



**CITY OF ALAMO HEIGHTS**  
**COMMUNITY DEVELOPMENT SERVICES DEPARTMENT**  
**6116 BROADWAY**  
**SAN ANTONIO, TX 78209**  
**210-826-0516**

**Board of Adjustment Meeting**  
**Wednesday, July 02, 2025 – 5:30 P.M.**

Take notice that a regular meeting of the Board of Adjustment of the City of Alamo Heights will be held on **Wednesday, July 02, 2025, at 5:30pm** in the City Council Chambers, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects which may come before it.

***INSTRUCTIONS FOR TELECONFERENCE:** The City will make reasonable efforts to allow members of the public to participate via audio by dialing 1- 346-248-7799 and enter access number 893 9488 9735#. If you would like to speak on a particular item, when the item is considered, press \*9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.*

***The City cannot guarantee participation by phone due to unforeseen technical difficulties or provide prior notice if they occur; therefore, the City urges your in-person attendance if you require participation.***

**Case No. 2442 – 300 Circle St**

Application of Jahan H. Ahmadi, owner, requesting the following variance(s) on the property located at **CB 4050 BLK 72 LOTS 34, 35, 36, & W 8.5FT OF 33**, also known as **300 Circle St**, zoned MF-D:

1. No landscape area provided along the rear property line instead of the minimum 8ft required per Section 3-50(1),
2. No landscape area provided along each side yard property line bordering a street per Section 3-50(2),
3. No street trees within public street rights-of-way instead of the minimum one (1) tree required for each twenty-five (25) feet of lot frontage per Section 3-50(5), and
4. No planting strips provided for street trees within public street right-of-way adjacent to curbs instead of the minimum five (5) feet wide planting strip required per Section 3-50(6) of the City's Zoning Code.

Plans may be viewed online\* ([www.alamoheightstx.gov/departments/planning-and-development-services/public-notices](http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices)) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Sarah Olivares, Planner, ([solivares@alamoheightstx.gov](mailto:solivares@alamoheightstx.gov)) or Lety Hernandez, Director, ([lhernandez@alamoheightstx.gov](mailto:lhernandez@alamoheightstx.gov)) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.



City of Alamo Heights  
**Commercial & Multi-Family Permit Application\***

COMMUNITY DEVELOPMENT SERVICES DEPARTMENT

6116 Broadway, Alamo Heights, Texas 78209

CDS Dept. v: (210) 826-0516

f: (210) 832-2299

Fire Dept. v: (210) 824-1281

f: (210) 828-3006

**General Permit Information [Please print legibly]**

Permit # (assigned by Staff):

2025145

**Project Address:**

300 Circle St. Alamo Heights TX 78209

**Application Date:**

1-16-25

**Land Use** (please check one): ☐ Multi-Family ☐ Commercial

**Project Type – Please check all that apply:**

☒ New construction \_\_\_\_\_ sq. ft. ☐ Addition \_\_\_\_\_ sq. ft. ☐ Int. Remodel/Alterations \_\_\_\_\_ sq. ft. ☐ Demolition ☐ Pool/Spa  
☐ Fence ☐ Retaining Wall ☐ Mechanical ☐ Electrical ☐ Plumbing ☐ Sewer ☐ Gas ☐ Irrigation ☐ Landscape  
☐ Tree Pruning/Removal ☐ Other \_\_\_\_\_

**Fire – Please check all that apply:**

License #: \_\_\_\_\_

**Automatic Fire Extinguishing System:**

Exp. Date: \_\_\_\_\_

☐ New ☐ Modification w/ heads ☐ Modification w/o heads ☐ Vent/Hood Suppression

**Fire Alarm Systems:**

☐ New ☐ Modification

☐ Hazardous/Hot Work \_\_\_\_\_ ☐ Other \_\_\_\_\_

**Materials** (if applicable): Roof Metal Exterior Walls Wood/Metal Foundation Concrete Flatwork Concrete

Is the property in the 100-Year Floodplain? ☐ Yes ☒ No

Does this project involve any removal of trees? ☐ Yes ☒ No

**Scope of Work** (This section must be filled out. If more space is needed, another sheet may be attached.)

Building of a single story, single family 3 bed 3.5 Bath house w/ attached 2 car garage

Total Impervious Cover for Stormwater Development Fee	Existing (in sq. ft.)	Proposed (in sq. ft.)
Footprint of all structures	0	<del>3421</del> 3275
Driveway/Parking Pad	0	<del>522</del> 193
Walkways	0	Gravel
Swimming Pool/Spa	0	0
Other impervious cover: <u>AC Pave</u>		16 sqft
<b>Total Impervious Cover:</b>		<b>44.40% (3468 of 7806 sqft)</b>
<b>Stormwater Development Fee:</b>		

**\*\*Max. 85% impervious cover for MF-D. \*\*Max. 85% impervious cover for O-1 and B Districts (see exemption Sec. 3-67)**

\*Failure to provide any information required on or along with this application will result in refusal to accept submission of this application and associated plan documents until all information required is provided.

\*\*Projects undertaken by the home/property owner which reflect typical contractor related work such as grading, excavation, and demolition, or which utilizes equipment atypical to a home/property owners work shall be limited by the authorized hours of construction as would a typical general contractor.

I hereby acknowledge that I have read and completed this application and know the same to be true and correct. This project as submitted complies with the International Code series and NEC, as currently adopted by the City of Alamo Heights, and with the Code of Ordinances of the City of Alamo Heights. I hereby acknowledge that no work has or will commence on the proposed project until an approved permit is received. All provisions of laws and ordinances governing the proposed work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any federal, state or local ordinances regulating construction, the performance of construction or the use of

**\*\*FORM SURVEY REQUIRED\*\***

SUBMIT FORM SURVEY TO STAFF FOR REVIEW.  
FORM SURVEY **SHALL** BE APPROVED BY STAFF IN  
ORDER FOR YOU TO BE ABLE TO SCHEDULE THE  
REQUIRED PREPOUR INSPECTION.  
**\*\*ENGINEER'S LETTER REQUIRED.\*\***

300 Circle  
FINAL

**#2025-145**  
REVIEWED FOR ZONING  
CODE COMPLIANCE

DATE: 03/19/2025  
OFFICIAL: LH

APPROVED FOR  
CONSTRUCTION

NOT APPROVED  
FOR CONSTRUCTION

NOTE: FAILURE TO DISCOVER ALL CODE  
VIOLATIONS THROUGH THE CITY'S PLAN  
REVIEW PROCESS DOES NOT RELIEVE THE  
DESIGNER AND CONTRACTOR FROM THE  
RESPONSIBILITY OF PRODUCING AN END  
PRODUCT IN TOTAL COMPLIANCE WITH ALL  
REQUIREMENTS OF THE CURRENTLY  
ADOPTED INTERNATIONAL CODE SERIES  
AND THE CODE OF ORDINANCES OF THE  
AUTHORITY HAVING JURISDICTION.

**SUBJECT TO  
FIELD INSPECTION**

**A COPY OF THE STAMP APPROVED  
PLAN SET SHALL REMAIN ON SITE  
FOR THE DURATION OF THE  
PROJECT FOR THE INSPECTOR TO  
REFERENCE. FAILURE TO DO SO  
WILL RESULT IN A FAILED  
INSPECTION WITH PENALTY FEE.**

**INDEX OF DRAWING**

A-01	SITE PLAN.
A-02	FLOOR PLAN.
A-03	ROOF PLAN.
A-04	ELEVATIONS.
A-05	LANDSCAPE PLAN.
A-06	ELECTRICAL PLAN.
A-07	WATER SUPPLY PLAN.
A-08	SEWERAGE PLAN.
A-09	NATURAL GAS LINE PLAN.
A-10	MECHANICAL PLAN.

**PROJECT INFORMATION**

OWNER:	J. Ahmadi TEL: 512-656-4661 JHA@BD-S.COM
ADDRESS:	300 CIRCLE STREET, ALAMO HEIGHTS TEXAS 78209.
CONTRACTOR:	ASGAR HOLDINGS 143 E. COMMERCE STREET STE 606 SAN ANTONIO TEXAS 78205

**DESIGN PROFESSIONAL**



**AREA CALCULATION:**

GROSS BUILDING AREA	
Name	Area
LOT AREA:	7806 SF
Conditioned Space	2800 SF
Garage	475 SF
Patio	---

TOTAL STRUCTURE: 3275 SF  
\* TOTAL IMPERVIOUS COVERAGE IS  
44.40% OF AN ALLOWED 85%  
\* 193 SQFT DRIVEWAY IN PROPERTY LINES.  
\* 1 STORY/ SINGLE FAMILY HOUSE  
\* 3 BED/ 3.5 BATH

AERIAL VIEW:



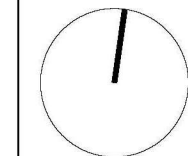
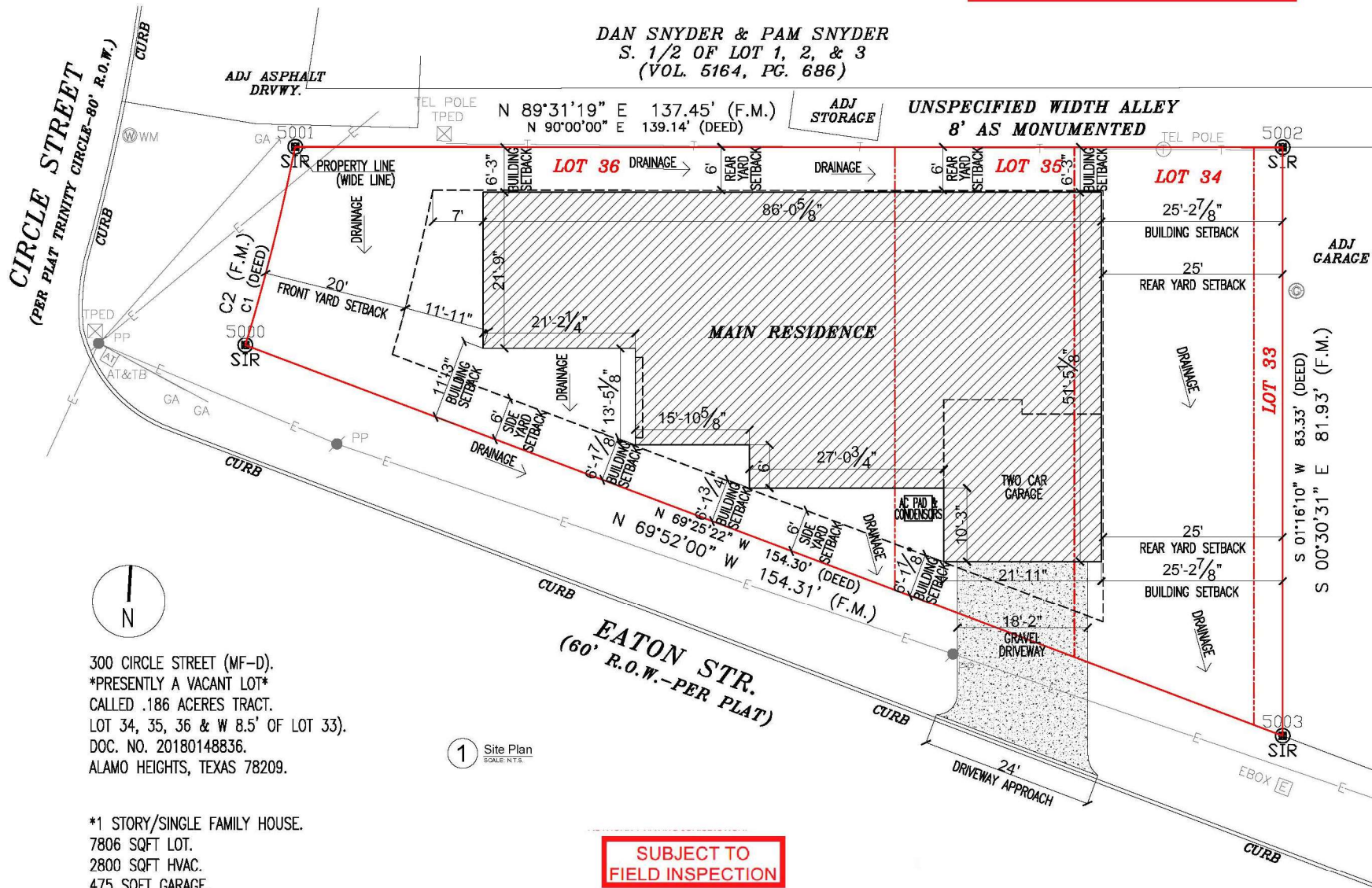
GENERAL NOTES:

ALL CONSTRUCTION SHALL CONFORM TO BUILDING CODES REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.  
ALL IRC SECTIONS AND TABLES REFERENCED REFER TO THE 2021 IRC.

- BUILDER SHALL VERIFY: ALL LOT DIMENSIONS, EASEMENTS, BUILDING LINES, AERIAL EASEMENTS, HEIGHT RESTRICTIONS, ROOF OVERHANG & GUTTER LIMITATIONS, FINISH FLOOR HEIGHTS (W RESPECT TO DRAINAGE & FLOOD PLAIN ISSUES), COVERAGE % AND ALL DEED RESTRICTIONS PRIOR TO COMMENCING CONSTRUCTION.
- BUILDER & ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY BEFORE COMMENCING ADDITIONAL WORK.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. & FROM HABITABLE ROOMS ABOVE GARAGE BY 5/8" TYPE X GYP. BD. AND COMPLY WITH IRC SEC. R302.
- ESCAPE/RESCUE WINDOW FROM SLEEPING AREAS SHALL HAVE A MINIMUM OF 5.7 SQ.FT. CLEAR NET OPENING AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". FINISHED SILL HEIGHT SHALL BE A MAXIMUM OF 44" ABOVE THE FLOOR & PER IRC SEC 310.
- CONTRACTOR IS TO PROVIDE STEEL UNTELS ABOVE ALL OPENINGS WITH MASONRY ABOVE PER IRC SEC. 703.8
- ONE-HOUR RATED GYPSUM BOARD SHALL BE INSTALLED UNDER STAIRS.
- PROVIDE CROSS VENTILATION AT ENCLOSED ATTICS PER IRC R006.
- ELECTRICAL CONTRACTOR TO LOCATE 110V OUTLET WITHIN 25'-0" OF A/C COMPRESSOR (GFI).
- FIREPLACE CHIMNEY TO BE 2'-0 HIGHER THAN ANY STRUCTURE WITHIN 10'-0" (& 3'-0 MIN. HEIGHT AT RIDGE).
- FACTORY BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE W/ IRC SECTION R1004 & SHALL BE TESTED IN ACCORDANCE W UL 127.
- SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER IRC SEC. R314.
- HANDRAILS SHALL BE INSTALLED ALONG ALL STEPS/STAIRS WITH 4 OR MORE RISERS AND CONFORM TO IRC SEC R311.
- ALL HORIZONTAL GUARD RAILS WILL BE A MINIMUM OF 30" IN HEIGHT & COMPLY TO IRC SEC R312.
- WALLS SHALL BE BRACED IN ACCORDANCE OF IRC SEC R602.10.
- GLAZING SHALL COMPLY WITH IRC SEC. R305
- ROOF OVERHANGS SHALL NOT EXTEND INTO ANY UTILITY EASEMENTS.
- IN C.O.S.A., VENTS IN GARAGE PER C.O.S.A. AMENDMENTS TO L.R.C.
- IN AREAS UNDER IRC 2006 OR LATER, PROJECTIONS LESS THAN 5 FROM PROP. LINE SHALL HAVE A 1-HOUR MIN. FIRE RESISTANCE RATING ON THE UNDERSIDE & SHALL NOT EXTEND TO WITHIN 4 OF PROP. LINE PER R302 & TABLE 302.1.
- ALL DETAILS SHOWN ARE GENERAL AND ILLUSTRATIVE IN NATURE. BUILDER SHALL BE RESPONSIBLE FOR OVERSEEING AND INSURING ALL WATER-PROOFING, STRUCTURAL, AND OTHER CONSTRUCTION IS BUILT PROPERLY, PER CODES, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS.
- REFER TO ATTACHED RESIDENTIAL DETAIL SHEET FOR STANDARD DETAILS. NOTIFY ARCHITECT IMMEDIATELY IF NOT INCLUDED IN THIS SET OF DRAWINGS.
- ALL SITE & SURVEY INFORMATION PROVIDED BY OTHERS.
- SITE GRADING AND DRAINAGE PLANS BY OTHERS.
- ALL ENGINEERING DESIGNS INCLUDING, BUT NOT LIMITED TO, CIVIL, GEOTECHNICAL, STRUCURAL,MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED BY OTHERS.

**CONSTRUCTION DRAWING LEGEND**

	SECTION MARK KEY
	CALL OUT KEY
	ELEVATION KEY
	COLUMN GRID KEY
	HEIGHT LEVEL KEY
	FINISHED FLOOR LEVEL KEY
	DIMENSION KEY
	WINDOW TAG KEY
	DOOR TAG KEY



Legend:

=====	WALL
=====	LOW HT. WALL
=====	R.O.C. COLUMN
=====	R.O.C. BEAM
=====	WINDOW
=====	VENTILATOR

GENERAL NOTES:

- \*Corred lights to be 4" IC rated cone.
- \*Wall insulation will be open cell foam full void and 38 in roof deck.
- \*Windows will be thermally broken, argon filled double pane.

GROSS BUILDING AREA	
Name	Area
LOT AREA	7806 SF
Conditioned Space	2800 SF
Garage	475 SF
Patio	---

TOTAL STRUCTURE: 3275 SF

- \* TOTAL IMPERVIOUS COVERAGE IS 44.40% OF AN ALLOWED 85%.
- \* 193 SQFT DRIVEWAY IN PROPERTY LINES.
- \* 1 STORY/ SINGLE FAMILY HOUSE
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CONSTRUCTION SITE:

300 CIRCLE STREET,  
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CONTRACTOR INFORMATION:

ASGAR HOLDINGS  
143 E. COMMERCE STREET  
STE 606 SAN ANTONIO  
TEXAS 78205

DRAWING STATUS:

**SITE PLAN**

Project:

**RESIDENCE**  
300 CIRCLE STREET



Contract:

002 W Laurel St  
UNIT 4  
San Antonio TX 78212  
TEL: 210 867 5430

Drawn By: RAZA M. Date: FEB, 2023  
Checked By: CHAD BRADSHAW Scale: N.T.S.  
Revision No: Drawing No: 02 A-01  
Sheet Size: 11x17  
AND EXPAND TO 11x17  
DSD FRA 602

Scale Reference:

ALL DRAINAGE SHALL COMPLY WITH MINIMUM REQUIREMENTS OF SECTIONS 5-120 AND 5-121 PER CHAPTER 5, ARTICLE VIII OF THE CITY'S CODE OF ORDINANCES.

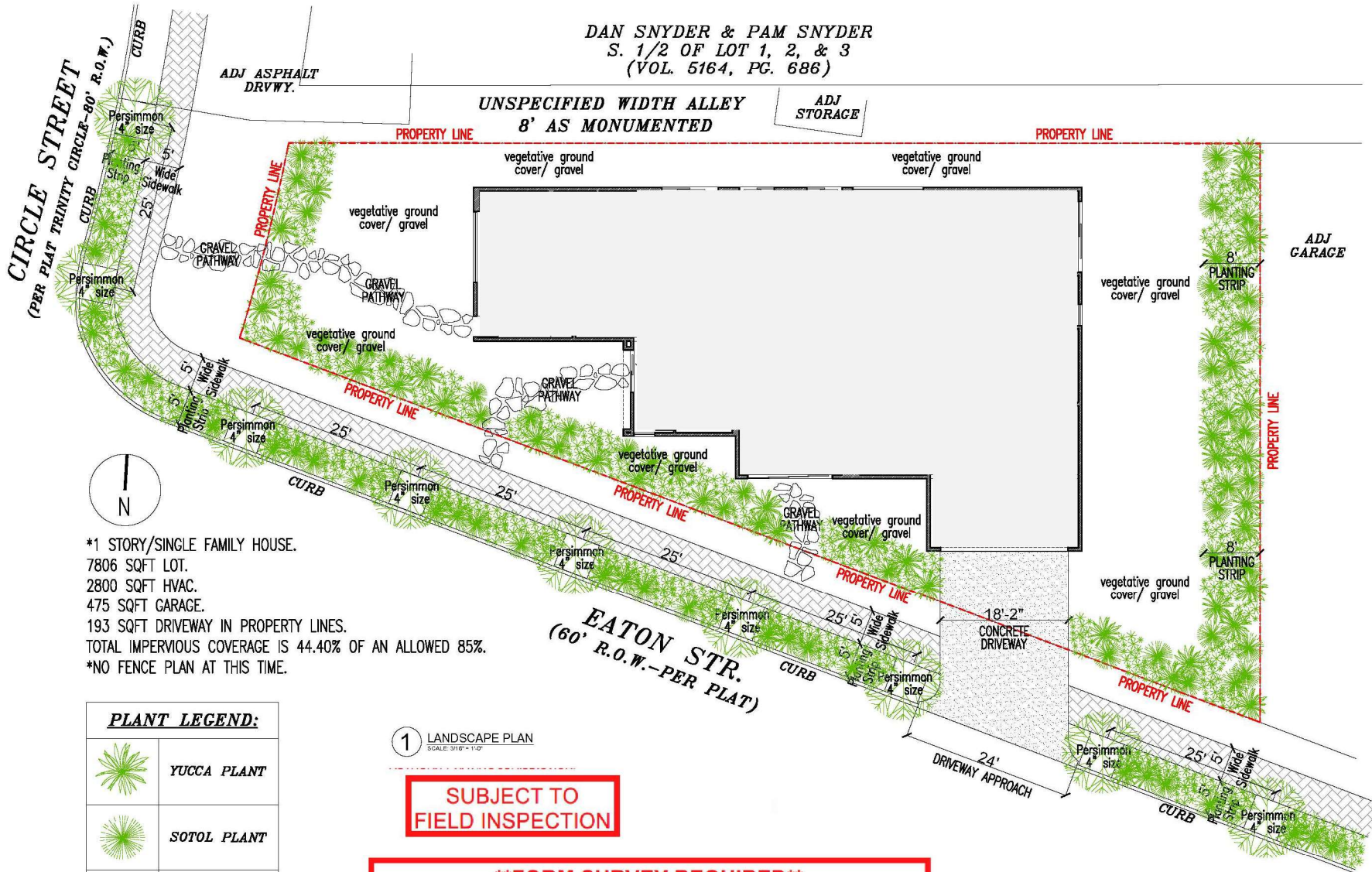
DAN SNYDER & PAM SNYDER  
S. 1/2 OF LOT 1, 2, & 3  
(VOL. 5164, PG. 686)

UNSPECIFIED WIDTH ALLEY  
8' AS MONUMENTED

ADJ STORAGE

PROPERTY LINE

ADJ GARAGE



\*1 STORY/SINGLE FAMILY HOUSE.  
7806 SQFT LOT.  
2800 SQFT HVAC.  
475 SQFT GARAGE.  
193 SQFT DRIVEWAY IN PROPERTY LINES.  
TOTAL IMPERVIOUS COVERAGE IS 44.40% OF AN ALLOWED 85%.  
\*NO FENCE PLAN AT THIS TIME.

#### PLANT LEGEND:

	YUCCA PLANT
	SOTOL PLANT
	DUCK GRASS
	PERSIMMON 4" SIZE @ every 25ft

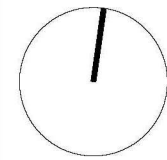
1 LANDSCAPE PLAN  
SCALE: 3/16" = 1'-0"

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Revision No:	02	Drawing No:	A-06
Sheet Size:	11" x 17"	AND EXPAND TO 11" x 17"	SEE THE EIC

Scale Reference: