



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
March 18, 2025 – 5:30 P.M.

Take notice that a regular Architectural Review Board meeting of the City of Alamo Heights will be held on **Tuesday, March 18, 2025 at 5:30pm** in the City Council Chamber, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects with may come before it.

INSTRUCTIONS FOR TELECONFERENCE: Members of the public may also participate via audio by dialing 1-346-248-7799 Meeting ID 868 0184 5240. If you would like to speak on a particular item, when the item is considered, press *9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.

Case No. 975F – 137 Burr Rd

Request of Joshua Ficarro of Pape-Dawson Engineers, applicant, representing Wendell Hall of the San Antonio Country Club, owner, for the final review in order to construct and expand an existing paved parking lot located at 137 Burr Rd under Chapter 2 Administration for Architectural Review.

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB's recommendation for all demolition/final design review applications. Please check the ARB posted results on the City's website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online at <http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/> and at the Community Development Services Department located at 6116 Broadway St. You may contact Dakota Procell, Planner at 210-832-2239 (dprocell@alamoheightstx.gov) or Lety Hernandez, Director, at 210-832-2250 (lhernandez@alamoheightstx.gov), or our office at (210) 826-0516 for additional information regarding this case.

CIVIL CONSTRUCTION PLANS



JANUARY 2025



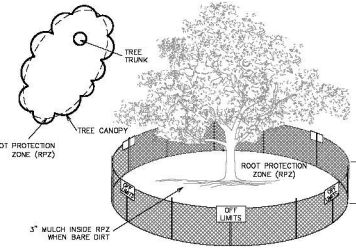
SHEET C0.00

Drawn: Jan 17, 2025, 9:44am User: C. Roberts
Title: BURR ROAD PARKING LOT - PHASE 2

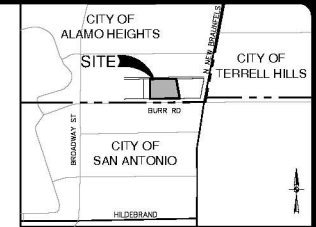
THIS DOCUMENT HAS BEEN PROVIDED FROM A SOURCE THAT HAS BEEN REVIEWED AND APPROVED FOR THE CITY OF SAN ANTONIO. THE CITY OF SAN ANTONIO DOES NOT WARRANT THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE CITY OF SAN ANTONIO DOES NOT WARRANT THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE CITY OF SAN ANTONIO DOES NOT WARRANT THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

TREE PRESERVATION NOTES

1. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
2. NO SITE PREPARATION WORK SHALL BE DONE IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED.
3. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REMOVED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
4. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
5. THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A DIAMETER FROM THE TREE TRUNK TO THE OUTERMOST BRANCHES. THE ROOT PROTECTION ZONE SHALL BE 10 FEET FOR TREES WITH A DBH OF 10 INCHES OR LESS, 15 FEET FOR TREES WITH A DBH OF 11 TO 14 INCHES, 20 FEET FOR TREES WITH A DBH OF 15 TO 19 INCHES, 25 FEET FOR TREES WITH A DBH OF 20 TO 24 INCHES, 30 FEET FOR TREES WITH A DBH OF 25 TO 29 INCHES, 35 FEET FOR TREES WITH A DBH OF 30 TO 34 INCHES, 40 FEET FOR TREES WITH A DBH OF 35 TO 39 INCHES, 45 FEET FOR TREES WITH A DBH OF 40 TO 44 INCHES, 50 FEET FOR TREES WITH A DBH OF 45 TO 49 INCHES, 55 FEET FOR TREES WITH A DBH OF 50 TO 54 INCHES, 60 FEET FOR TREES WITH A DBH OF 55 TO 59 INCHES, 65 FEET FOR TREES WITH A DBH OF 60 TO 64 INCHES, 70 FEET FOR TREES WITH A DBH OF 65 TO 69 INCHES, 75 FEET FOR TREES WITH A DBH OF 70 TO 74 INCHES, 80 FEET FOR TREES WITH A DBH OF 75 TO 79 INCHES, 85 FEET FOR TREES WITH A DBH OF 80 TO 84 INCHES, 90 FEET FOR TREES WITH A DBH OF 85 TO 89 INCHES, 95 FEET FOR TREES WITH A DBH OF 90 TO 94 INCHES, 100 FEET FOR TREES WITH A DBH OF 95 TO 99 INCHES, 105 FEET FOR TREES WITH A DBH OF 100 TO 104 INCHES, 110 FEET FOR TREES WITH A DBH OF 105 TO 109 INCHES, 115 FEET FOR TREES WITH A DBH OF 110 TO 114 INCHES, 120 FEET FOR TREES WITH A DBH OF 115 TO 119 INCHES, 125 FEET FOR TREES WITH A DBH OF 120 TO 124 INCHES, 130 FEET FOR TREES WITH A DBH OF 125 TO 129 INCHES, 135 FEET FOR TREES WITH A DBH OF 130 TO 134 INCHES, 140 FEET FOR TREES WITH A DBH OF 135 TO 139 INCHES, 145 FEET FOR TREES WITH A DBH OF 140 TO 144 INCHES, 150 FEET FOR TREES WITH A DBH OF 145 TO 149 INCHES, 155 FEET FOR TREES WITH A DBH OF 150 TO 154 INCHES, 160 FEET FOR TREES WITH A DBH OF 155 TO 159 INCHES, 165 FEET FOR TREES WITH A DBH OF 160 TO 164 INCHES, 170 FEET FOR TREES WITH A DBH OF 165 TO 169 INCHES, 175 FEET FOR TREES WITH A DBH OF 170 TO 174 INCHES, 180 FEET FOR TREES WITH A DBH OF 175 TO 179 INCHES, 185 FEET FOR TREES WITH A DBH OF 180 TO 184 INCHES, 190 FEET FOR TREES WITH A DBH OF 185 TO 189 INCHES, 195 FEET FOR TREES WITH A DBH OF 190 TO 194 INCHES, 200 FEET FOR TREES WITH A DBH OF 195 TO 199 INCHES, 205 FEET FOR TREES WITH A DBH OF 200 TO 204 INCHES, 210 FEET FOR TREES WITH A DBH OF 205 TO 209 INCHES, 215 FEET FOR TREES WITH A DBH OF 210 TO 214 INCHES, 220 FEET FOR TREES WITH A DBH OF 215 TO 219 INCHES, 225 FEET FOR TREES WITH A DBH OF 220 TO 224 INCHES, 230 FEET FOR TREES WITH A DBH OF 225 TO 229 INCHES, 235 FEET FOR TREES WITH A DBH OF 230 TO 234 INCHES, 240 FEET FOR TREES WITH A DBH OF 235 TO 239 INCHES, 245 FEET FOR TREES WITH A DBH OF 240 TO 244 INCHES, 250 FEET FOR TREES WITH A DBH OF 245 TO 249 INCHES, 255 FEET FOR TREES WITH A DBH OF 250 TO 254 INCHES, 260 FEET FOR TREES WITH A DBH OF 255 TO 259 INCHES, 265 FEET FOR TREES WITH A DBH OF 260 TO 264 INCHES, 270 FEET FOR TREES WITH A DBH OF 265 TO 269 INCHES, 275 FEET FOR TREES WITH A DBH OF 270 TO 274 INCHES, 280 FEET FOR TREES WITH A DBH OF 275 TO 279 INCHES, 285 FEET FOR TREES WITH A DBH OF 280 TO 284 INCHES, 290 FEET FOR TREES WITH A DBH OF 285 TO 289 INCHES, 295 FEET FOR TREES WITH A DBH OF 290 TO 294 INCHES, 300 FEET FOR TREES WITH A DBH OF 295 TO 299 INCHES, 305 FEET FOR TREES WITH A DBH OF 300 TO 304 INCHES, 310 FEET FOR TREES WITH A DBH OF 305 TO 309 INCHES, 315 FEET FOR TREES WITH A DBH OF 310 TO 314 INCHES, 320 FEET FOR TREES WITH A DBH OF 315 TO 319 INCHES, 325 FEET FOR TREES WITH A DBH OF 320 TO 324 INCHES, 330 FEET FOR TREES WITH A DBH OF 325 TO 329 INCHES, 335 FEET FOR TREES WITH A DBH OF 330 TO 334 INCHES, 340 FEET FOR TREES WITH A DBH OF 335 TO 339 INCHES, 345 FEET FOR TREES WITH A DBH OF 340 TO 344 INCHES, 350 FEET FOR TREES WITH A DBH OF 345 TO 349 INCHES, 355 FEET FOR TREES WITH A DBH OF 350 TO 354 INCHES, 360 FEET FOR TREES WITH A DBH OF 355 TO 359 INCHES, 365 FEET FOR TREES WITH A DBH OF 360 TO 364 INCHES, 370 FEET FOR TREES WITH A DBH OF 365 TO 369 INCHES, 375 FEET FOR TREES WITH A DBH OF 370 TO 374 INCHES, 380 FEET FOR TREES WITH A DBH OF 375 TO 379 INCHES, 385 FEET FOR TREES WITH A DBH OF 380 TO 384 INCHES, 390 FEET FOR TREES WITH A DBH OF 385 TO 389 INCHES, 395 FEET FOR TREES WITH A DBH OF 390 TO 394 INCHES, 400 FEET FOR TREES WITH A DBH OF 395 TO 399 INCHES, 405 FEET FOR TREES WITH A DBH OF 400 TO 404 INCHES, 410 FEET FOR TREES WITH A DBH OF 405 TO 409 INCHES, 415 FEET FOR TREES WITH A DBH OF 410 TO 414 INCHES, 420 FEET FOR TREES WITH A DBH OF 415 TO 419 INCHES, 425 FEET FOR TREES WITH A DBH OF 420 TO 424 INCHES, 430 FEET FOR TREES WITH A DBH OF 425 TO 429 INCHES, 435 FEET FOR TREES WITH A DBH OF 430 TO 434 INCHES, 440 FEET FOR TREES WITH A DBH OF 435 TO 439 INCHES, 445 FEET FOR TREES WITH A DBH OF 440 TO 444 INCHES, 450 FEET FOR TREES WITH A DBH OF 445 TO 449 INCHES, 455 FEET FOR TREES WITH A DBH OF 450 TO 454 INCHES, 460 FEET FOR TREES WITH A DBH OF 455 TO 459 INCHES, 465 FEET FOR TREES WITH A DBH OF 460 TO 464 INCHES, 470 FEET FOR TREES WITH A DBH OF 465 TO 469 INCHES, 475 FEET FOR TREES WITH A DBH OF 470 TO 474 INCHES, 480 FEET FOR TREES WITH A DBH OF 475 TO 479 INCHES, 485 FEET FOR TREES WITH A DBH OF 480 TO 484 INCHES, 490 FEET FOR TREES WITH A DBH OF 485 TO 489 INCHES, 495 FEET FOR TREES WITH A DBH OF 490 TO 494 INCHES, 500 FEET FOR TREES WITH A DBH OF 495 TO 499 INCHES, 505 FEET FOR TREES WITH A DBH OF 500 TO 504 INCHES, 510 FEET FOR TREES WITH A DBH OF 505 TO 509 INCHES, 515 FEET FOR TREES WITH A DBH OF 510 TO 514 INCHES, 520 FEET FOR TREES WITH A DBH OF 515 TO 519 INCHES, 525 FEET FOR TREES WITH A DBH OF 520 TO 524 INCHES, 530 FEET FOR TREES WITH A DBH OF 525 TO 529 INCHES, 535 FEET FOR TREES WITH A DBH OF 530 TO 534 INCHES, 540 FEET FOR TREES WITH A DBH OF 535 TO 539 INCHES, 545 FEET FOR TREES WITH A DBH OF 540 TO 544 INCHES, 550 FEET FOR TREES WITH A DBH OF 545 TO 549 INCHES, 555 FEET FOR TREES WITH A DBH OF 550 TO 554 INCHES, 560 FEET FOR TREES WITH A DBH OF 555 TO 559 INCHES, 565 FEET FOR TREES WITH A DBH OF 560 TO 564 INCHES, 570 FEET FOR TREES WITH A DBH OF 565 TO 569 INCHES, 575 FEET FOR TREES WITH A DBH OF 570 TO 574 INCHES, 580 FEET FOR TREES WITH A DBH OF 575 TO 579 INCHES, 585 FEET FOR TREES WITH A DBH OF 580 TO 584 INCHES, 590 FEET FOR TREES WITH A DBH OF 585 TO 589 INCHES, 595 FEET FOR TREES WITH A DBH OF 590 TO 594 INCHES, 600 FEET FOR TREES WITH A DBH OF 595 TO 599 INCHES, 605 FEET FOR TREES WITH A DBH OF 600 TO 604 INCHES, 610 FEET FOR TREES WITH A DBH OF 605 TO 609 INCHES, 615 FEET FOR TREES WITH A DBH OF 610 TO 614 INCHES, 620 FEET FOR TREES WITH A DBH OF 615 TO 619 INCHES, 625 FEET FOR TREES WITH A DBH OF 620 TO 624 INCHES, 630 FEET FOR TREES WITH A DBH OF 625 TO 629 INCHES, 635 FEET FOR TREES WITH A DBH OF 630 TO 634 INCHES, 640 FEET FOR TREES WITH A DBH OF 635 TO 639 INCHES, 645 FEET FOR TREES WITH A DBH OF 640 TO 644 INCHES, 650 FEET FOR TREES WITH A DBH OF 645 TO 649 INCHES, 655 FEET FOR TREES WITH A DBH OF 650 TO 654 INCHES, 660 FEET FOR TREES WITH A DBH OF 655 TO 659 INCHES, 665 FEET FOR TREES WITH A DBH OF 660 TO 664 INCHES, 670 FEET FOR TREES WITH A DBH OF 665 TO 669 INCHES, 675 FEET FOR TREES WITH A DBH OF 670 TO 674 INCHES, 680 FEET FOR TREES WITH A DBH OF 675 TO 679 INCHES, 685 FEET FOR TREES WITH A DBH OF 680 TO 684 INCHES, 690 FEET FOR TREES WITH A DBH OF 685 TO 689 INCHES, 695 FEET FOR TREES WITH A DBH OF 690 TO 694 INCHES, 700 FEET FOR TREES WITH A DBH OF 695 TO 699 INCHES, 705 FEET FOR TREES WITH A DBH OF 700 TO 704 INCHES, 710 FEET FOR TREES WITH A DBH OF 705 TO 709 INCHES, 715 FEET FOR TREES WITH A DBH OF 710 TO 714 INCHES, 720 FEET FOR TREES WITH A DBH OF 715 TO 719 INCHES, 725 FEET FOR TREES WITH A DBH OF 720 TO 724 INCHES, 730 FEET FOR TREES WITH A DBH OF 725 TO 729 INCHES, 735 FEET FOR TREES WITH A DBH OF 730 TO 734 INCHES, 740 FEET FOR TREES WITH A DBH OF 735 TO 739 INCHES, 745 FEET FOR TREES WITH A DBH OF 740 TO 744 INCHES, 750 FEET FOR TREES WITH A DBH OF 745 TO 749 INCHES, 755 FEET FOR TREES WITH A DBH OF 750 TO 754 INCHES, 760 FEET FOR TREES WITH A DBH OF 755 TO 759 INCHES, 765 FEET FOR TREES WITH A DBH OF 760 TO 764 INCHES, 770 FEET FOR TREES WITH A DBH OF 765 TO 769 INCHES, 775 FEET FOR TREES WITH A DBH OF 770 TO 774 INCHES, 780 FEET FOR TREES WITH A DBH OF 775 TO 779 INCHES, 785 FEET FOR TREES WITH A DBH OF 780 TO 784 INCHES, 790 FEET FOR TREES WITH A DBH OF 785 TO 789 INCHES, 795 FEET FOR TREES WITH A DBH OF 790 TO 794 INCHES, 800 FEET FOR TREES WITH A DBH OF 795 TO 799 INCHES, 805 FEET FOR TREES WITH A DBH OF 800 TO 804 INCHES, 810 FEET FOR TREES WITH A DBH OF 805 TO 809 INCHES, 815 FEET FOR TREES WITH A DBH OF 810 TO 814 INCHES, 820 FEET FOR TREES WITH A DBH OF 815 TO 819 INCHES, 825 FEET FOR TREES WITH A DBH OF 820 TO 824 INCHES, 830 FEET FOR TREES WITH A DBH OF 825 TO 829 INCHES, 835 FEET FOR TREES WITH A DBH OF 830 TO 834 INCHES, 840 FEET FOR TREES WITH A DBH OF 835 TO 839 INCHES, 845 FEET FOR TREES WITH A DBH OF 840 TO 844 INCHES, 850 FEET FOR TREES WITH A DBH OF 845 TO 849 INCHES, 855 FEET FOR TREES WITH A DBH OF 850 TO 854 INCHES, 860 FEET FOR TREES WITH A DBH OF 855 TO 859 INCHES, 865 FEET FOR TREES WITH A DBH OF 860 TO 864 INCHES, 870 FEET FOR TREES WITH A DBH OF 865 TO 869 INCHES, 875 FEET FOR TREES WITH A DBH OF 870 TO 874 INCHES, 880 FEET FOR TREES WITH A DBH OF 875 TO 879 INCHES, 885 FEET FOR TREES WITH A DBH OF 880 TO 884 INCHES, 890 FEET FOR TREES WITH A DBH OF 885 TO 889 INCHES, 895 FEET FOR TREES WITH A DBH OF 890 TO 894 INCHES, 900 FEET FOR TREES WITH A DBH OF 895 TO 899 INCHES, 905 FEET FOR TREES WITH A DBH OF 900 TO 904 INCHES, 910 FEET FOR TREES WITH A DBH OF 905 TO 909 INCHES, 915 FEET FOR TREES WITH A DBH OF 910 TO 914 INCHES, 920 FEET FOR TREES WITH A DBH OF 915 TO 919 INCHES, 925 FEET FOR TREES WITH A DBH OF 920 TO 924 INCHES, 930 FEET FOR TREES WITH A DBH OF 925 TO 929 INCHES, 935 FEET FOR TREES WITH A DBH OF 930 TO 934 INCHES, 940 FEET FOR TREES WITH A DBH OF 935 TO 939 INCHES, 945 FEET FOR TREES WITH A DBH OF 940 TO 944 INCHES, 950 FEET FOR TREES WITH A DBH OF 945 TO 949 INCHES, 955 FEET FOR TREES WITH A DBH OF 950 TO 954 INCHES, 960 FEET FOR TREES WITH A DBH OF 955 TO 959 INCHES, 965 FEET FOR TREES WITH A DBH OF 960 TO 964 INCHES, 970 FEET FOR TREES WITH A DBH OF 965 TO 969 INCHES, 975 FEET FOR TREES WITH A DBH OF 970 TO 974 INCHES, 980 FEET FOR TREES WITH A DBH OF 975 TO 979 INCHES, 985 FEET FOR TREES WITH A DBH OF 980 TO 984 INCHES, 990 FEET FOR TREES WITH A DBH OF 985 TO 989 INCHES, 995 FEET FOR TREES WITH A DBH OF 990 TO 994 INCHES, 1000 FEET FOR TREES WITH A DBH OF 995 TO 999 INCHES.



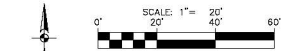
TREE PROTECTION DETAIL
NOT TO SCALE



LOCATION MAP

NOT TO SCALE

LEGAL DESCRIPTION: LOT #1, BLOCK #2, C.B. 6000, COUNTRY CLUB HEIGHTS SUBDIVISION (130 ACRES)
ADDRESS: 100 BURR RD, ALAMO HEIGHTS, TEXAS 78009



LEGEND

- LIMITS OF CONSTRUCTION
- PROPERTY LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINE & POLE
- EXISTING GAS LINE
- EXISTING CONTOURS MAJOR
- EXISTING CONTOURS MINOR
- EXISTING HORIZONTAL AND VERTICAL CONTROL POINTS
- EXISTING TREE TO BE REMOVED (REFER TO TREE PRESERVATION AND LANDSCAPE PLANS)
- EXISTING TREE TO REMAIN AND TO BE PROTECTED (REFER TO TREE PRESERVATION AND LANDSCAPE PLANS)
- ASPHALT PAVEMENT AND BASE COURSE SHALL BE REMOVED. ALL EDGES MUST BE STRAIGHT LINE SANCUITS.

KEYED NOTES

- EXISTING CURB TO REMAIN
- EXISTING CURB TO BE REMOVED (SANDCUT 12 INCHES INTO EXISTING AND WITH PAVEMENT. ALL EDGES MUST BE STRAIGHT LINE SANCUITS)
- EXISTING FENCE LINE TO REMAIN
- EXISTING FENCE LINE TO BE REMOVED
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING CONCRETE DRIVEWAY AND SIDEWALK TO BE REMOVED
- EXISTING UTILITY POLES, UTILITY LINES, CLEANOUTS, AND SPRINKLER VALVES SHALL BE DISCONNECTED FROM SERVICE PRIOR TO REMOVAL
- EXISTING WATER VALVES & METERS, UTILITY POLES, AND UTILITY LINES TO REMAIN
- TREE TO BE RELOCATED (REFER TO LANDSCAPE PLANS)
- EXISTING LIGHT POLE TO REMAIN (REFER TO ELECTRICAL PLANS)
- EXISTING NO PARKING SIGN TO BE RELOCATED

NOTE

SEE SHEET C010 FOR ADDITIONAL GENERAL NOTES.

CAUTION!!! THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.

HORIZONTAL & VERTICAL CONTROL POINTS					
Point	Northing	Easting	Row Description	Elevation	Grid Northing
1	13,720,487.870	2140329.050	SURV	718.08	13,718,158.784
2	13,720,488.750	2140127.180	SURV	714.24	13,718,157.883
3	13,720,489.110	2140118.909	SMAGTV	711.08	13,718,361.888
4	13,720,584.770	2140279.568	SMAGTV	717.62	13,718,292.655
5					2,135,915.813

PAPE-DAWSON
ENGINEERS

BURR ROAD PARKING LOT - PHASE 2
ALAMO HEIGHTS, TEXAS
EXISTING CONDITIONS AND DEMOLITION PLAN

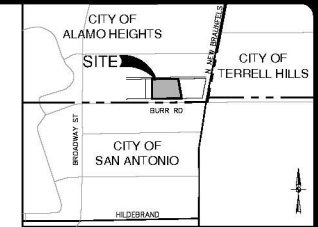
PLAT NO. N/A
JOB NO. 7531-10
DATE JANUARY 2025
DESIGNER JF
CHECKED DM DRAMN LF
SHEET C0.20

PERMIT SET

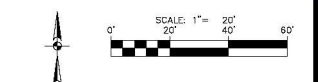
Drawn: Jan 17, 2025, 9:43am, User: JD, Version: 1.0, Project: BURR ROAD PARKING LOT - PHASE 2

This document has been prepared from information that was obtained from the owner and may not be a true and correct representation of the actual conditions. The engineer assumes no responsibility for the accuracy of the information provided by the owner.

SWP3 MODIFICATIONS		
DATE	SIGNATURE	DESCRIPTION



LEGAL DESCRIPTION: LOT 41, BLOCK 3, C.B. 6000 COUNTRY CLUB HEIGHTS SUBDIVISION (1.00 ACRES)
ADDRESS: 100 BURR RD, ALAMO HEIGHTS, TEXAS 78009



LEGEND	
	PROPERTY LINE
	PROJECT LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	FLOW ARROW (EXISTING)
	FLOW ARROW (PROPOSED)
	SILT FENCE
	ROCK BERM
	GRAVEL FILTER BASIN
	STABILIZED CONSTRUCTION ENTRANCE/EXIT (FIELD LOCATE)
	CONSTRUCTION EQUIPMENT, VEHICLE, & MATERIALS STORAGE AREA (FIELD LOCATE)
	CONCRETE TRUCK WASH-OUT PIT (FIELD LOCATE)

- ### GENERAL NOTES
- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
 - CONSTRUCTION ENTRANCE/EXIT LOCATION, CONCRETE WASH-OUT PIT, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE DETERMINED IN THE FIELD.
 - STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
 - RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY.
 - ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
 - FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TYPES STORM WATER POLLUTION PREVENTION PLAN.
 - STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.
 - AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.
 - BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO CONSIDER WITH THE DISTURBANCE OF UPGRADE AREAS.
 - BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE DISTURBANCE FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED IN ACCORDANCE WITH TPDOS REQUIREMENTS.
 - UPON COMPLETION OF THE PROJECT, INCLUDING SITE STABILIZATION, AND BEFORE FINAL PAVEMENT IS BEGUN, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES.
 - WHERE VEGETATED FILTER STRIPS ARE INDICATED, CONTRACTOR SHALL VERIFY THAT SUFFICIENT VEGETATION EXISTS. OTHERWISE, CONTRACTOR SHALL PLANT SUEDE PLANTS IN LIEU OF VEGETATED FILTER STRIP.
 - PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL COORDINATE PLACEMENT OF TEMPORARY BEST MANAGEMENT PRACTICES WITH TPDOT RIGHT-OF-WAY WITH TPDOT.
 - OPS ENERGY WILL FUNCTION AS A SECONDARY OPERATOR ON THIS PROJECT AND WILL BE INSTALLING ELECTRIC UTILITIES FOR ON-SITE CONSTRUCTION AND OFF-SITE FEED TO THE PROJECT.

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE TYPES-STORM WATER POLLUTION PREVENTION PLAN (SWP3) REGULATIONS.

THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF THE SWP3 ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

EXHIBIT 2

DATE	01/16/25
NO.	1
REVISION	1
DATE	01/16/25
REVISION	1



PAPE-DAWSON ENGINEERS
2008 NW 43RD AVE. | SAN ANTONIO, TX 78217 | 210.775.8008
TEXAS ENGINEERING FIRM #01838008

BURR ROAD PARKING LOT - PHASE 2
ALAMO HEIGHTS, TEXAS
STORM WATER POLLUTION PREVENTION PLAN

PLAT NO.	N/A
JOB NO.	7531-10
DATE	JANUARY 2025
DESIGNER	JF
CHECKED	DM, DRAMN, LF
SHEET	C1.00

PERMIT SET

A map showing the location of the proposed site. The site is located in the City of Alamo Heights, bounded by Broadway St to the west, Burr Rd to the south, and the City of Terrell Hills to the east. The site is shaded in gray. A north arrow is located in the bottom right corner.

<u>LEGAL DESCRIPTION:</u> LOT 41, BLOCK 3, C.B. 5500, COUNTRY CLUB HEIGHTS SUBDIVISION (1370 ACRES)	<u>ADDRESS:</u> 159 BURR RD. ALAMO HEIGHTS, TEXAS 78209
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LEGEND

- PROPERTY LINE
FLEXIBLE PAVEMENT
(REQ. 3.00 FOR DTL)
PARKING STALL COUNT
LANDSCAPE [REFER TO LANDSCAPE PLANS]
PROPOSED IRRIGATION SLEEVES
PROPOSED SITE LIGHTS (TYP) REFER TO ELECTRICAL PLANS

- 17 4" WIDE WHITE STRIPING (TYPICAL)
- 18 WHEEL STOP (TYPICAL)
(REF: C3.00 FOR DTL)
- 19 6" STANDARD CURB
(REF: C3.00 FOR DTL)
- 20 ASPHALT / ASPHALT PAVEMENT JUNCTURE
(REF: C3.00 FOR DTL)
- 21 SAWTOOTH CURB
(REF: C3.00 FOR DTL)
- 22 PROPOSED FENCE TO MATCH EXISTING FENCE
- 23 2" CONCRETE FLUME (REF: C3.00 FOR DTL)
- 24 PROPOSED 4" CONCRETE SIDEWALK
- 25 PROPOSED CONCRETE DRIVEWAY
- 26 ASPHALT / CONCRETE PAVEMENT JUNCTURE
(REF: C3.00 FOR DTL)
- 27 2" CURB TRANSITION
(REF: C3.00 FOR DTL)
- 28 EXISTING WATER VALVE TO REMAIN. TOP OF VALVE TO BE
ADJUSTED TO FINAL GRADE
- 29 EXISTING POWER POLE (CONTRACTOR TO USE CAUTION NEAR
OVERHEAD ELECTRIC)
- 30 NO PARKING SIGN TO BE RELOCATED

[illegible]

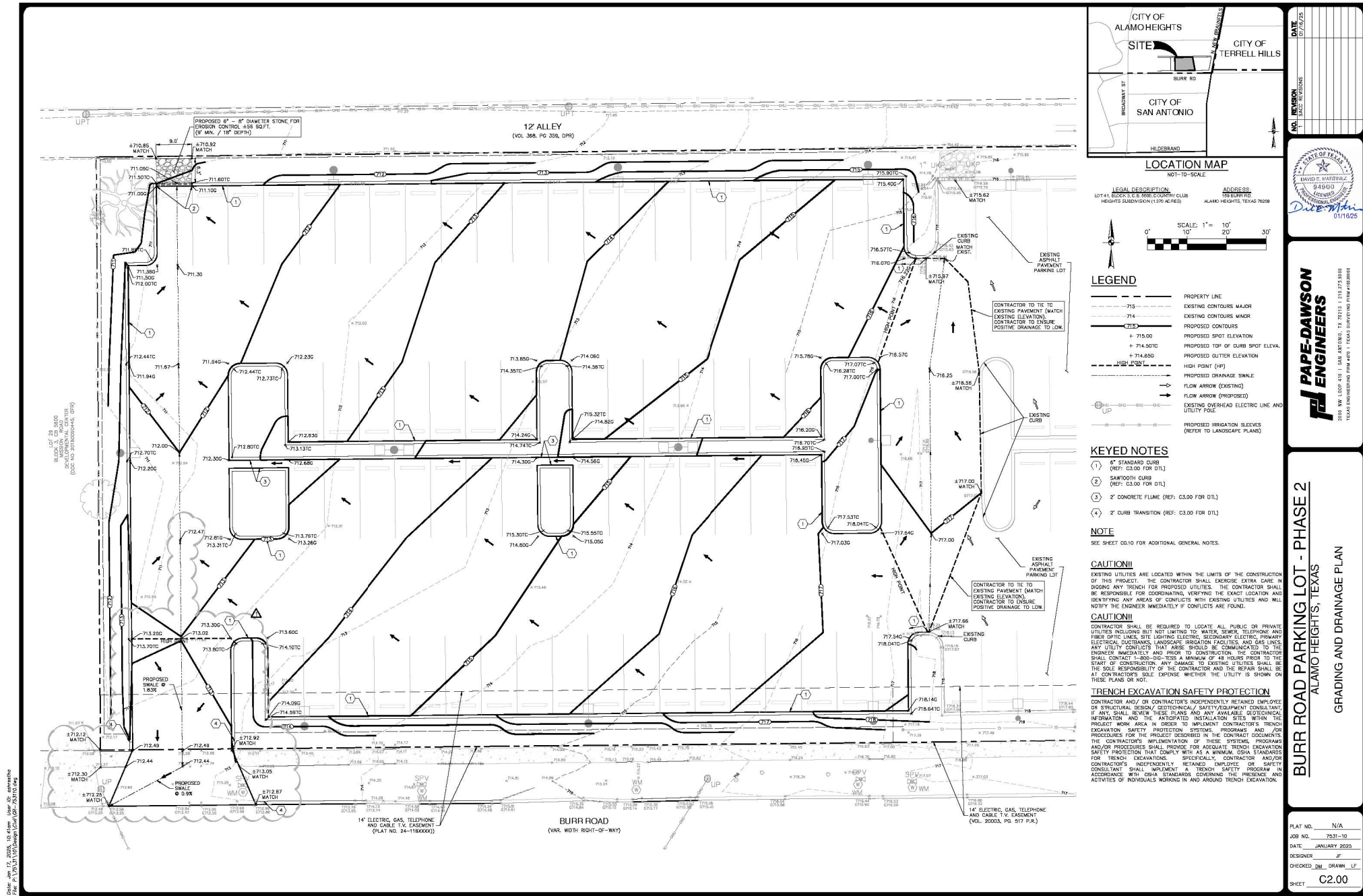
**PAPE-DAWSON
ENGINEERS**

2680 NW LOOP 419 | SAN ANTONIO, TX 78213 | 210.375.8060
TEXAS ENGINEERING FIRM #270 | TEXAS SURVEYING FIRM #1032000

RR ROAD PARKING LOT - PHASE 2
ALAMO HEIGHTS, TEXAS
DIMENSIONAL CONTROL AND PAVING PLAN

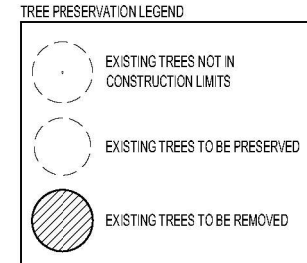
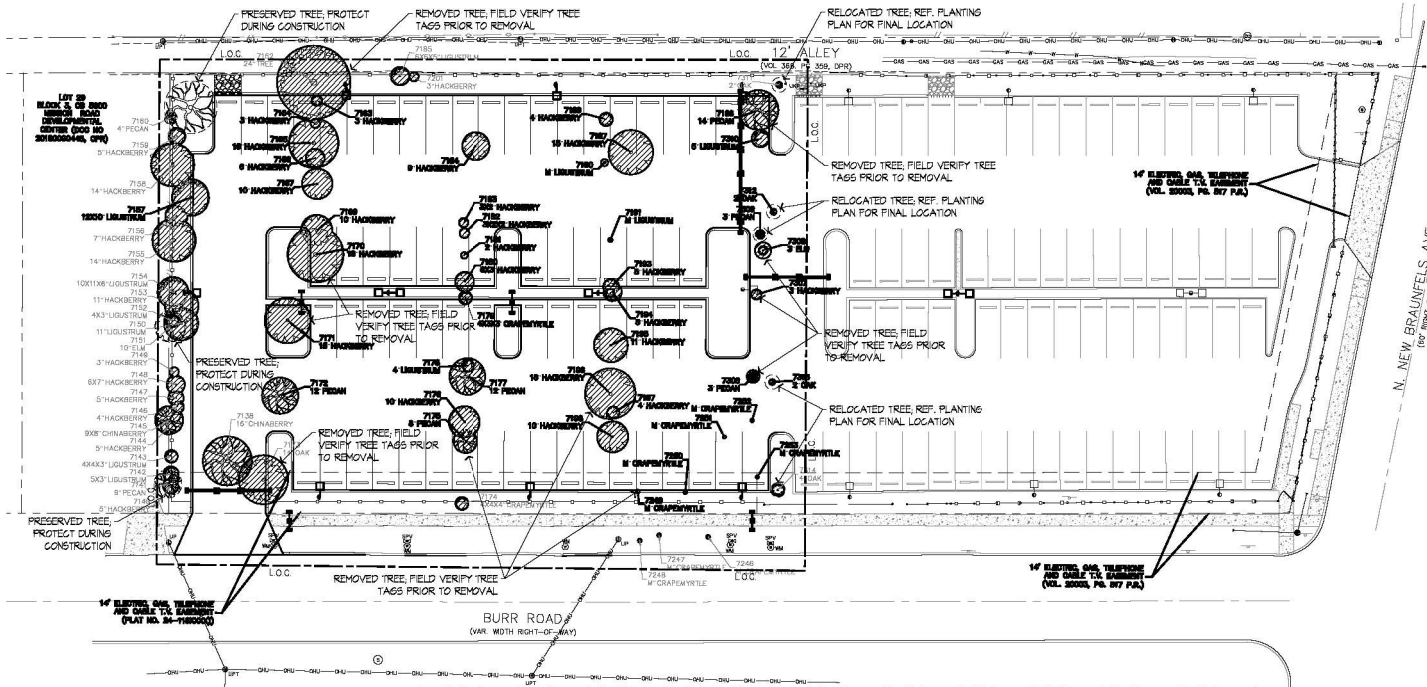
PLAT NO. N/A
JOB NO. 7531-10
DATE JANUARY 2025
DESIGNER JF
CHECKED DM DRAWN LF
SHEET C1.20

Date: Jan 17, 2025, 8:42am User ID: 809094
 File: P:\30131101\Design\Cart\Cart-02-751016.dwg
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PERMIT SET

PLAT NO. N/A
JOB NO. 7531-10
DATE JANUARY 2025
DESIGNER JF
CHECKED DM DRAWN LF
SHEET C2.00



BURR ROAD PARKING EXPANSION

REMOVED TREE LIST

NUMBER	SPECIES	NOTES
#1135	16" CHINABERRY	REMOVED
#1134	5.5" GRAPE MYRTLE	REMOVED
#1140	5" HACKBERRY	REMOVED
#1142	6.5" LIGUSTRUM	REMOVED
#1143	15" LIGUSTRUM	REMOVED
#1144	5" HACKBERRY	REMOVED
#1145	15" CHINABERRY	REMOVED
#1146	4" HACKBERRY	REMOVED
#1147	5" HACKBERRY	REMOVED
#1148	4.5" HACKBERRY	REMOVED
#1149	5" HACKBERRY	REMOVED
#1150	11" LIGUSTRUM	REMOVED
#1152	5.5" LIGUSTRUM	REMOVED
#1153	11" HACKBERRY	REMOVED
#1154	18.5" LIGUSTRUM	REMOVED
#1155	14" HACKBERRY	REMOVED
#1156	7" HACKBERRY	REMOVED
#1157	17" LIGUSTRUM	REMOVED
#1158	14" HACKBERRY	REMOVED
#1159	14" HACKBERRY	REMOVED
#1161	5" HACKBERRY	REMOVED
#1162	24" MULBERRY	REMOVED
#1163	5" HACKBERRY	REMOVED
#1164	5" HACKBERRY	REMOVED
#1165	16" HACKBERRY	REMOVED
#1166	6" HACKBERRY	REMOVED
#1167	12" HACKBERRY	REMOVED
#1168	12" HACKBERRY	REMOVED
#1170	18" HACKBERRY	REMOVED
#1171	15" HACKBERRY	REMOVED
#1172	12" PECAN	REMOVED
#1173	14" OAK	REMOVED
#1174	8" GRAPE MYRTLE	REMOVED
#1175	8" PECAN	REMOVED
#1176	10" HACKBERRY	REMOVED

PRESERVED TREE LIST

NUMBER	SPECIES	NOTES
#1141	4" PECAN	PRESERVED
#1141	12" ELM	PRESERVED
#1160	4" PECAN	PRESERVED
#1161	17" PECAN	PRESERVED
#11601	3" PECAN	TRANSPLANT
#1161	2" OAK	TRANSPLANT
#1162	2" OAK	TRANSPLANT
#1163	2" OAK	TRANSPLANT
#1164	4" OAK	TRANSPLANT

TREE PRESERVATION AND LANDSCAPE REQUIREMENTS:

TREE PRESERVATION:
EXISTING HERITAGE TREES: 1 HERITAGE TREE
TREE #1162 - 24" MULBERRY - TREE IN DECLINE
NO HERITAGE TREE MITIGATION REQUIRED

EXISTING SITE TREES:
SEE EXISTING TREE INVENTORY

PROPOSED TREES:
4" CEDAR ELM (10 TOTAL)
4" LIVE OAK (12 TOTAL)
2" MOUNTAIN LAUREL (15 TOTAL)

LANDSCAPE TABULATIONS:
PARKING LOT LANDSCAPING (LIMITS OF CONSTRUCTION):

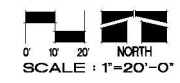
A) SECTION 3-54 (1) (A) - LANDSCAPE AREA WIDTH
REQUIRED: 8' WIDE LANDSCAPE AREA ALONG PARKING AREA BOUNDARIES
PROVIDED: 8' WIDE LANDSCAPE AREA ON THREE SIDES (NORTH, SOUTH AND WEST)

B) SECTION 3-54 (1) (C) - LANDSCAPE PLAN AND PARKING LOT TREES
REQUIRED: 1. LANDSCAPE PLAN (SIZE, SPECIES, AND LOCATIONS OF PROPOSED LANDSCAPE)
2. ONE (1) 4" CALIPER TREE PER EIGHT (8) PARKING SPACES.
PROVIDED: 1. LANDSCAPE PLAN
2. 9 PARKING LOT TREES
61 STALLS / 8 STALLS PER TREE = 8.875 = 9 PARKING LOT TREES

C) SECTION 3-60 (4) - CANOPY TREES IN R.O.W.
REQUIRED: PROVIDE AT LEAST ONE (1) CANOPY TREE FOR EACH 25' OF FRONTAGE
PROVIDE: TOTAL FRONTAGE = 209 LF
180 LF / 25 LF = 7.2 TREES = 7 R.O.W. TREES PROVIDED

REFERENCE NOTE:
REFERENCE SHEET LP SHEETS FOR
PROPOSED PLANTING PLAN, PLANTING
SPECIFICATIONS, NOTES AND DETAILS.

BURR ROAD
ALAMO HEIGHTS, TEXAS



REVISIONS:
REV 1, SACC REVISIONS 2023-01-17

PROJECT No: 2403
DATE: JANUARY 10, 2025

TREE PRESERVATION PLAN

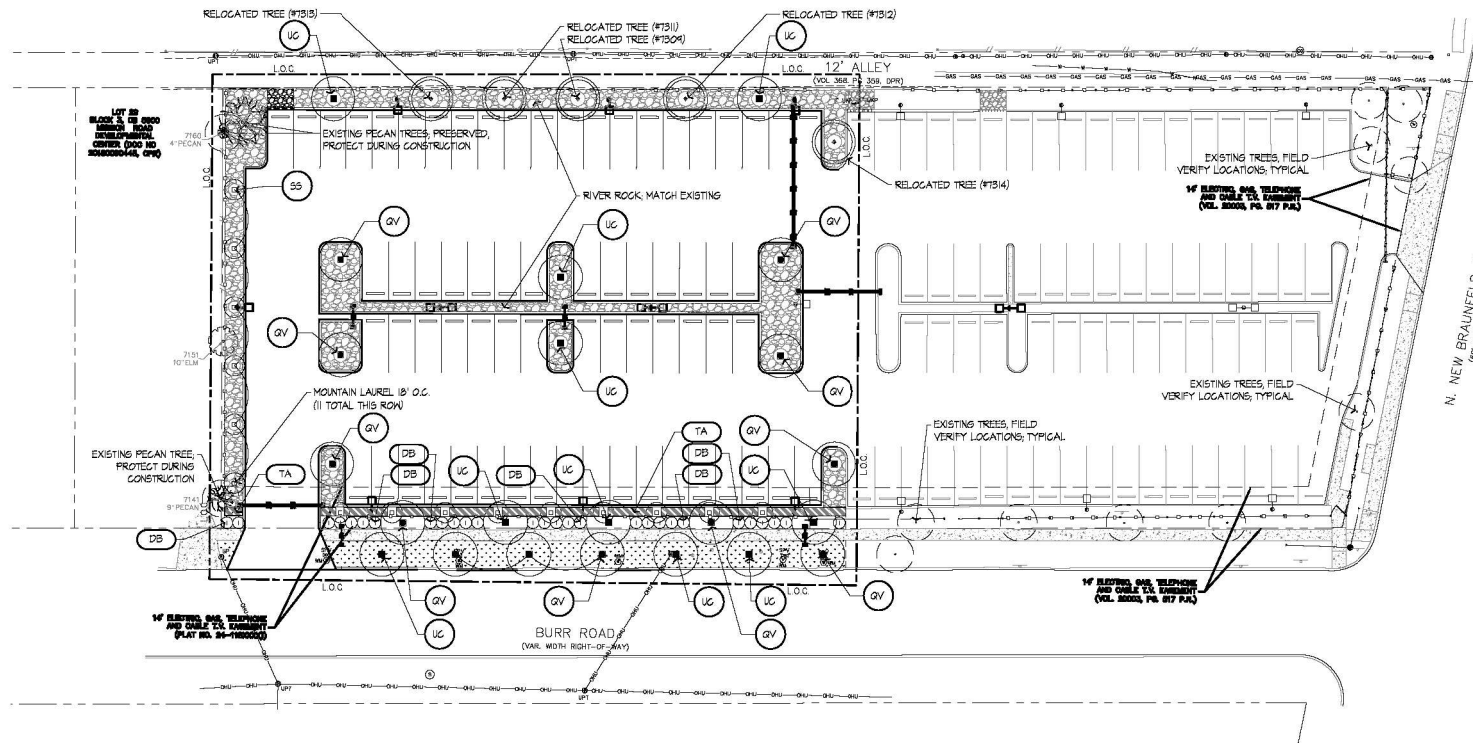
LTP 1.1

0' 10' 20' NORTH
SCALE : 1"=20'-0"

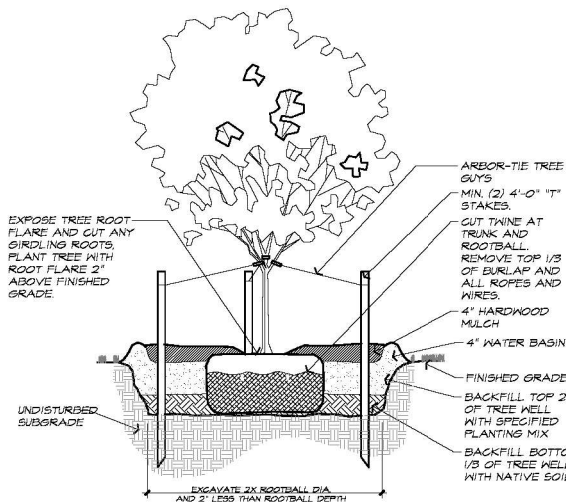
PROJECT No: 24023
DATE: JANUARY 03, 2005
SHEET: 6

LP 1.1

REFERENCE NOTE:
REFERENCE SHEET LP 2.1 FOR PLANT LIST,
PLANTING SPECIFICATIONS, NOTES AND
PLANTING DETAILS



P 2.1



3 TREE PLANTING SECTION

Scale: N.T.S.

1 TYPICAL TURF DETAIL
SECTION

Scale: N.T.S.

LI1.1

