



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
March 18, 2025 – 5:30 P.M.

Take notice that a regular Architectural Review Board meeting of the City of Alamo Heights will be held on **Tuesday, March 18, 2025 at 5:30pm** in the City Council Chamber, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects with may come before it.

INSTRUCTIONS FOR TELECONFERENCE: Members of the public may also participate via audio by dialing 1-346-248-7799 Meeting ID 868 0184 5240. If you would like to speak on a particular item, when the item is considered, press *9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.

Case No. 978F – 151 Burr Rd

Request of Joshua Ficarro of Pape-Dawson Engineers, applicant, representing Wendell Hall of the San Antonio Country Club, owner, for the final review in order to construct and expand an existing paved parking lot located at 151 Burr Rd under Chapter 2 Administration for Architectural Review.

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB’s recommendation for all demolition/final design review applications. Please check the ARB posted results on the City’s website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online at <http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notice/> and at the Community Development Services Department located at 6116 Broadway St. You may contact Dakota Procell, Planner at 210-832-2239 (dprocell@alamoheightstx.gov) or Lety Hernandez, Director, at 210-832-2250 (lhernandez@alamoheightstx.gov), or our office at (210) 826-0516 for additional information regarding this case.

CIVIL CONSTRUCTION PLANS



JANUARY 2025



SHEET INDEX	
Sheet Description	Sheet No.
COVER SHEET	C0.00
GENERAL CONSTRUCTION NOTES	C0.10
EXISTING CONDITIONS AND DEMOLITION PLAN	C0.20
STORM WATER POLLUTION PREVENTION PLAN	C1.00
STORM WATER POLLUTION PREVENTION DETAILS	C1.10
DIMENSIONAL CONTROL AND PAVING PLAN	C1.20
GRADING AND DRAINAGE PLAN	C2.00
SITE CIVIL DETAILS	C3.00
Landscap / Irrigation Plans	Sheet No.
TREE PRESERVATION PLAN	LTP 1.1
PLANTING PLAN	LP 1.1
PLANTING SCHEDULE, NOTES, AND DETAILS	LP 2.1
IRRIGATION NOTES AND LEGEND	LI 1.0
IRRIGATION PLAN	LI 1.1
IRRIGATION DETAILS - SHEET 1 OF 2	LI 2.1
IRRIGATION DETAILS - SHEET 2 OF 2	LI 2.2
Electrical Plans	Sheet No.
ELECTRICAL GENERAL NOTES AND LEGEND	E1.0
ELECTRICAL NEW WORK PLAN	E1.1
ALTERNATIVE ELECTRICAL NEW WORK PLAN	E1.2
ELECTRICAL DETAILS	E2.1
ELECTRICAL SPECIFICATIONS	E3.1

1. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
2. NO SITE PREPARATION WORK SHALL BEGUN IN AREAS WHERE TREE PROTECTION AND TREATMENT REQUIREMENTS HAVE NOT BEEN COMPLETED AND APPROVED.
3. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE MAINTAINED AND MONITORED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
4. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER. IF CUTTING ROOTS IS REQUIRED BY THE CONTRACTOR, THE CONTRACTOR SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
5. THE ROOT PROTECTION ZONE IS THE AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, MATERIALS, OR VEHICLES ARE ALLOWED TO ENTER. THE PROTECTION RADIUS LENGTH IS 1 FOOT FOR DIAMETER INCHES OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE HAS A PROTECTION RADIUS OF 10 FEET. THE CONTRACTOR SHALL PROTECT THE TREE, ITS ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION WORK. THE CONTRACTOR SHALL REMOVE ANY BRANCHES OR ROOTS THAT ARE IN THE PROTECTION RADIUS THAT SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT DARK WEATH.



-
- LIMITS OF CONSTRUCTION
- PROPERTY LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINE & POLE
- EXISTING GAS LINE
- EXISTING CONTOURS MAJOR
- EXISTING CONTOURS MINOR
- EXISTING HORIZONTAL, AND VERTICAL CONTROL POINTS
- EXISTING TREE TO BE REMOVED (TO TREE PRESERVATION AND LANDSCAPE PLAN)
- EXISTING TREE TO REMAIN AND TO BE PROTECTED (REFER TO TREE PRESERVATION AND LANDSCAPE PLAN)
- ASPHALT PAVEMENT AND BASE COURSE SHALL BE REMOVED. ALL EDGES MUST BE STRAIGHT LINE REMOVED

KEYED NOTES

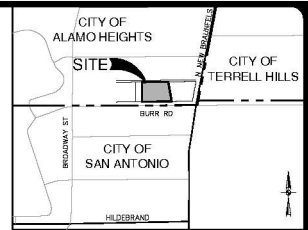
- ◆ EXISTING CURB TO REMAIN
- ◆ EXISTING CURB TO BE REMOVED. (SAWCUT 12 INCHES INTO EXISTING AND WITH PAVEMENT. ALL EDGES MUST BE STRAIGHT LINE. SAWCUTS)
- ◆ EXISTING FENCE LINE TO REMAIN
- ◆ EXISTING FENCE LINE TO BE REMOVED
- ◆ EXISTING CONCRETE SIDEWALK TO REMAIN
- ◆ EXISTING CONCRETE DRIVEWAY AND SIDEWALK TO BE REMOVED
- ◆ EXISTING UTILITY POLES, UTILITY LINES, GLENCOUTE, AND SPRINKLER SHALL BE DISCONNECTED FROM SERVICE PRIOR TO REMOVAL
- ◆ EXISTING WATER VALVES & METERS, UTILITY POLES, AND UTILITY LINES TO REMAIN
- ◆ TREES TO BE RELOCATED
(REFER TO LANDSCAPE PLANS)
- ◆ EXISTING LIGHT POLE TO REMAIN
(REFER TO ELECTRICAL PLANS)
- ◆ EXISTING NO PARKING SIGN TO BE RELOCATED

NOTE

SEE SHEET C0.10 FOR ADDITIONAL GENERAL NOTES.

CAUTION!!! THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.

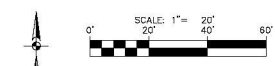
HORIZONTAL & VERTICAL CONTROL POINTS						
Point	Northing	Easting	Raw Description	Elevation	Grid Northing	Grid Easting
1	13,720,487.870	2140,329.850	SIRC	711.08'	13,718,155.784	2,139,066.11
3	13,720,498.750	2140,277.160	SMCTV	714.24'	13,718,157.063	2,139,763.4
4	13,720,694.110	2140,118.569	SMAGTV	711.08'	13,718,361.988	2,139,755.11
5	13,720,594.770	2140,79.569	SMAGTV	717.62'	13,718,262.651	2,139,915.8



LOCATION MAP

NOT-TO-SCALE

<u>LEGAL DESCRIPTION:</u> LOT 41, BLOCK 3, C.B. 5000, COUNTRY CLUB HEIGHTS SUBDIVISION (1.370 ACRES)	<u>ADDRESS:</u> 150 BURR RD. ALAMO HEIGHTS, TEXAS 78209
--	---



**PAPE-DAWSON
ENGINEERS**

BURR ROAD PARKING LOT - PHASE 2
ALAMO HEIGHTS, TEXAS

PLAT NO. N/A
JOB NO. 7531-10
DATE JANUARY 2025
DESIGNER JF
CHECKED DM DRAWN LF
SHEET C0.20

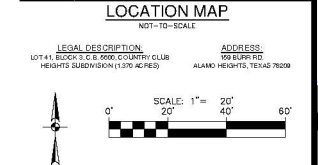
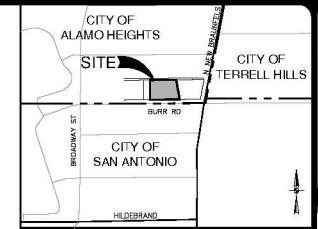
PERMIT SET

Date: Jan 17, 2025, 9:42am User ID: ifcarro
File P: \\75\\31\\10\\Design\\Civ\\DMEC-753110.dwg

Drawn: Jan 17, 2025, 9:43am, User: JD, Version: 1.0, Project: BURR ROAD PARKING LOT - PHASE 2

This document has been prepared from information that was obtained from the owner and may not be a true and correct representation of the actual conditions. The engineer assumes no responsibility for the accuracy of the information provided by the owner.

SWP3 MODIFICATIONS		
DATE	SIGNATURE	DESCRIPTION



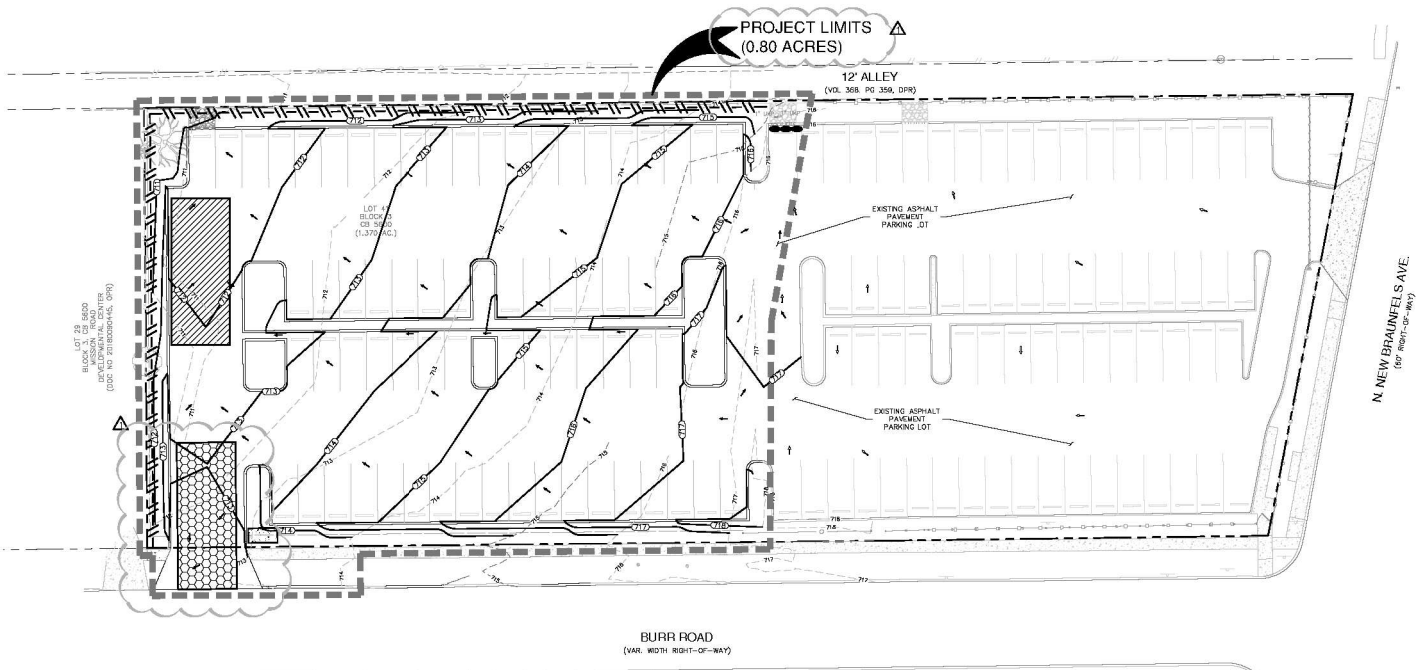
- GENERAL NOTES**
- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
 - CONSTRUCTION ENTRANCE/EXIT LOCATION, CONCRETE WASH-OUT PIT, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE DETERMINED IN THE FIELD.
 - STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
 - RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY.
 - ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
 - FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TYPES STORM WATER POLLUTION PREVENTION PLAN.
 - STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.
 - AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.
 - BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO CONSIDER WITH THE DISTURBANCE OF UPGRADE AREAS.
 - BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE DISTURBED SOIL HAS BEEN STABILIZED IN ACCORDANCE WITH TPDOS REQUIREMENTS.
 - UPON COMPLETION OF THE PROJECT, INCLUDING SITE STABILIZATION, AND BEFORE FINAL PAVEMENT IS BEGUN, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES.
 - WHERE VEGETATED FILTER STRIPS ARE INDICATED, CONTRACTOR SHALL VERIFY THAT SUFFICIENT VEGETATION EXISTS. OTHERWISE, CONTRACTOR SHALL PLANT SUEDE PLANTS IN LIEU OF VEGETATED FILTER STRIP.
 - PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL COORDINATE PLACEMENT OF TEMPORARY BEST MANAGEMENT PRACTICES WITH TPDOT RIGHT-OF-WAY WITH TPDOT.
 - OPS ENERGY WILL FUNCTION AS A SECONDARY OPERATOR ON THIS PROJECT AND WILL BE INSTALLING ELECTRIC UTILITIES FOR ON-SITE CONSTRUCTION AND OFF-SITE FEED TO THE PROJECT.

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE TYPES-STORM WATER POLLUTION PREVENTION PLAN (SWP3) REGULATIONS.

THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF THE SWP3 ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

EXHIBIT 2

PLAT NO. N/A
JOB NO. 7531-10
DATE JANUARY 2025
DESIGNER JF
CHECKED DM DRAMN LF
SHEET C1.00



PAPE-DAWSON ENGINEERS

2008 NW 43RD AVE. | SAN ANTONIO, TX 78213 | 210.775.8008
TEXAS ENGINEERING FIRM #471 | TEXAS SURVEYING FIRM #183808

BURR ROAD PARKING LOT - PHASE 2

ALAMO HEIGHTS, TEXAS

STORM WATER POLLUTION PREVENTION PLAN

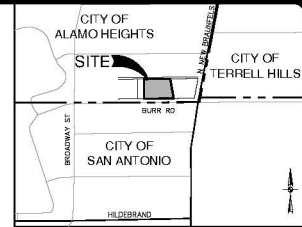
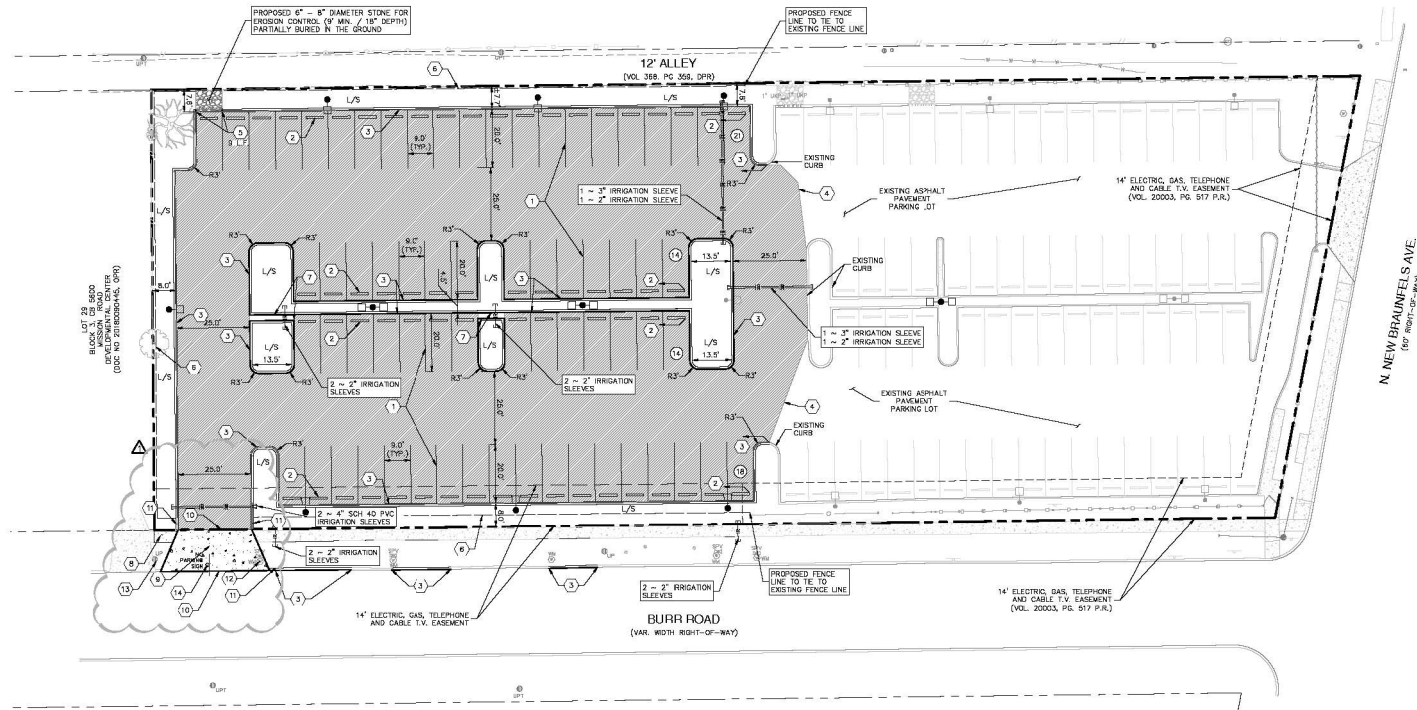
PLAT NO. N/A
JOB NO. 7531-10
DATE JANUARY 2025
DESIGNER JF
CHECKED DM DRAMN LF
SHEET C1.00

PERMIT SET

Date: Jan 17, 2025, 9:43am User: JD-Rodriguez
File: C:\Users\JD-Rodriguez\OneDrive\DWG\250103.dwg

This drawing has been prepared from information that was obtained from the owner and is not to be used for any other purpose without the owner's written consent. The engineer's seal, signature, and title shall appear on the drawing. The engineer shall not be responsible for the accuracy of the information provided by the owner. The engineer shall not be responsible for the accuracy of the information provided by the owner. The engineer shall not be responsible for the accuracy of the information provided by the owner.

PARKING SUMMARY TABLE	
PARKING SPACES (9'x20' STALLS)	67
EXISTING PARKING SPACES	67
PROPOSED PARKING SPACE	67
TOTAL PARKING SPACES	134



LOCATION MAP
NOT-TO-SCALE

LEGAL DESCRIPTION: LOT #1, BLOCK 3, C.B. 6000, COUNTRY CLUB HEIGHTS SUBDIVISION (130 ACRES)
ADDRESS: 100 BURR RD, ALAMO HEIGHTS, TEXAS 78009

SCALE: 1" = 20'
0' 20' 40' 60'

- LEGEND
- PROPERTY LINE
 - FLEXIBLE PAVEMENT (REF: C3.00 FOR DTL)
 - PARKING STALL COUNT
 - LANDSCAPE (REFER TO LANDSCAPE PLANS)
 - PROPOSED IRRIGATION SLEEVES
 - PROPOSED SITE LIGHTS (TYP) REFER TO ELECTRICAL PLANS

- KEYED NOTES
- 4" WIDE WHITE STRIPING (TYPICAL)
 - WHEEL STOP (TYPICAL) (REF: C3.00 FOR DTL)
 - 6" STANDARD CURB (REF: C3.00 FOR DTL)
 - ASPHALT / ASPHALT PAVEMENT JUNCTURE (REF: C3.00 FOR DTL)
 - SAFETY CURB (REF: C3.00 FOR DTL)
 - PROPOSED FENCE TO MATCH EXISTING FENCE
 - 2" CONCRETE FILL (REF: C3.00 FOR DTL)
 - PROPOSED 4" CONCRETE SIDEWALK
 - PROPOSED CONCRETE DRIVEWAY
 - ASPHALT / CONCRETE PAVEMENT JUNCTURE (REF: C3.00 FOR DTL)
 - 2" CURB TRANSITION (REF: C3.00 FOR DTL)
 - EXISTING WATER VALVE TO REMAIN, TOP OF VALVE TO BE ADJUSTED TO FINAL GRADES
 - EXISTING POWER POLE (CONTRACTOR TO USE CAUTION NEAR OVERHEAD ELECTRIC)
 - NO PARKING SIGN TO BE RELOCATED

NOTE
SEE SHEET C0.10 FOR ADDITIONAL GENERAL NOTES.

DATE	01/16/25
NO.	REVISION
1	EAC: REVISION

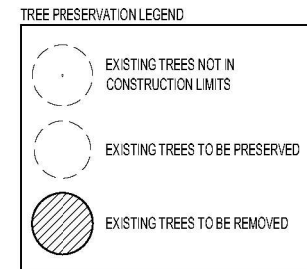


PAPE-DAWSON ENGINEERS
2008 NW LOOP 435, SUITE 100, SAN ANTONIO, TX 78213 | 210.775.8008
TEXAS ENGINEERING FIRM #0183800

BURR ROAD PARKING LOT - PHASE 2
ALAMO HEIGHTS, TEXAS
DIMENSIONAL CONTROL AND PAVING PLAN

PLAT NO.	N/A
JOB NO.	7531-10
DATE	JANUARY 2025
DESIGNER	JF
CHECKED	DM, DRANK, LF
SHEET	C1.20

PERMIT SET



NUMBER	SPECIES	NOTES
#7159	6' CHANDERRY	REMOVED
#7164	5.5' GRACE MYRTLE	REMOVED
#7140	5' HACKBERRY	REMOVED
#7142	6.5' LIGUSTRUM	REMOVED
#7143	7.5' LIGUSTRUM	REMOVED
#7144	5' HACKBERRY	REMOVED
#7145	18' CHANDERRY	REMOVED
#7146	4' HACKBERRY	REMOVED
#7147	5' HACKBERRY	REMOVED
#7148	4.5' HACKBERRY	REMOVED
#7149	3' HACKBERRY	REMOVED
#7150	11' LIGUSTRUM	REMOVED
#7152	5.5' LIGUSTRUM	REMOVED
#7155	11' HACKBERRY	REMOVED
#7154	18.5' LIGUSTRUM	REMOVED
#7155	4.5' HACKBERRY	REMOVED
#7156	7' HACKBERRY	REMOVED
#7157	11' LIGUSTRUM	REMOVED
#7158	14' HACKBERRY	REMOVED
#7159	14' HACKBERRY	REMOVED
#7162	24' MULBERRY	REMOVED
#7163	3' HACKBERRY	REMOVED
#7164	5' HACKBERRY	REMOVED
#7165	16' HACKBERRY	REMOVED
#7166	6' HACKBERRY	REMOVED
#7167	10' HACKBERRY	REMOVED
#7168	10' HACKBERRY	REMOVED
#7170	18' HACKBERRY	REMOVED
#7171	5' HACKBERRY	REMOVED
#7172	12' PECAN	REMOVED
#7173	10' OAK	REMOVED
#7174	8' GRACE MYRTLE	REMOVED
#7175	8' PECAN	REMOVED
#7176	10' HACKBERRY	REMOVED

NUMBER	SPECIES	NOTES
#7141	9" PECAN	PRESERVED
#7151	10" ELM	PRESERVED
#7160	4" PECAN	PRESERVED
#7161	17" PECAN	PRESERVED
#7309	3" PECAN	TRANSPLANT
#7311	2" OAK	TRANSPLANT
#7312	2" OAK	TRANSPLANT
#7313	2" OAK	TRANSPLANT
#7314	4" OAK	TRANSPLANT

TREE PRESERVATION:
 EXISTING HERITAGE TREES: _____ I HERITAGE TREE _____
 TREE #762 - 24" MULBERRY - TREE IN DECLINE
 NO HERITAGE TREE MITIGATION REQUIRED

 EXISTING SITE TREES:
 SEE EXISTING TREE INVENTORY

 PROPOSED TREES:
 1' CEDAR ELM (NO TOTAL)
 4' LIVE OAK (12 TOTAL)
 2' MOUNTAIN LAUREL (13 TOTAL)

LANDSCAPE TABULATIONS:
PARKING LOT LANDSCAPING (LIMITS OF CONSTRUCTION):

 A) SECTION 3-54 (1) (A) - LANDSCAPE AREA WIDTH
 REQUIRED: 8' WIDE LANDSCAPE AREA ALONG PARKING AREA BOUNDARIES
 PROVIDED: 8' WIDE LANDSCAPE AREA ON THREE SIDES (NORTH, SOUTH AND WEST)

 B) SECTION 3-54 (1) (C) - LANDSCAPE PLAN AND PARKING LOT TREES
 REQUIRED: 1. LANDSCAPE PLAN (SIZE, SPECIES, AND LOCATIONS OF PROPOSED LANDSCAPE.
 2. ONE (1) 4" CALIPER TREE PER EIGHT (8) PARKING SPACES.
 PROVIDED: 1. LANDSCAPE PLAN
 2. 1 PARKING LOT TREES
 81 STALLS / 8 STALLS PER TREE = 8.875 = 9 PARKING LOT TREES

 C) SECTION 3-60 (4) - CANOPY TREES IN R.O.W.
 REQUIRED: PROVIDE AT LEAST ONE (1) CANOPY TREE FOR EACH 25' OF FRONTAGE
 PROVIDED: TOTAL FRONTAGE = 201 LF
 180 LF / 25 LF = 7.2 TREES = 7 R.O.W. TREES PROVIDED

REFERENCE NOTE:
REFERENCE SHEET LP SHEETS FOR
PROPOSED PLANTING PLAN, PLANTING
SPECIFICATIONS, NOTES AND DETAILS.

BURR ROAD
ALAMO HEIGHTS, TEXAS



REVISIONS: DATE
REV 1 - SACC REVISIONS 2025-01-17

PROJECT No: 2403
DATE: JANUARY 03, 2025
SHEET: 6

TREE PRESERVATION PLAN

LTP 1.1

BURR ROAD
ALAMO HEIGHTS, TEXAS



LI1.1

