



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
March 18, 2025 – 5:30 P.M.

Take notice that a regular Architectural Review Board meeting of the City of Alamo Heights will be held on **Tuesday, March 18, 2025 at 5:30pm** in the City Council Chamber, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects with may come before it.

INSTRUCTIONS FOR TELECONFERENCE: Members of the public may also participate via audio by dialing 1-346-248-7799 Meeting ID 868 0184 5240. If you would like to speak on a particular item, when the item is considered, press *9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.

Case No. 976F – 141 Burr Rd

Request of Joshua Ficarro of Pape-Dawson Engineers, applicant, representing Wendell Hall of the San Antonio Country Club, owner, for the final review in order to construct and expand an existing paved parking lot located at 141 Burr Rd under Chapter 2 Administration for Architectural Review.

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB’s recommendation for all demolition/final design review applications. Please check the ARB posted results on the City’s website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online at <http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/> and at the Community Development Services Department located at 6116 Broadway St. You may contact Dakota Procell, Planner at 210-832-2239 (dprocell@alamoheightstx.gov) or Lety Hernandez, Director, at 210-832-2250 (lhernandez@alamoheightstx.gov), or our office at (210) 826-0516 for additional information regarding this case.

CIVIL CONSTRUCTION PLANS

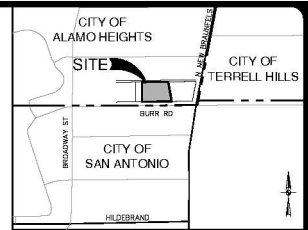


JANUARY 2025



SHEET C0.00

1. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
2. NO SITE PREPARATION WORK SHALL BEGUN IN AREAS WHERE TREE PROTECTION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED.
3. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE MAINTAINED AND MONITORED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
4. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER. IF CUTTING IS REQUIRED, IT SHALL BE APPROVED BY THE CITY INSPECTOR. THE CONTRACTOR SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
5. THE ROOT PROTECTION ZONE IS THE AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, MATERIALS, OR VEHICLES ARE ALLOWED TO ENTER. THE PROTECTION RADIUS LENGTH IS 1 FOOT FOR DIAMETER INCHES OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE HAS A PROTECTION RADIUS OF 10 FEET. THE CONTRACTOR SHALL PROTECT THE TREE, ITS ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES. THE PROTECTION ROUNDS SHALL BE PAINTED OVER, WITH 20 MINUTES TO PREVENT DIAM. WELT.



LOCATION MAP
NOT-TO-SCALE

LEGAL DESCRIPTION: LOT 41, BLOCK 3, C.B. 5600, COUNTRY CLUB HEIGHTS SUBDIVISION (1.370 ACRES)	ADDRESS: 159 BURR RD. ALAMO HEIGHTS, TEXAS 78209
--	---



LEGEND

- PROPERTY LINE**: A line with alternating long and short dashes.
- EXISTING WATER LINE**: A line with 'W' symbols.
- EXISTING OVERHEAD UTILITY LINE & POLE**: A line with 'U' symbols and a pole symbol.
- EXISTING GAS LINE**: A line with 'G' symbols.
- EXISTING CONTOURS MAJOR**: A dashed line with the number '715'.
- EXISTING CONTOURS MINOR**: A dashed line with the number '714'.
- EXISTING HORIZONTAL & VERTICAL CONTROL POINTS**: A triangle symbol.
- EXISTING TREE TO BE REMOVED (TO TREE PRESERVATION & LANDSCAPE PLAN)**: A circle with a cross inside.
- EXISTING TREE TO REMAIN AND TO BE PROTECTED (REFER TO TREE PRESERVATION & LANDSCAPE PLAN)**: A circle with a dot inside.
- ASPHALT PAVEMENT AND BASE COURSE SHALL BE REMOVED. ALL GRASSES MUST BE STRAIGHT LINE REMOVED**: A hatched rectangular area.

FIGURE 10

- ◆ EXISTING CURB TO REMAIN
- ◆ EXISTING CURB TO BE REMOVED. (SAWCUT 12 INCHES INTO EXISTING AND WITH PAVEMENT. ALL EDGES MUST BE STRAIGHT LINE. SAWCUTS)
- ◆ EXISTING FENCE LINE TO REMAIN
- ◆ EXISTING FENCE LINE TO BE REMOVED
- ◆ EXISTING CONCRETE SIDEWALK TO REMAIN
- ◆ EXISTING CONCRETE DRIVEWAY AND SIDEWALK TO BE REMOVED
- ◆ EXISTING UTILITY POLES, UTILITY LINES, GLENCOUTE, AND SPRINKLER SHALL BE DISCONNECTED FROM SERVICE PRIOR TO REMOVAL
- ◆ EXISTING WATER VALVES & METERS, UTILITY POLES, AND UTILITY LINES TO REMAIN
- ◆ TREES TO BE RELOCATED
(REFER TO LANDSCAPE PLANS)
- ◆ EXISTING LIGHT POLE TO REMAIN
(REFER TO ELECTRICAL PLANS)
- ◆ EXISTING NO PARKING SIGN TO BE RELOCATED

SEE SHEET C0.10 FOR ADDITIONAL GENERAL NOTES.

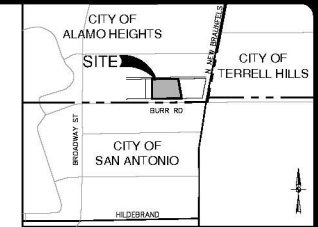
CAUTION!!! THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.

HORIZONTAL & VERTICAL CONTROL POINTS						
Point	Northing	Easting	Row Description	Elevation	Grid Northing	Grid Easting
1	13,720,487.870	2140329.850	SIRCTV	718.08'	13,718,153.784	2,139,966.156
3	13,720,488.750	2140127.196	SMCTV	714.24'	13,718,157.863	2,138,783.420
4	13,720,694.110	2140118.939	SMAGTV	711.08'	13,718,361.888	2,138,755.151
5	13,720,594.770	2140278.565	SMAGTV	717.82'	13,718,262.655	2,139,915.813

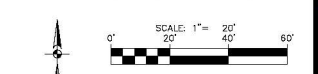
Drawn: Jan 17, 2025, 9:43am, User: JD, Version: 1.0, Project: BURR ROAD PARKING LOT - PHASE 2

This document has been prepared from information that was obtained from the owner and may not be a true and correct representation of the actual conditions. The engineer assumes no responsibility for any errors or omissions in this document.

SWP3 MODIFICATIONS		
DATE	SIGNATURE	DESCRIPTION



LEGAL DESCRIPTION: LOT 41, BLOCK 3, C.B. 6000 COUNTRY CLUB HEIGHTS SUBDIVISION (1.00 ACRES)
ADDRESS: 100 BURR RD, ALAMO HEIGHTS, TEXAS 78009



LEGEND	
	PROPERTY LINE
	PROJECT LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	FLOW ARROW (EXISTING)
	FLOW ARROW (PROPOSED)
	SILT FENCE
	ROCK BERM
	GRAVEL FILTER BASIN
	STABILIZED CONSTRUCTION ENTRANCE/EXIT (FIELD LOCATE)
	CONSTRUCTION EQUIPMENT, VEHICLE, & MATERIALS STORAGE AREA (FIELD LOCATE)
	CONCRETE TRUCK WASH-OUT PIT (FIELD LOCATE)

- ### GENERAL NOTES
- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
 - CONSTRUCTION ENTRANCE/EXIT LOCATION, CONCRETE WASH-OUT PIT, AND CONSTRUCTION EQUIPMENT AND MATERIALS STORAGE YARD TO BE DETERMINED IN THE FIELD.
 - STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
 - RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY.
 - ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
 - FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TYPES STORM WATER POLLUTION PREVENTION PLAN.
 - STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.
 - AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.
 - BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO CONSIDER WITH THE DISTURBANCE OF UPGRADE AREAS.
 - BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE DISTURBED SOIL HAS BEEN STABILIZED IN ACCORDANCE WITH TPDOS REQUIREMENTS.
 - UPON COMPLETION OF THE PROJECT, INCLUDING SITE STABILIZATION, AND BEFORE FINAL PAVEMENT IS BEGUN, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES.
 - WHERE VEGETATED FILTER STRIPS ARE INDICATED, CONTRACTOR SHALL VERIFY THAT SUFFICIENT VEGETATION EXISTS. OTHERWISE, CONTRACTOR SHALL PLANT SUEDE PLANTS IN LIEU OF VEGETATED FILTER STRIP.
 - PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL COORDINATE PLACEMENT OF TEMPORARY BEST MANAGEMENT PRACTICES WITH TPDOT RIGHT-OF-WAY WITH TPDOT.
 - OPS ENERGY WILL FUNCTION AS A SECONDARY OPERATOR ON THIS PROJECT AND WILL BE INSTALLING ELECTRIC UTILITIES FOR ON-SITE CONSTRUCTION AND OFF-SITE FEED TO THE PROJECT.

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE TYPES-STORM WATER POLLUTION PREVENTION PLAN (SWP3) REGULATIONS.

THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF THE SWP3 ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

EXHIBIT 2

DATE	01/16/25
NO.	1
REVISION	1
DATE	01/16/25
REVISION	1



PAPE-DAWSON ENGINEERS
2008 NW 43RD AVE. | SAN ANTONIO, TX 78217 | 210.775.8008
TEXAS ENGINEERING FIRM #01838008

BURR ROAD PARKING LOT - PHASE 2
ALAMO HEIGHTS, TEXAS
STORM WATER POLLUTION PREVENTION PLAN

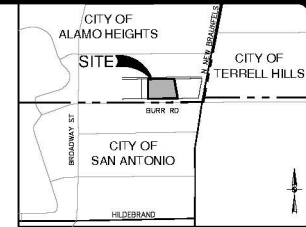
PLAT NO.	N/A
JOB NO.	7531-10
DATE	JANUARY 2025
DESIGNER	JF
CHECKED	DM, DRANK, LF
SHEET	C1.00

PERMIT SET

Date: Jan 17, 2025, 9:43am User: JD-Rodriguez
File: C:\Users\JD-Rodriguez\OneDrive\Documents\Burr Road\Burr Road.dwg

This drawing has been prepared from information that was obtained from the owner and is not to be used for any other purpose without the owner's written consent. The engineer's seal and signature are required for this drawing to be used for any other purpose. The engineer's seal and signature are required for this drawing to be used for any other purpose.

PARKING SUMMARY TABLE	
PARKING SPACES (9'x20' STALLS)	67
EXISTING PARKING SPACES	67
PROPOSED PARKING SPACE	67
TOTAL PARKING SPACES	134



LEGAL DESCRIPTION
LOT #1, BLOCK 3, C.B. 6000, COUNTRY CLUB
HEIGHTS SUBDIVISION (130 ACRES)

ADDRESS
100 BURR RD
ALAMO HEIGHTS, TEXAS 78009

SCALE: 1" = 20'
0' 20' 40' 60'

LEGEND

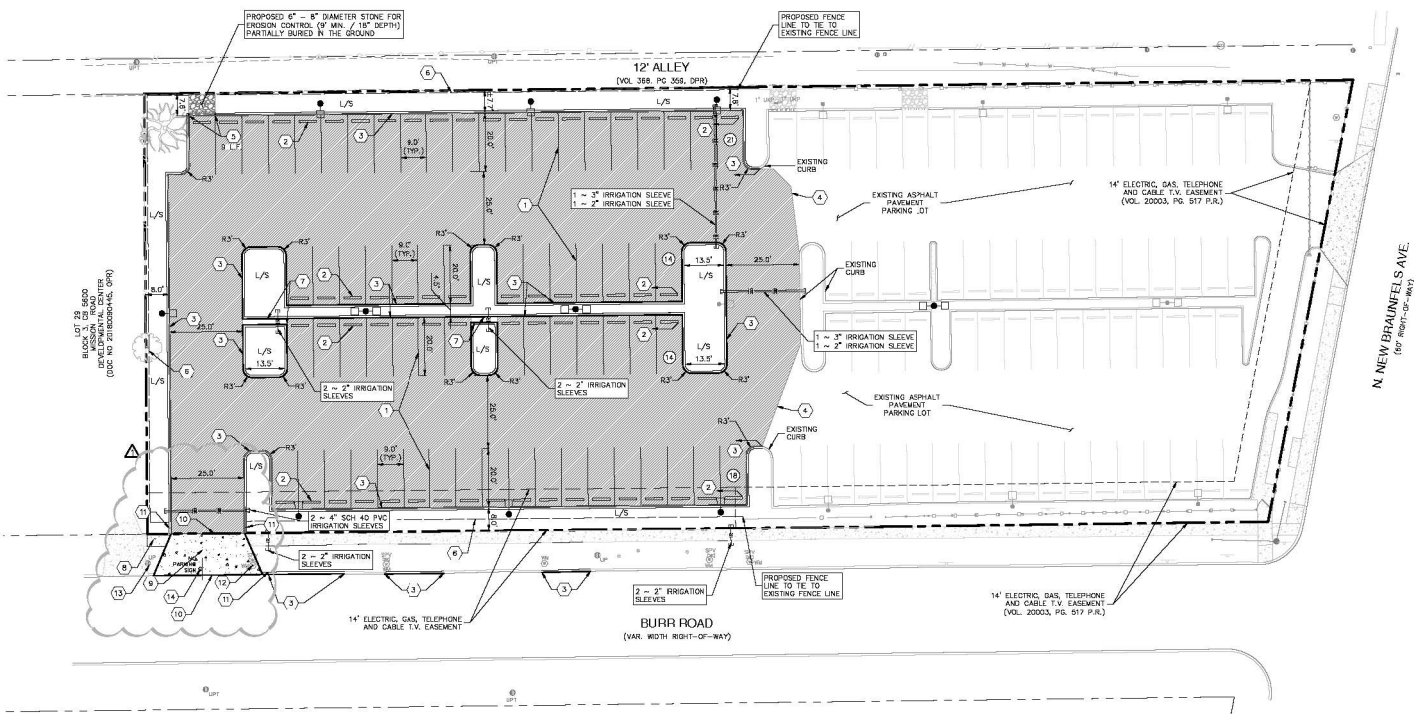
- PROPERTY LINE
- FLEXIBLE PAVEMENT (REF: C3.00 FOR DTL)
- PARKING STALL COUNT
- LANDSCAPE (REFER TO LANDSCAPE PLANS)
- PROPOSED IRRIGATION SLEEVES
- PROPOSED SITE LIGHTS (TYP) REFER TO ELECTRICAL PLANS

KEYED NOTES

- 4" WIDE WHITE STRIPING (TYPICAL)
- WHEEL STOP (TYPICAL) (REF: C3.00 FOR DTL)
- 6" STANDARD CURB (REF: C3.00 FOR DTL)
- ASPHALT / ASPHALT PAVEMENT JUNCTURE (REF: C3.00 FOR DTL)
- SAFETY CURB (REF: C3.00 FOR DTL)
- PROPOSED FENCE TO MATCH EXISTING FENCE
- 2" CONCRETE FILL (REF: C3.00 FOR DTL)
- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED CONCRETE DRIVEWAY
- ASPHALT / CONCRETE PAVEMENT JUNCTURE (REF: C3.00 FOR DTL)
- 2" CURB TRANSITION (REF: C3.00 FOR DTL)
- EXISTING WATER VALVE TO REMAIN, TOP OF VALVE TO BE ADJUSTED TO FINAL GRADES
- EXISTING POWER POLE (CONTRACTOR TO USE CAUTION NEAR OVERHEAD ELECTRIC)
- NO PARKING SIGN TO BE RELOCATED

NOTE

SEE SHEET C0.10 FOR ADDITIONAL GENERAL NOTES.

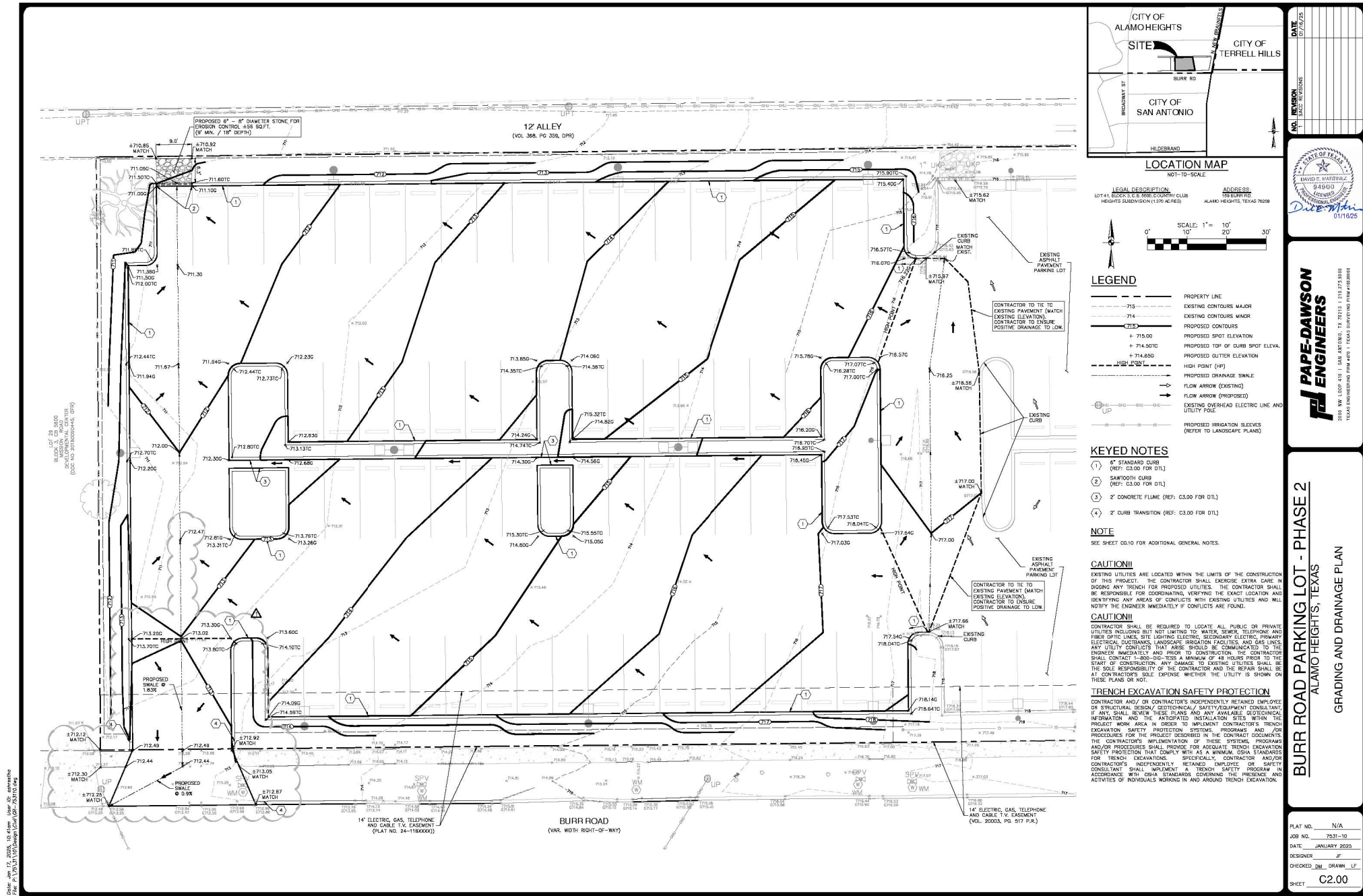


PAPE-DAWSON ENGINEERS
100 BURR RD, SUITE 400, ALAMO HEIGHTS, TEXAS 78009
TELEPHONE: 281.488.1111 FAX: 281.488.1112
WWW.PAPE-DAWSON.COM

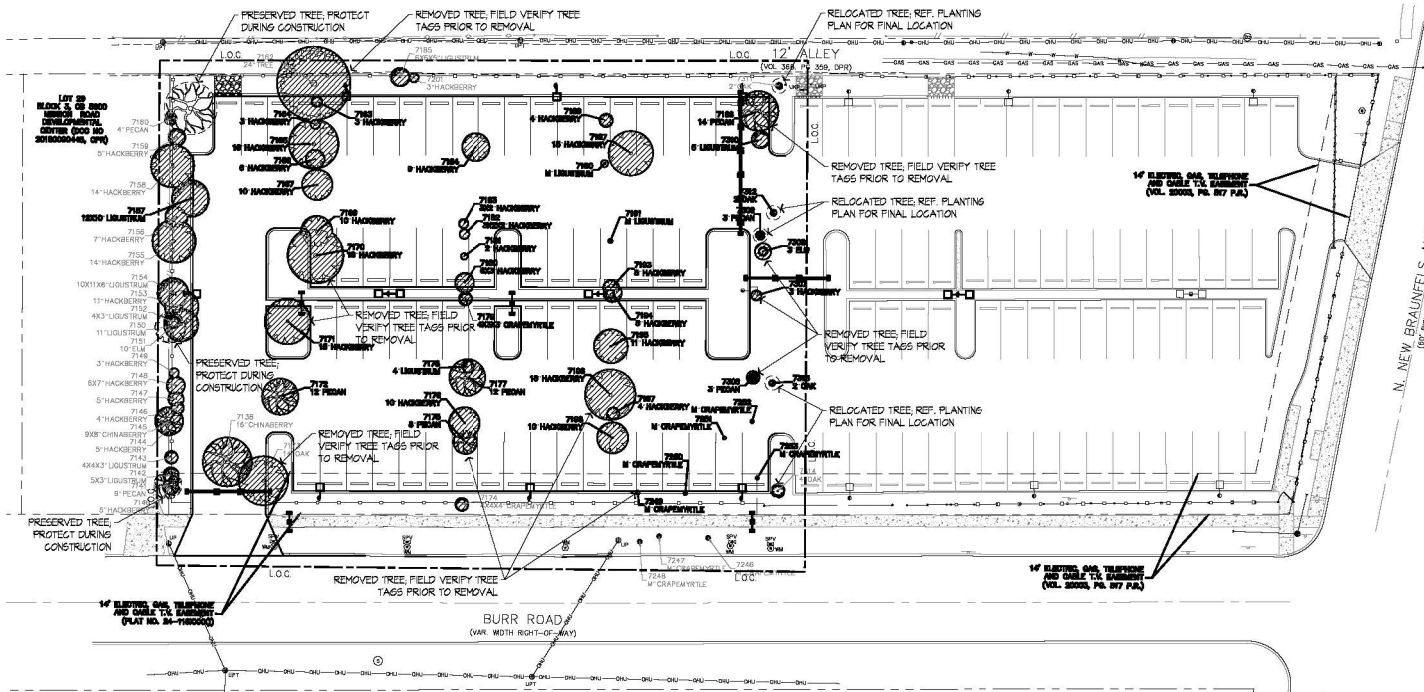
BURR ROAD PARKING LOT - PHASE 2
ALAMO HEIGHTS, TEXAS
DIMENSIONAL CONTROL AND PAVING PLAN

PLAT NO. N/A
JOB NO. 7531-10
DATE JANUARY 2025
DESIGNER JF
CHECKED DM DRAMN LF
SHEET C1.20

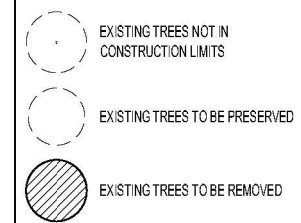
PERMIT SET



PERMIT SET



TREE PRESERVATION LEGEND



BURR ROAD PARKING EXPANSION

REMOVED TREE LIST

NUMBER	SPECIES	NOTES
#1135	16" CHINA BERRY	REMOVED
#1134	5.5" GRAPE MYRTLE	REMOVED
#1140	5" HACKBERRY	REMOVED
#1142	6.5" LIGUSTRUM	REMOVED
#1143	15" LIGUSTRUM	REMOVED
#1144	5" HACKBERRY	REMOVED
#1145	15" CHINA BERRY	REMOVED
#1146	4" HACKBERRY	REMOVED
#1147	5" HACKBERRY	REMOVED
#1148	4.5" HACKBERRY	REMOVED
#1149	5" HACKBERRY	REMOVED
#1150	11" LIGUSTRUM	REMOVED
#1152	5.5" LIGUSTRUM	REMOVED
#1153	11" HACKBERRY	REMOVED
#1154	18.5" LIGUSTRUM	REMOVED
#1155	14" HACKBERRY	REMOVED
#1156	7" HACKBERRY	REMOVED
#1157	17" LIGUSTRUM	REMOVED
#1158	14" HACKBERRY	REMOVED
#1159	4" HACKBERRY	REMOVED
#1161	10" HACKBERRY	REMOVED
#1164	5" HACKBERRY	REMOVED
#1165	16" HACKBERRY	REMOVED
#1166	6" HACKBERRY	REMOVED
#1167	12" HACKBERRY	REMOVED
#1168	10" HACKBERRY	REMOVED
#1170	18" HACKBERRY	REMOVED
#1171	15" HACKBERRY	REMOVED
#1172	12" PECAN	REMOVED
#1173	14" OAK	REMOVED
#1174	8" GRAPE MYRTLE	REMOVED
#1175	8" PECAN	REMOVED
#1176	10" HACKBERRY	REMOVED

PRESERVED TREE LIST

NUMBER	SPECIES	NOTES
#1141	4" PECAN	PRESERVED
#1141	12" ELM	PRESERVED
#1160	4" PECAN	PRESERVED
#1161	17" PECAN	PRESERVED
#11601	3" PECAN	TRANSPLANT
#1161	2" OAK	TRANSPLANT
#1162	2" OAK	TRANSPLANT
#1163	2" OAK	TRANSPLANT
#1164	4" OAK	TRANSPLANT

TREE PRESERVATION AND LANDSCAPE REQUIREMENTS:

TREE PRESERVATION:
EXISTING HERITAGE TREES: 1 HERITAGE TREE
TREE #1162 - 24" MULBERRY - TREE IN DECLINE
NO HERITAGE TREE MITIGATION REQUIRED

EXISTING SITE TREES:
SEE EXISTING TREE INVENTORY

PROPOSED TREES:
4" CEDAR ELM (10 TOTAL)
4" LIVE OAK (12 TOTAL)
2" MOUNTAIN LAUREL (15 TOTAL)

LANDSCAPE TABULATIONS:

PARKING LOT LANDSCAPING (LIMITS OF CONSTRUCTION):

A) SECTION 3-54 (1) (A) - LANDSCAPE AREA WIDTH
REQUIRED: 8' WIDE LANDSCAPE AREA ALONG PARKING AREA BOUNDARIES
PROVIDED: 8' WIDE LANDSCAPE AREA ON THREE SIDES (NORTH, SOUTH AND WEST)

B) SECTION 3-54 (1) (C) - LANDSCAPE PLAN AND PARKING LOT TREES
REQUIRED: 1. LANDSCAPE PLAN (SIZE, SPECIES, AND LOCATIONS OF PROPOSED LANDSCAPE)
2. ONE (1) 4" CALIPER TREE PER EIGHT (8) PARKING SPACES.
PROVIDED: 1. LANDSCAPE PLAN
2. 9 PARKING LOT TREES
61 STALLS / 8 STALLS PER TREE = 8.875 = 9 PARKING LOT TREES

C) SECTION 3-60 (4) - CANOPY TREES IN R.O.W.
REQUIRED: PROVIDE AT LEAST ONE (1) CANOPY TREE FOR EACH 25' OF FRONTAGE
PROVIDE: TOTAL FRONTAGE = 209 LF
180 LF / 25 LF = 7.2 TREES = 7 R.O.W. TREES PROVIDED

REFERENCE NOTE:
REFERENCE SHEET LP SHEETS FOR
PROPOSED PLANTING PLAN, PLANTING
SPECIFICATIONS, NOTES AND DETAILS.

BURR ROAD
ALAMO HEIGHTS, TEXAS



REVISIONS:
REV 1: SACC REVISIONS 2023-01-17

PROJECT No: 2403
DATE: JANUARY 10, 2025

TREE PRESERVATION PLAN

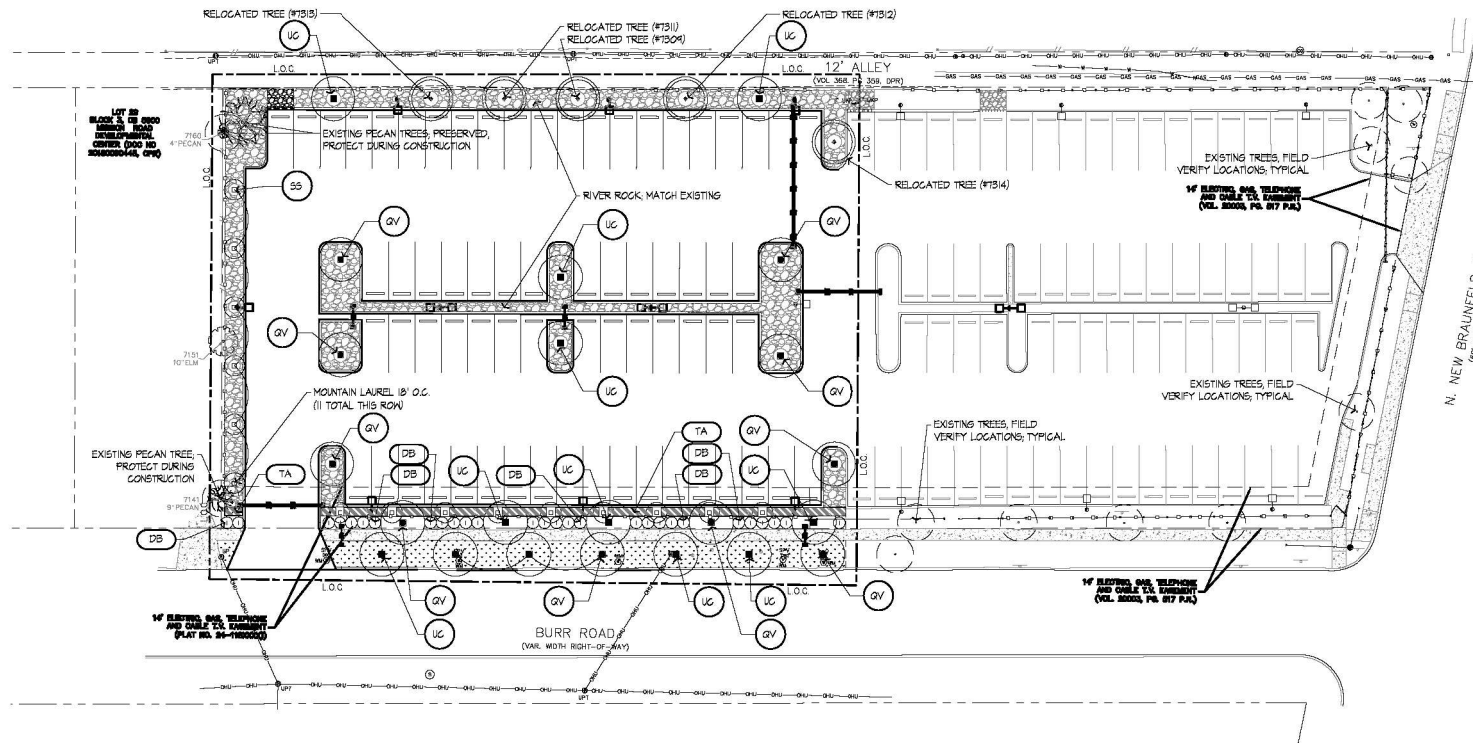
LTP 1.1

0' 10' 20' NORTH
SCALE : 1"=20'-0"

PROJECT No: 24023
DATE: JANUARY 03, 2005
SHEET: 6

LP 1.1

REFERENCE NOTE:
REFERENCE SHEET LP 2.1 FOR PLANT LIST,
PLANTING SPECIFICATIONS, NOTES AND
PLANTING DETAILS



PLANTING SPECIFICATIONS:

PART 1 - GENERAL NOTES

LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE IN ITS EXISTING CONDITION AND SHALL TIE NEW WORK TO EXISTING CONDITIONS AND CONTROLS (SUCH AS EXISTING GRADES AND WALK ELEVATIONS AS NECESSARY TO MEET THE INTENT OF THE PLANS).

BEFORE PROCEEDING WITH ANY WORK IN AN AREA, LANDSCAPE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUTS AND SIZES AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS. IF ANY UTILITIES OR OBSTRUCTIONS ARE DISCOVERED DURING CONSTRUCTION, CONTRACTOR SHALL STOP WORK AND LANDSCAPE ARCHITECT SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT / OWNER BEFORE PROCEEDING WITH ANY WORK. LANDSCAPE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGE IF WORK PROCEEDS IN EITHER OF THE ABOVE SITUATIONS WITHOUT NOTIFYING LANDSCAPE ARCHITECT / OWNER.

PRIOR TO ANY EXCAVATION, LANDSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE AUTHORITIES INCLUDING, BUT NOT LIMITED TO, TEXAS ONE CALL SYSTEM AT 1-800-248-4848 TO LOCATE EXISTING UNDERGROUND UTILITIES.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY DAMAGE TO ANY UTILITIES OR PROPERTY THAT MAY OCCUR IN THE EXECUTION OF HIS CONTRACT WORK. WHEN WORK REQUIRES CROSSING EXISTING WALKS OR CURBS WITH EQUIPMENT, LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED BRIDGE MATERIAL SUCH AS WOOD PLANKS AND EARTH TO PREVENT DAMAGE TO FINISHED WORK. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS THAT MAY BE WORKING ON THE SITE SIMULTANEOUSLY AND SHALL COORDINATE STAGING OF HIS WORK WITH OWNER AND LANDSCAPE ARCHITECT. ALL TRASH AND DEBRIS GENERATED FROM CONTRACT OPERATIONS SHALL BE REMOVED ON A DAILY BASIS. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY IN CONJUNCTION WITH HIS CONTRACT WORK.

WARRANTIES:

1. FURNISH OWNER WRITTEN WARRANTY THAT PLANT MATERIALS WILL BE IN HEALTHY CONDITION FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. DAMAGE DUE TO ACTS OF GOD, VANDALISM, OR NEGLIGENCE BY OWNER IS EXCLUDED.
2. REPLANT DEAD, UNHEALTHY AND UNSUITABLE PLANT MATERIALS WITHIN WARRANTY PERIOD, UPON NOTIFICATION BY OWNER OR LANDSCAPE ARCHITECT.
3. NOTIFY OWNER 30 DAYS PRIOR TO EXPIRATION OF WARRANTY PERIOD AND ARRANGE FINAL ACCEPTANCE INSPECTION BY ALL PARTIES.
4. REMOVE DEAD, UNHEALTHY PLANT MATERIAL.
5. REMOVE GUTTINGS AND STAKING MATERIALS.
6. WARRANT RE-PLACEMENT PLANTS UNDER SAME PROVISIONS AND FOR THE SAME PERIOD AS THE ORIGINAL PLANTS.

MAINTENANCE:

1. MAINTAIN PLANT LIFE IMMEDIATELY AFTER PLACEMENT AND FOR SIXTY (60) DAYS AFTER FINAL ACCEPTANCE.
2. REPLANT DEAD OR DYING PLANTS WITH PLANTS OF SAME SIZE AND SPECIES SPECIFIED.
3. REMOVE TRASH, DEBRIS, AND LITTER WATER, PRUNE, FERTILIZE, WEED, AND MOW. SPOT APPLY HERBICIDES AND FUNGICIDE ONLY AS REQUIRED.
4. REMOVE CLIPPING AND OTHERS FROM SITE PROMPTLY.
5. COORDINATE WITH OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM IRRIGATION SYSTEM.
6. RESET SETTLED PLANTS.
7. REAPPLY MULCH TO BARE AND THIN AREAS TO MAINTAIN 4" DEPTH.

MATERIALS:

1. PLANT MATERIALS:
 1. IDENTIFIED IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60.1 - NURSERY STOCK.
 2. SPECIES AND SIZE AS INDICATED IN PLANT SCHEDULE. LARGER SIZE MAY BE SUBSTITUTED WITHOUT ADDITIONAL COST TO OWNER.
 3. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
 4. GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE AT SITE. FREE FROM DISEASE, INSECT INFESTATIONS, DEFECTS INCLUDING WEAKE OR BROKEN LIMBS, GROTCHES, AND DAMAGED TRUNKS, ROOTS OR LEAVES, SUN SCALD, FRESH BARK ABRASIONS, EXCESSIVE ABRASIONS, AND OBJECTIONABLE DISFIGUREMENTS.
 5. EXHIBIT NORMAL GROWTH HABITS, VIGOROUS, HEALTHY, FULL, WELL-PROPORTIONED, AND SYMMETRICAL.
 6. TREE TRUNKS TO BE STURDY AND EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR ROOT BOARD.
 7. CONTAINER-GROWN STOCK.
2. TOPSOIL:
 1. USE SITE GENERATED SOIL FROM PLANTING PREPARATIONS, REASONABLY FREE FROM CLAY LUMPS, COARSE SANDS, STONES, ROOTS, AND OTHER FOREIGN MATTER.
 2. USE IMPORTED TOPSOIL FROM APPROVED VENDOR SUCH AS NEW EARTH SOILS AND COMPOST (210-661-9180) TO DEPTH DEMONSTRATED IN PLANS.
3. MULCH:
 1. SHREDDED, COMPOSTED HARDWOOD BARK OF VARYING LENGTH BY NEW EARTH SOILS AND COMPOST, OR APPROVED SUBSTITUTE. PARTIALLY DECOMPOSED; FREE FROM STICKS, STONES, CLAY, AND GERMINATION INHIBITING INGREDIENTS.
4. TURF:
 1. SOG, PROVIDE FULL, DARK GREEN, UNIFORM, STRONGLY ROOTED SOG IN 16"x24" STRIPS FREE FROM WEEDS, UNDESIRABLE GRASSES, DISEASES AND PESTS. SOG SHALL BE CUT FROM THE FIELD NO LONGER THAN 48 HOURS PRIOR TO PLANTING; ROOTS OF SOG SHALL BE KEPT MOIST.
5. TREES:
 1. BRANCHES, TREES SHALL BE STAKED AS PER DETAILS OR APPROVED SUBSTITUTE.
 2. TREE PAINT: MORRISON TREE SEAL, CARBO TREE PAINT, OR OTHER PRODUCT APPROVED BY LANDSCAPE ARCHITECT.
6. EDGING:
 1. PLANTER BED EDGING SHALL BE 3/16" X 4" STEEL EDGING WITH MANUFACTURER'S STANDARD GREEN FINISH UNLESS OTHERWISE NOTED IN PLANS.
7. MIXES:
 1. PLANT BED MIX: PLANT BED MIX (BACKFILL MIX) SHALL BE NEW EARTH'S 4-WAY MIX AS PRODUCED BY NEW EARTH LLC (PH 210-661-9180). DOCUMENTATION OF THIS PURCHASE SHALL BE PROVIDED TO LANDSCAPE ARCHITECT. IF EQUAL, IT IS PREFERRED CONTRACTOR MUST SUBMIT SAMPLE AND COMPLETE ANALYSIS WITH TEST RESULTS AND METHOD OF PRODUCTION FOR EVALUATION AS AN EQUAL SUBSTITUTE.

PART 2 - EXECUTION

PREPARATION
LANDSCAPE CONTRACTOR SHALL RECEIVE SITE AT APPROXIMATELY FINISH GRADE LESS ANY SETTLEMENT THAT MAY HAVE OCCURRED SINCE SITE ACQUISITION. THIS GRADE SHALL BE SUFFICIENT TO REMOVE ALL DEBRIS INCLUDING STICKS, CLOUDS, AND STONES AND SHALL BE FINE GRADE TO ELIMINATE ALL HUMPS, RUTS, DEPRESSIONS AND ABRUPT CHANGES IN GRADE OR ANY AREA THAT COULD CAUSE WATER TO POOL.

1. IF VEGETATION IS GROWING IN PLANTING/LAWN AREAS, APPLY HERBICIDE AT RATES RECOMMENDED BY MANUFACTURER. ALLOW TO DIE AND THEN GRUB OUT ROOTS TO MINIMUM 12" DEPTH.
2. MARK LOCATION OF TREES AND UTILITIES OF PLANT BEDS USING COLORED WOOD STAKES OR FLAGS PRIOR TO BEGINNING PLANTING; OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.

TREE AND SHRUB PLANTING (SEE DETAILS):

1. REMOVE CONTAINERS WITHOUT DAMAGE TO ROOTS.
2. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS; REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING. PREVENTS DAMAGE TO ROOTS.
3. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAP TREES AFTER PLACEMENT.
4. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. PULL ANY WEEDS GROWING IN TREE BALL AND EXPOSE ROOT FLARE (TOP OF MOST IDENTIFIABLE ROOT). REMOVE ANY GIRDLING ROOTS AND SET PLANT SO THAT ROOT FLARE IS 2" ABOVE FINISH GRADE. ORIENT PLANTS FOR BEST APPEARANCE. BACKFILL THE BOTTOM 2/3 OF THE SOG WITH SOG. EXCAVATE FROM THE EXCAVATION OF FIT AND TIGHTEN. LIGHTLY WATER THIS SOG. TO SETTLE IN BACKFILL. THE REMAINDER OF THE EXCAVATION WITH A 50/50 MIX OF NEW EARTH'S 4-WAY MIX AND NATIVE SOIL EXCAVATED FROM THE FIT. PLACE PLANT HEALTH CARE GROUPS "TREE SAVERS" IN BACKFILL AS PER PLAN'S DIRECTION AND APPLICATION RATES. LIGHTLY TAMP AND WATER SOG. TO REMOVE ALL AIR POCKETS. FROM PLANTS OUTSIDE OF PLANTING BEDS, CONSTRUCT 3 INCH HIGH WATER CONTAINMENT

1. RING AROUND PLANT. SPREAD MULCH TO MINIMUM 4" DEPTH OVER PLANT BASIN.
2. ADJUST PLANT HEIGHT IF SETTLEMENT OCCURS AFTER BACKFILL AND STAKE AS DETAILED.
3. TWO TO THREE WEEKS FOLLOWING PLANTING, INJECT PLANT HEALTH CARE INJECTABLE INOCULANT AROUND ROOT BALL, FOLLOWING MANUFACTURER'S DIRECTIONS AND APPLICATION RATES. CONTACT LANDSCAPE ARCHITECT TO OBSERVE THIS OPERATION.
4. TRIM PLANTS TO REMOVE DEAD AND INURED BRANCHES ONLY. TREAT CUTS OVER 3/4" INCH DIAMETER WITH TREE SEALANT (DANKS 027).
5. BRACE PLANTS OVER 65 GALLONS SIZE IMMEDIATELY AFTER PLANTING.
6. FOR TREES 2" CALIPER AND GREATER, PROVIDE STAKING AS DETAILED: POSITION TO PREVENT HAZARDS TO PEDESTRIANS.
7. DO NOT RESTRICT PLANT MOVEMENT UNDER LIGHT WIND LOADS OR DAMAGE BARK.

MASS SHRUB, GROUNDCOVER, AND ANNUAL PLANTING (SEE DETAILS):

1. EXCAVATE PLANT BED TO DEPTH AS DETAILED ON PLANS.
2. BACKFILL WITH SPECIFIED 4-WAY MIX AND TILL IN SPECIFIED PLANT HEALTH CARE'S 'HEALTHY START 3-4-5' AT A RATE OF 25 LBS PER CUBIC YARD.
3. INSTALL METAL EDGINGS TO SEPARATE ALL PLANTER BEDS FROM TURF AND AT LOCATIONS INDICATED ON PLANS.
4. SPACING PLANTS IN STRAIGHT, EVENLY SPACED ROWS AT SPACING INDICATED ON DRAWINGS. TO UNIFORMLY FILL BEDS, USE TRIANGULAR SPACING METHOD UNLESS OTHERWISE INDICATED ON PLANS.
5. WATER PLANTS THOROUGHLY IMMEDIATELY AFTER PLANTING. REPAIR SETTLED AREAS.
6. ADJUST FINAL GRADES TO 1/2 INCH BELOW ADJACENT PAVING GRACES.
7. SPREAD MULCH TO MINIMUM 4" DEPTH OVER PLANTING AREAS.

CLEANING AND ADJUSTING:

1. REPAIR RUTS, HOLES AND SCARS IN GROWING SURFACE. PROVIDE POSITIVE DRAINAGE IN ALL AREAS.

LAWN APPLICATION:

1. COORDINATION:
 1. HYDROSEALING AND SOG AFTER TREE, SHRUB AND GROUNDCOVER INSTALLATION IS COMPLETE.
 2. CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR TO ENSURE FUNCTIONAL IRRIGATION SYSTEM PRIOR TO ANY LAWN INSTALLATION.

PREPARATION:

1. PRE-PLANT WEED CONTROL - IF WEEDS EXIST WITHIN PROPOSED TURF AREAS AT THE BEGINNING OF WORK, SPRAY WITH A NON SELECTIVE SYSTEMIC CONTACT HERBICIDE, AS RECOMMENDED AND APPLIED BY AN APPROVED LICENSED APPLICATOR. CLEAR AND REMOVE THESE EXISTING WEEDS UPON HERBICIDE'S COMPLETED ACTION BY GRUBBING OFF ALL PLANTS AT LEAST 3" - 1' BELOW SURFACE OF THE SOIL.

SOG INSTALLATION:

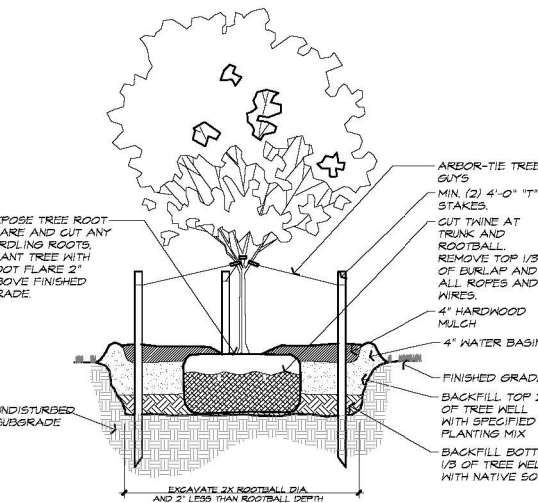
1. INCORPORATE SPECIFIED LAWN FERTILIZER AT SEVEN (7) POUNDS PER 1000 SQUARE FEET OF LAWN AREA FOR SOG.
2. PRE-EMERGENT HERBICIDE APPLICATION: APPLY RECOMMENDED HERBICIDE TO LABEL INSTRUCTIONS IN TWO APPLICATIONS. THE FIRST APPLICATION WILL BE UP TO 10 DAYS PRIOR TO PLANTING. THE SECOND APPLICATION WILL BE 5 DAYS PRIOR TO PLANTING. USE CARE TO AVOID WIND DRIFT OR RUNOFF TO ADJACENT ORNAMENTAL TREE OR SHRUB PLANTINGS.
3. LAY SOG WITHIN 24 HOURS FROM TIME OF STRIPPING.
4. LAY SOG TO FORM SOG MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOG STRIPS. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOG. REMOVE EXCESS SOG TO AVOID SMOTHERING ADJACENT GRASS.
5. SOG PADS SHALL BE OF FULLEST SIZE POSSIBLE. NO SOG SLIVERS WILL BE PERMITTED.
6. FINISHED GRADE OF NEW SOG SHALL BE FLUSH WITH ADJACENT LAWN AND PAVEMENT. ENSURE POSITIVE DRAINAGE IN ALL AREAS.
7. ROLL ENTIRE SOG'D AREA WITH SOG ROLLER. WATER SOG THOROUGHLY.
8. CONTRACTOR SHALL OVER SEED SOG AREAS WITH ANNUAL RYE GRASS IF LAWN INSTALLATION OCCURS SEPTEMBER 15 THROUGH APRIL 15 AT 8 LBS PER 1000 SQUARE FEET.
9. SHOULD LAWN AREAS BE SEEDS WITH ANNUAL RYE GRASS, THE CONTRACTOR SHALL RETURN TO THE SITE BETWEEN APRIL 15 AND MAY 15 TO RE-PREPARE FOR SODDING.

ACCEPTANCE:

1. PRIOR TO SCHEDULING A SUBSTANTIAL COMPLETION INSPECTION, LANDSCAPE CONTRACTOR SHALL THOROUGHLY CLEAN SITE OF ALL DEBRIS AND TRASH AND REPAIR ANY DAMAGE TO FINISH GRADE WHEN LANDSCAPE WORK IS COMPLETE. A SUBSTANTIAL COMPLETION INSPECTION WILL BE HELD. FOLLOWING COMPLETION OF ANY FINISH ITEMS GENERATED FROM THE SUBSTANTIAL COMPLETION INSPECTION, A FINAL INSPECTION WILL BE HELD AND, IF FOUND ACCEPTABLE, A CERTIFICATE OF FINAL ACCEPTANCE WILL BE ISSUED.
2. LANDSCAPE CONTRACTOR SHALL CONTINUE MAINTENANCE UNTIL FINAL ACCEPTANCE, AT WHICH TIME THE SPECIFIED MAINTENANCE PERIOD WILL BEGIN.

SAN ANTONIO COUNTRY CLUB - BURR ROAD PARKING EXPANSION

REVISION SET - JANUARY 05, 2025



3 TREE PLANTING SECTION Scale: NTS

BURR ROAD PARKING EXPANSION PLANT SCHEDULE

TREES

KEY	COMMON NAME Botanical Name	SIZE	HEIGHT	SPREAD	COMMENTS
GV	LIVE OAK <i>Quercus virginiana</i>	4" GAL	10'-12'	6'-8'	SELECT B1/B, SYMMETRICAL CANOPY, FULL
UC	CEDAR ELM <i>Ulmus crassifolia</i>	4" GAL	10'-12'	6'-8'	SELECT B1/B, SYMMETRICAL CANOPY, FULL
SS	TEXAS MOUNTAIN LAUREL <i>Sophora secundiflora</i>	15 GAL	24'-30'	24'-36'	SELECT B1/B, SYMMETRICAL CANOPY, FULL

SHRUBS

KEY	COMMON NAME Botanical Name	SIZE	HEIGHT	SPREAD	SPACING	COMMENTS
DB	BICOLOR IRIS <i>Iris bicolor</i>	3 GAL	18"-24"	12"-18"	24" O.C.	IN HEALTHY AND VIGOROUS CONDITION
TA	ASIAN JASMINE <i>Trachelospermum asiaticum</i>	1 GAL	10"-18"	12"-18"	36" O.C.	IN HEALTHY AND VIGOROUS CONDITION

GROUNDCOVERS

KEY	COMMON NAME Botanical Name	SIZE	HEIGHT	SPREAD	SPACING	COMMENTS
	ZOYSIA <i>Zoysia sp</i>	SOLID SOG				CONTRACTOR TO FIELD VERIFY QUANTITY OF LAWN REQUIRED

STONE, STEEL, AND OTHER MATERIAL

KEY	COMMON NAME Botanical Name	APPLICATION	COMMENTS
	2" WASHED RIVER ROCK	2" DEPTH	CONTRACTOR TO FIELD VERIFY QUANTITY OF LAWN REQUIRED

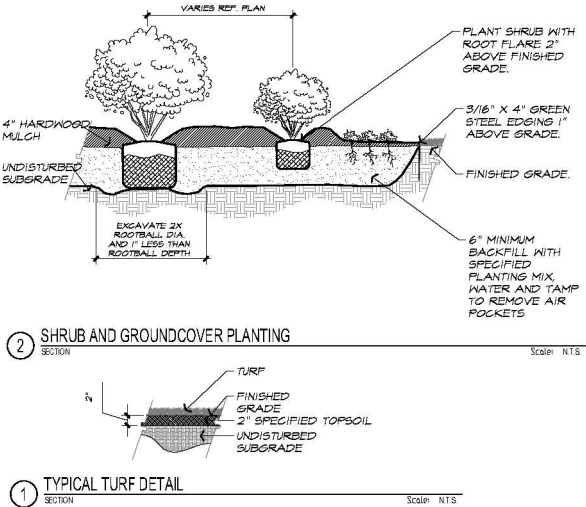
GENERAL PLANTING NOTES:

PLANTING PLAN FOR BIDDING AND REFERENCE PURPOSES. CONTRACTOR SHALL VERIFY PLANT QUANTITIES REQUIRED TO CARRY OUT DESIGN INTENT AS INDICATED ON PLANS.

ALL PLANTING MATERIAL SHALL BE ASSUMED TO BE PLANTED IN A TRIANGULAR PATTERN UNLESS OTHERWISE SHOWN OR NOTED ON PLANS.

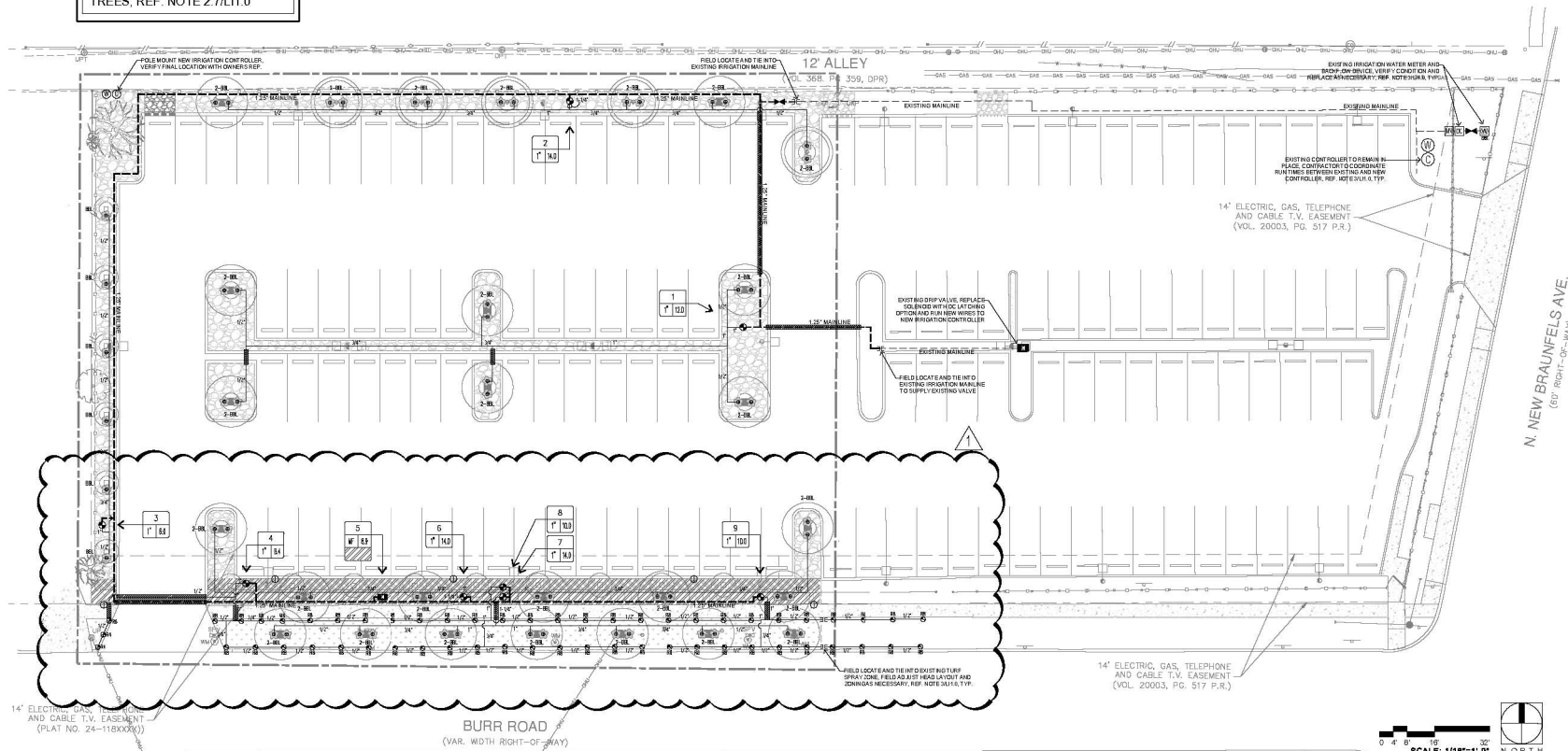
ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-VEGETATED TO PRE-CONSTRUCTION CONDITIONS UNLESS OTHERWISE NOTED ON PLANS.

ALL MATERIAL SIZES SPECIFIED ARE INTENDED TO BE MINIMUM REQUIREMENTS TO BE PURCHASED PRIOR TO INSTALLATION. ALL EXCEPTIONS SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



1 TYPICAL TURF DETAIL SECTION Scale: NTS

NO MACHINE TRENCHING WITHIN
THE DRIPLINE OF EXISTING
TREES, REF. NOTE 2.7/L11.0



BURR ROAD PARKING
EXPANSION

BURR ROAD
ALAMO HEIGHTS, TEXAS

REVISIONS: DATE
SAC/REVISIONS 01/17/25

PROJECT No: 2403
DATE: JANUARY 18, 2025
SHEET: of

IRRIGATION
PLAN

L11.1