



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Board of Adjustment Meeting
Wednesday, April 05, 2023 – 5:30 P.M.

Take notice that a regular meeting of the Board of Adjustment of the City of Alamo Heights will be held on **Wednesday, April 05, 2023, at 5:30pm** in the City Council Chambers, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects which may come before it.

INSTRUCTIONS FOR TELECONFERENCE: The City will make reasonable efforts to allow members of the public to participate via audio by dialing 1- 346-248-7799 and enter access number 893 9488 9735#. If you would like to speak on a particular item, when the item is considered, press *9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.

The City cannot guarantee participation by phone due to unforeseen technical difficulties or provide prior notice if they occur; therefore, the City urges your in-person attendance if you require participation.

Case No. 2383 – 259 Montclair St

Application of Daniel Long of Chesney Morales Partners representing Christopher Walker, owner, requesting the following variance(s) in order to construct a driveway and parking pad at the property located at **CB 4050, BLK 76, LOT 30 & 31**, also known as **259 Montclair St**, zoned 2F-C:

1. The proposed parking pad is located in front instead of the rear or side of the property, behind the front face of the building as required per Section 3-39(2) of the City’s Zoning Code.

Plans may be viewed online* (www.alamoheightstx.gov/departments/planning-and-development-services/public-notices) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Eron Spencer, Planner (espencer@alamoheightstx.gov) or Lety Hernandez, Director, (lhernandez@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.

Feb 20th, 2023

Board of Adjustment Narrative – 259 Montclair

To whom it may concern,

The project at 259 Montclair consists of a new 2 story single family residence and detached garage to be constructed once the existing 1 story residence and accessory structures have been demolished.

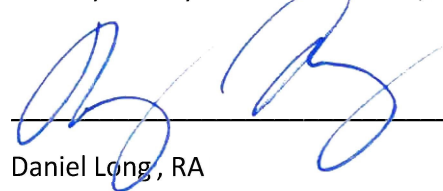
During the initial review of the plans it was noted that we would need BOA approval for 2 separate items.

1. The existing fence for the property is approx. 6' into the right of way along the Kokomo frontage. The initial thoughts we that since this fence was relatively new as it was constructed a year prior to the current owners purchase of the property that it would remain in this location.
2. We have proposed a new "circular" driveway along the front of the property. This situation is complicated by the fact this is a corner lot so the proposed driveway would have both a cut on the Montclair and Kokomo frontages and be ore of an "L" shape versus similar "C" shapes found within the neighborhood. It was noted that the new driveway would require additional landscape screening.

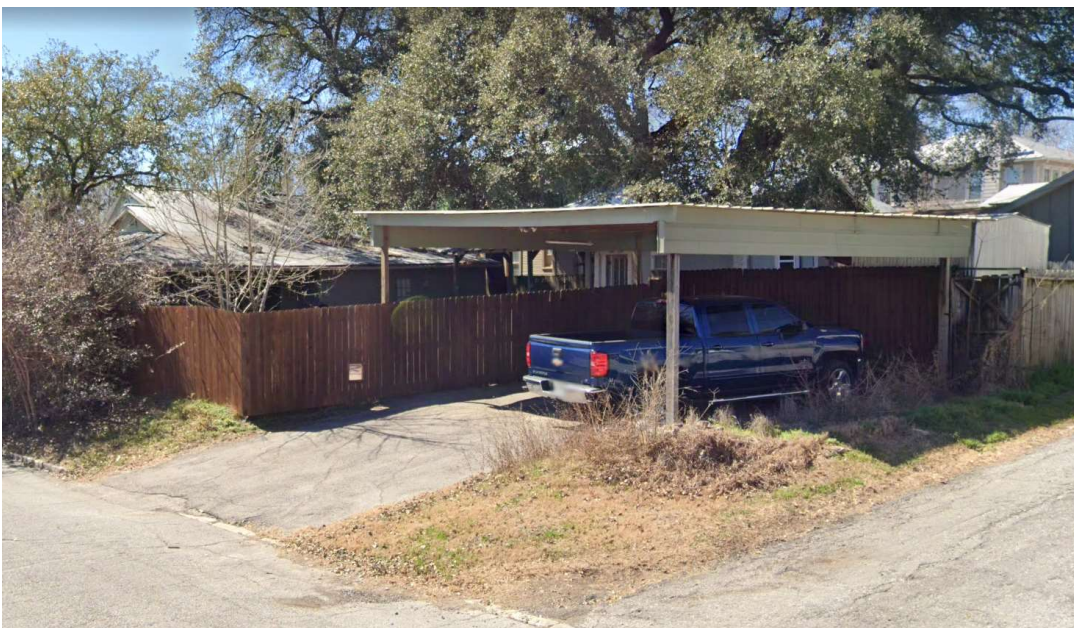
Please see below for the formal requests to satisfy these items.

1. We have chosen to abandon the existing fence and it will be removed in its entirety along the Kokomo frontage. We have proposed a new fence that would fall within the property lines. At the north portion of the property, we proposed to provide a steel and stainless cable rail safety fence around the pool and would provide additional landscape screening along the full extent of eastern property line. Along Kokomo we are also proposing to add a new 4' sidewalk at the back of curb and then transition the severe grading with a new limestone block wall. As it existing, there is approx. 4-5' of slope from the edge of the existing fence to the back of curb.
2. Attached landscape plans shows additional landscape screening we would provide along the driveway to screen any parked vehicles in the front yard. It is also of note that the intention of this driveway is meant for visitors and temporary loading/unloading and not a permanent parking space. Proposed detached garage has the provided 2 covered parking spaces for the residence.

Thank you for your considerations,



Daniel Long, RA



EXISTING HOME IMAGES



TBP/ELS FIRM NO. 10194244
18410 US Hwy 281 N, Suite 109
San Antonio, TX 78259
(210) 369-9509

BUYER/OWNER: KATHRYN ELENA WALKER & CHRISTOPHER JAMES WALKER
ADDRESS: 259 MONTCLAIR STREET
CITY, STATE, ZIP: ALAMO HEIGHTS, TEXAS, 78209



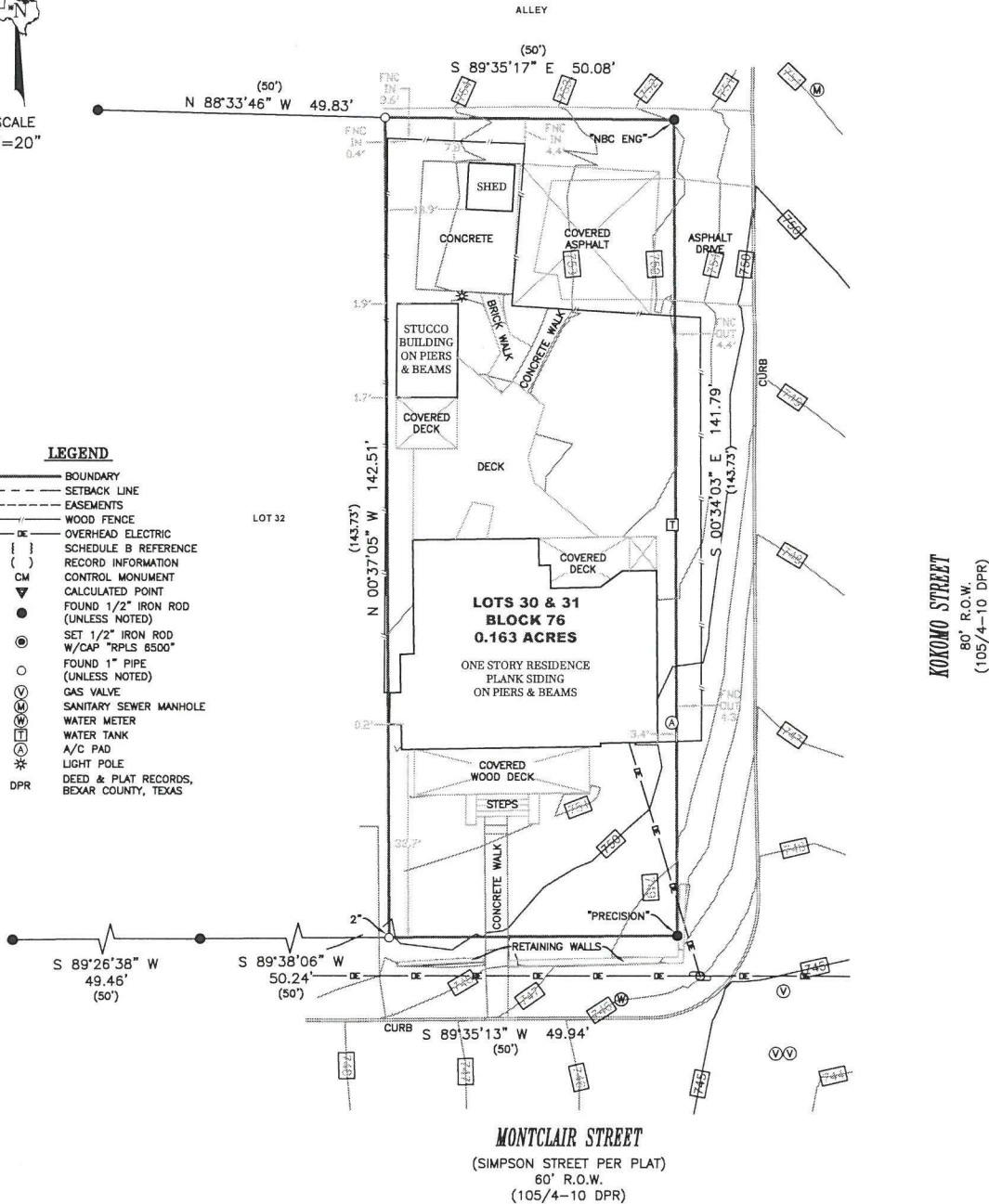
TOPOGRAPHIC SURVEY

LOTS 30 & 31, BLOCK 76, ALAMO HEIGHTS, SITUATED IN BEXAR COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 105, PAGES 4-10, DEED & PLAT RECORDS, BEXAR COUNTY, TEXAS.



SCALE
1"=20'

- LEGEND**
- BOUNDARY
 - - - SETBACK LINE
 - - - EASEMENTS
 - - - WOOD FENCE
 - OVERHEAD ELECTRIC
 - () SCHEDULE B REFERENCE
 - CM RECORD INFORMATION
 - CONTROL MONUMENT
 - ▲ CALCULATED POINT
 - FOUND 1/2" IRON ROD (UNLESS NOTED)
 - SET 1/2" IRON ROD W/CAP "RPLS 6500"
 - FOUND 1" PIPE (UNLESS NOTED)
 - GAS VALVE
 - SANITARY SEWER MANHOLE
 - WATER METER
 - A/C PAD
 - LIGHT POLE
 - DEED & PLAT RECORDS, BEXAR COUNTY, TEXAS
 - DPR

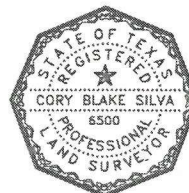


NOTES

1. BASIS OF BEARINGS FOR THIS SURVEY WAS DETERMINED BY GPS "RTK" OBSERVATIONS, NORTH AMERICAN DATUM OF 1983, TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH CENTRAL ZONE 4204, GRID.

2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, AND DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR, ANY INFORMATION REGARDING RECORDED EASEMENTS, SETBACKS AND ADJOINERS THAT MAY AFFECT THE QUALITY OF TITLE MAY NOT BE SHOWN.

ACCORDING TO FEMA MAP NO. 48028C0402H WITH AN EFFECTIVE DATE OF 6/10/2020, AND A REVISION DATE OF 1/4/2022, THIS PROPERTY LIES WITHIN ZONE X AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. THIS INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE MAP REVISIONS BY FEMA.



I, Cory Blake Silva, Registered Professional Land Surveyor number 6500, do hereby certify that a survey was made on the ground, under my supervision, on date as shown, of the property hereon described, and I do declare there are no conflicts known to me except as shown.

CORY BLAKE SILVA
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6500

JOB NO. 220712898

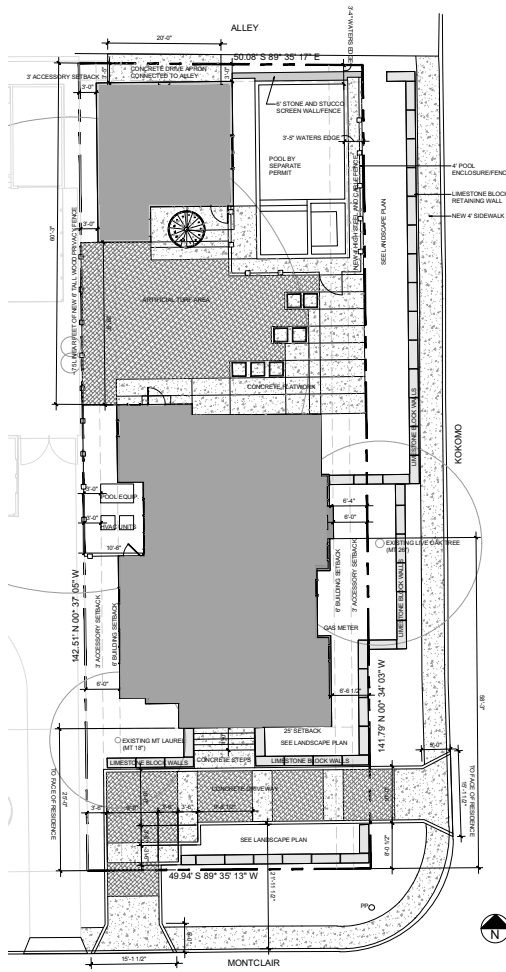
CREW: L.G.
DATE: 7/27/2022

DRAWN:
J.N.C.

REVIEW:
R.B.A./C.B.S.

REVISION DATE: ---

DATE: 08/25/2022



LOT COVERAGE
 Building Lot is 7,155 SF
 Lot is 65% Impervious Coverage Area for 2F-C =
 4,652 SF of Impervious Area Allowed
 1441 (MAIN HOUSE) + 1441 (GARAGE) + 1441 (POOL) + 1441 (BACKYARD)
 1441 (FRONT YARD) + 1441 (DRIVEWAY) + 1441 (STAIRCASE) + 1441 (RETAINING WALL)
 1441 (FENCING) + 1441 (OTHER) = 4,652 SF (65%)

FRONT YARD COVERAGE
 1250 SF FRONT YARD
 282 SF OF CONCRETE STEPS, STAIR, SIDEWALK AND CURB
 22.5% COVERAGE

Walker Residence - 259 Montclair