLOCK 10
(VOL. 12356, PG. 1340 DPR)

LOT 33, BLOCK 10
(0.331 ACRES)
(14,419 sq. ft.)
(NO HOUSE)

LOT 32, BLOCK 10
(VOL. 20002, PG. 1730)

LEGEND

- EB = ELECTRIC BOX
- GM = GAS METER
- GV = GAS VALVE
- WM = WATER METER
- WV = WATER VALVE
- SP = SIGN POST
- UP = UTILITY POLE
- UPGW = UTILITY POLE & GUY WIRE
- CP = CONCRETE PAVEMENT
- SHU = OVERHEAD UTILITY LINE
- SS = UNDERGROUND SANITARY SEWER LINE (AS PER UTILITY MAP)
- GL = UNDERGROUND GAS LINE (AS MARKED BY UTILITY)
- WL = UNDERGROUND WATER LINE (AS PER UTILITY MAP)
- EA = EDGE OF ASPHALT PAVEMENT
- CC = CONCRETE CURB
- 765 = CONTOUR LINE WITH ELEVATION
- WF = WOOD FENCE
- WF = WIRE FENCE
- CLF = CHAIN LINK FENCE
- OT = TREE TYPE AND SIZE WITH NUMBERED METAL TAG
- 750 = SPOT ELEVATION
- 742 = DEED RECORDS
- DPR = DEED AND PLAT RECORDS
- OPR = OFFICIAL PUBLIC RECORDS
- ML = MOUNTAIN LAUREL
- DT = DOUBLE TRUNK
- MT = MULTIPLE TRUNK



0.252 acres
BEING
LOT 25, 26, 27
AND A PORTION OF
A CLOSED ALLEY
BLOCK 10
(VOL. 17539, PG. 2314 DPR)

LOT 34, BLOCK 10
(VOL. 20002, PG. 1730 DPR)

ADDRESS:
216 GRANT AVE., ALAMO HEIGHTS, TX

- NOTES:**
- DIRECTIONAL CONTROL LINE = MONUMENTS AS FOUND.
 - BEARING BASIS = PLAT AS REFERENCED HEREON.
 - INSERT OR OUTSET DIMENSIONS FOR FENCES, IF ANY, ARE TO CLOSEST EDGE OF POST.
 - ELEVATIONS ARE BASED ON NAVD88 DATUM.

PLAT REFERENCE: GRANT WESTOVER ESTATES
VOL. 20002 PAGE 1730 DATE APRIL 5, 2022
RATIFIED IN DOC#20220125772, O.P.R.
PREVIOUS PLAT REFERENCE:
VOL. 9681, PAGE 91, DATE MAR. 19, 2015.



RESTRICTIONS:
VOL. 9681, PG. 91, DPR
VOL. 118, PG. 556, DR
VOL. 118, PG. 343, DR
VOL. 912, PG. 510, DR
VOL. 4251, PG. 320, DR
VOL. 123, PG. 132, DR
VOL. 1231, PG. 556, DR

NO.	DATE	BY	REVISION	CKD.	APPD.
4	5/22/22	J.S.	UPDATED SURVEY	JWO	JWO
3	4/27/22	J.S.	REMOVED DEMO'S IMPROVEMENTS & ADD RECORD INFO	JWO	JWO
2	11/30/21	RBB	REVISED 7-27-21 SURVEY TO PROPOSED REPLAT	RBB	RBB
1	9/8/21	RBB	ADDED CAPPED WATER WELL	RBB	RBB

Maverick
Land Surveying Co.
1856 Lockhill-Selma, Suite 105
San Antonio, Texas 78213

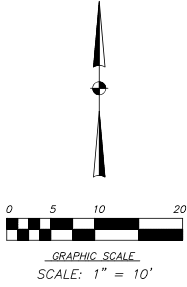
PH. 210-342-9455
FAX 210-342-9524
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TSPSLS FTRM No. 10132769

TREE & TOPOGRAPHIC SURVEY
LOT 33, BLOCK 10
COUNTY BLOCK 4024
GRANT WESTOVER ESTATES
CITY OF ALAMO HEIGHTS, BEXAR COUNTY, TEXAS

DRAWN BY: J.S. F.W. BY: M.D. CHKD. & APPR. BY: RBB
SCALE: 1" = 10' DATE: 7-27-2021 SHEET 1 OF 1
REV. NO. 4 JOB NO. 58567-0012

GRANT AVE.

(80' RIGHT-OF-WAY)
(VOL. 9681, PG. 91, DPR)
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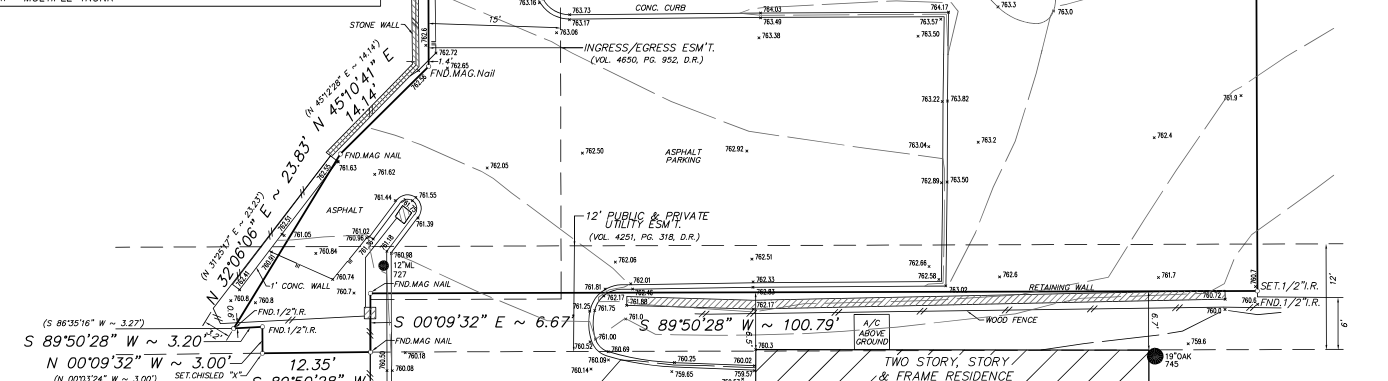


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TERRILL'S FORM No. 10132709

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CITY OF ALAMO HEIGHTS, BEXAR COUNTY, TEXAS

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SCALE: 1" = 10' DATE: 7-27-2021 SHEET 1 OF 1
REV. NO. 4 JOB NO. 58567-0012



NOTE: RENDERINGS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

Caldwell Residence

Alamo Heights, Texas

OWNER

William and Rebecca Caldwell

Email:

Phone

ARCHITECT

SHM Architects, PLLC
Nick McWhirter, AIA
Clodagh Ryan
Anna Kathryn Becker

5646 Milton Street, Suite 900
Dallas, Texas 75206

Email:

INTERIOR DESIGNER

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

GENERAL CONTRACTOR

Nic Abbey Homes
Lisa Nichols

2222 Breezewood Dr.
Ste. 103
San Antonio, TX 78209

Caldwell Residence
Alamo Heights, Texas

SHM Project #
26-037

Issue Date
May 26, 2026

Cover Sheet /
Index

A1.00

INDEX OF DRAWINGS

ARCHITECTURAL

- A1.00 Cover Sheet / Index
- A1.01 General Notes / Outline Specifications
- A1.02 Site Plan / Roof Plan
- A2.00 Key Floor Plans
- A2.01 First Floor Plan
- A2.02 Second Floor Plan

- A3.00 Key Exterior Elevations
- A3.01 Exterior Elevations
- A3.02 Exterior Elevations
- A3.03 Closets Exterior Elevations

- A4.01 Building Sections
- A4.02 Building Sections
- A5.01 Door Types & Schedule
- A5.02 Window Types & Schedule

- A6.01 Head, SB & Jamb Details
- A6.02 Exterior Details

- A7.00 Interior Elevations Key Plans
- A7.01 Interior Elevations
- A7.02 Interior Elevations

- A8.01 First Floor Reflected Ceiling Plan
- A8.02 Second Floor Reflected Ceiling Plan
- A9.01 First Floor Finish Plan
- A9.02 Second Floor Finish Plan

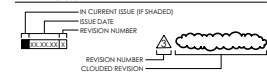
ELECTRICAL

- E2.00 Electrical Notes & Schedule
- E2.01 First Floor Electrical Plan
- E2.02 Second Floor Electrical Plan

STRUCTURAL

- S1.01 General Notes / Foundation Details
- S2.01 Foundation Plan
- S2.02 Second Floor & Attic Framing Plans
- S2.03 Roof Framing Plans / Details
- S3.01 Framing Details
- S3.02 Framing Details

DRAWING ISSUE:



REVISION LOG

REVISION NO	REVISION DATE	DESCRIPTION
1	00.00.00	DESCRIPTION



5646 Milton Street, Suite 900
Dallas, Texas 75206
214-252-3830 — Direct
214-252-3840 — Fax
SHMARCHITECTS.COM

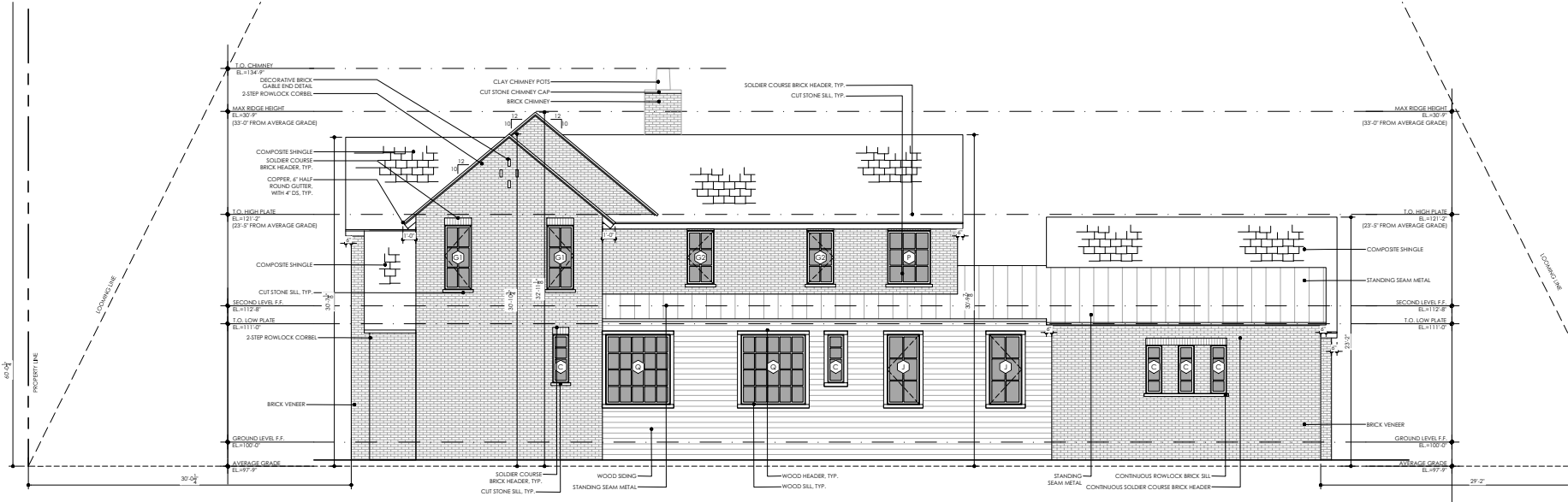
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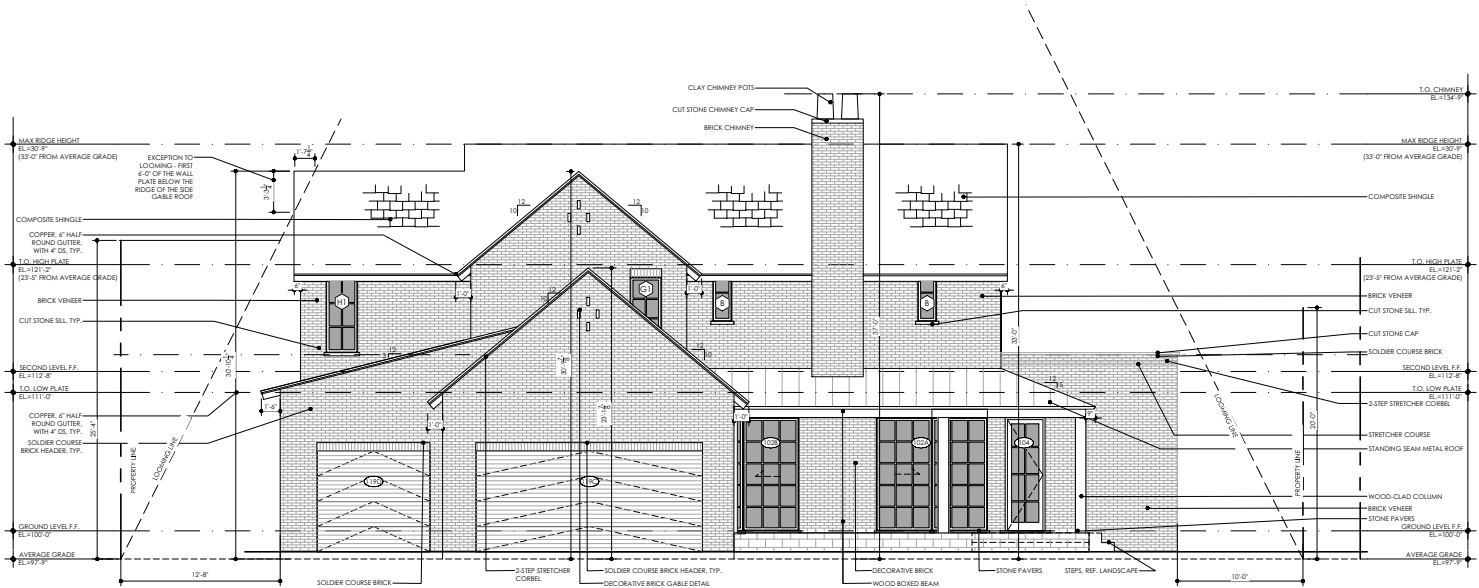
Pricing Set
(NOT FOR CONSTRUCTION)



Pricing Set
 (NOT FOR CONSTRUCTION)



02 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



01 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

**Caldwell
 Residence**
 Alamo Heights, Texas

SHM Project #
 26-037

Issue Date
 May 26, 2026

Exterior
 Elevations

A3.02

