

ARB CASE NO. 1010S
5603 BROADWAY ST

PERMANENT SIGNAGE



COMMUNITY DEVELOPMENT

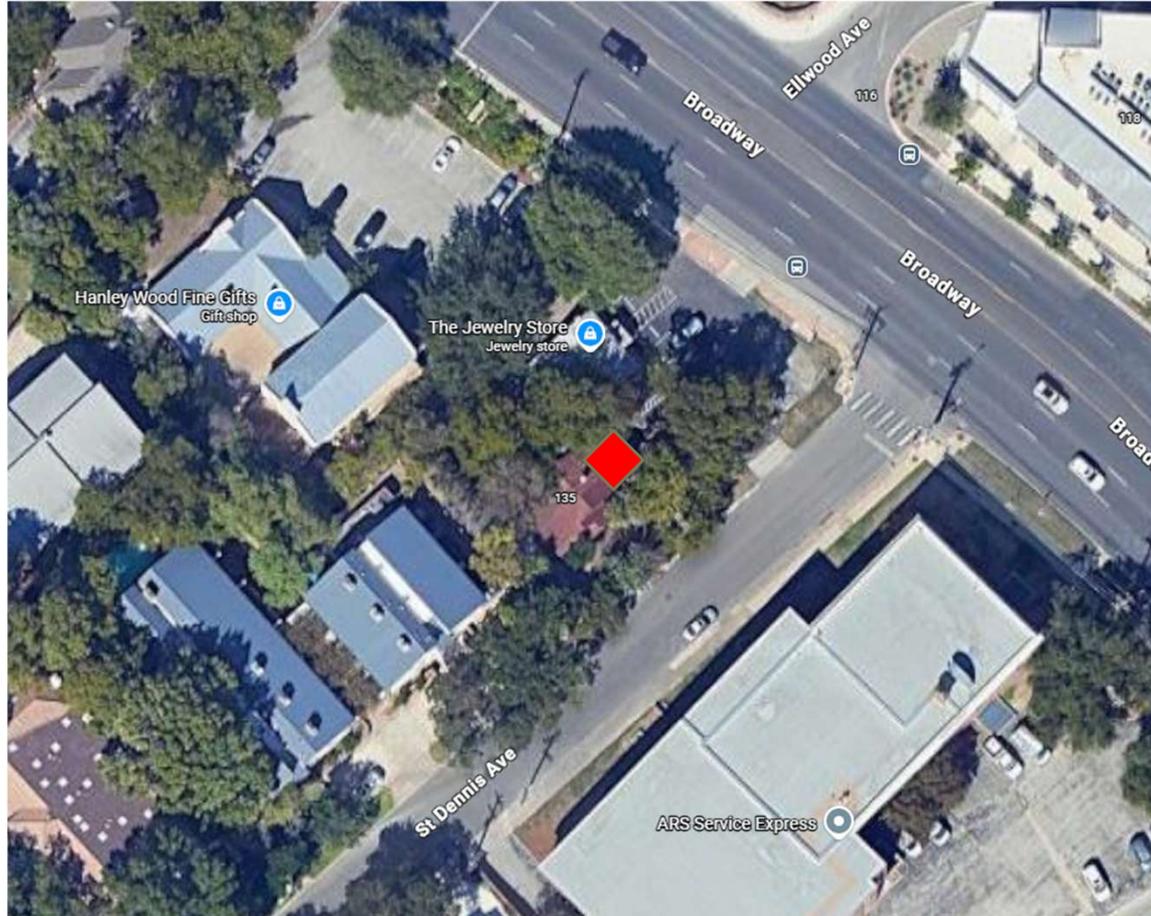
Presented by:
Tyler Brewer
Senior Planner



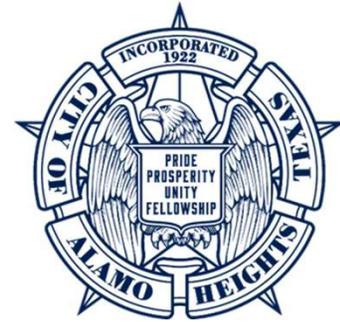
PROPERTY



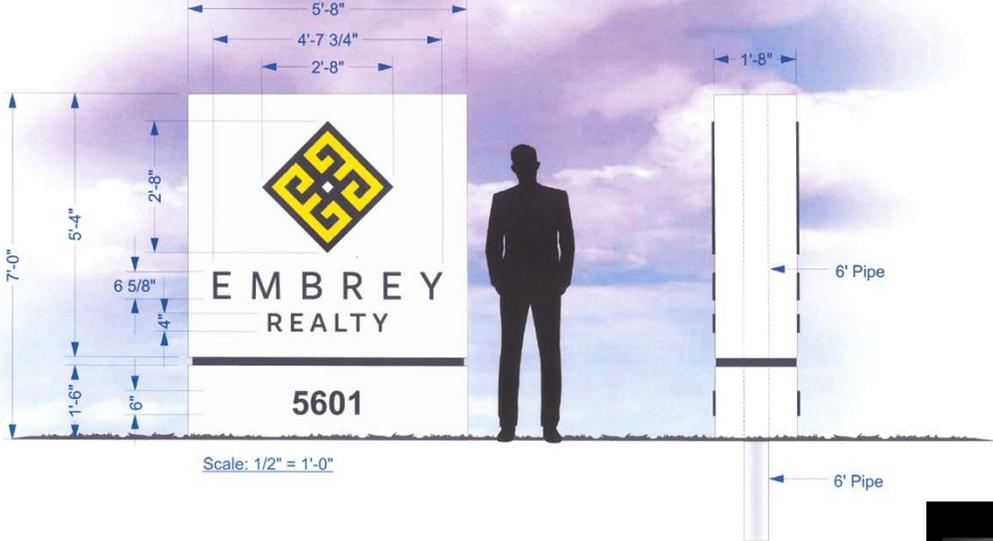
- B-1
- West of Broadway St, north of St. Dennis Ave
- Permanent Signage



EXISTING CONDITIONS



PROPOSED SIGN



SPECIFICATIONS



Specifications:

Manufacture and install one D/F monument sign.

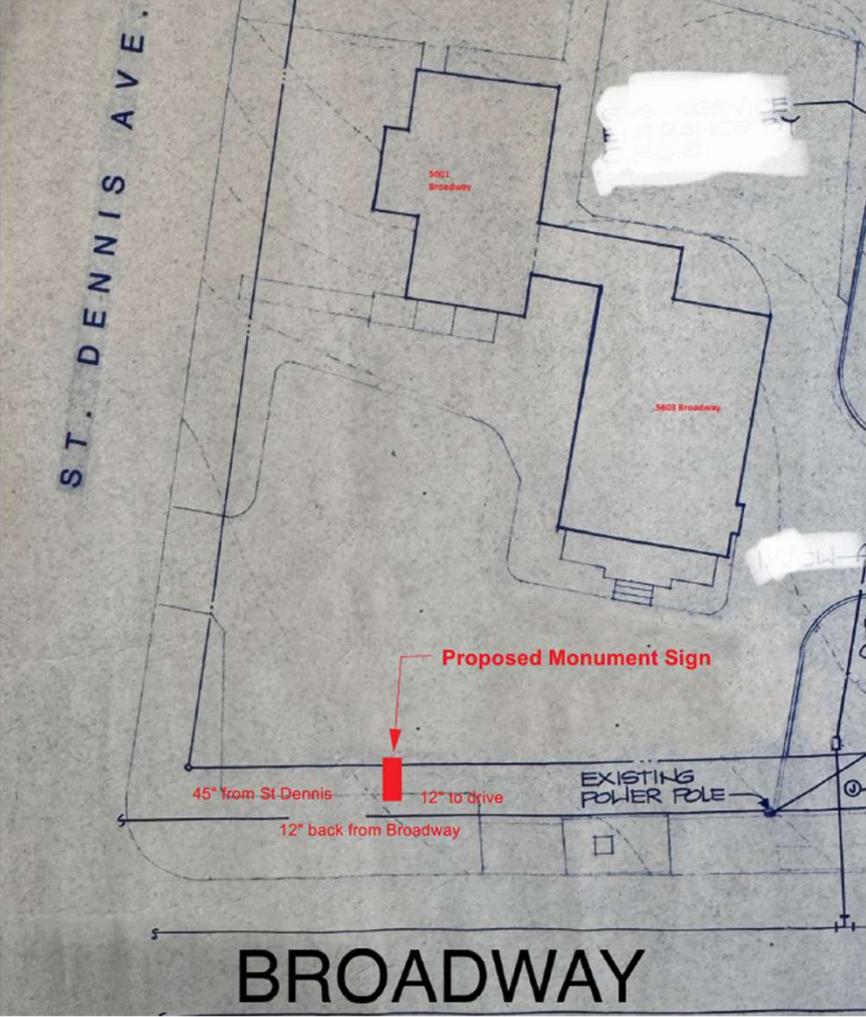
Alum. construction. painted white.

1/2" acrylic graphics painted logo with applied vinyl graphics, flush mounted to monument face.

1/2" acrylic letters and address painted, flush mounted to monument face.

6" pipe for mounting to asphalt surface.

SITE LAYOUT



POLICY ANALYSIS

§ 15-1 Definitions.

Monument sign (ground sign), means a sign which is supported by a pedestal or other solid foundation in or upon the ground and limited to six (6) feet in height and twenty-four (24) square feet in area.



§ 15-32 Limitation of signs for business or office premises.

(c) Shopping center or multi-tenant building.

- (1) A business or office in a shopping center or multi-tenant building may have one (1) identification sign, per tenant, attached to the building and one (1) detached sign (monument or multi-tenant sign) for the shopping center.
 - a. The monument sign shall only display the name and address of the facility.
 - b. Multi-tenant signs for the shopping center shall only be allowed when the businesses do not front or are not visible from city streets or rights-of-way.



COMPLIANCE/PUBLIC NOTICE

- Location on the site complies with monument sign regulations
- Height and size of sign do not comply:
 - Height – Limited to 6 ft (7 ft proposed)
 - Size – Limited to 24 sq ft (39.67 sq ft proposed)
- No public notice required

ARB CASE NO. 1012S
5320 BROADWAY ST

PERMANENT SIGNAGE



COMMUNITY DEVELOPMENT

Presented by:
Tyler Brewer
Senior Planner

PROPERTY



- B-1
- East side of Broadway St between Grandview Pl and Arcadia Pl
- Permanent Signage





EXISTING CONDITIONS



PROPOSED WALL SIGN



Front Elevation (West)

SCALE: 3/16"=1'-0"



Night View

SPECIFICATIONS — WALL SIGN



Color Key:

- White
- 3630-44 Orange
- 3630-136 Lime Green
- PMS 3435C Dk Green
Hex #154734 RGB (21,71,52)

Electrical Detail:

- White LEDs
- (X) 60w Power Supplies
- Total Amps: X.XX
- (1) 20 amp 120V Circuit Req.



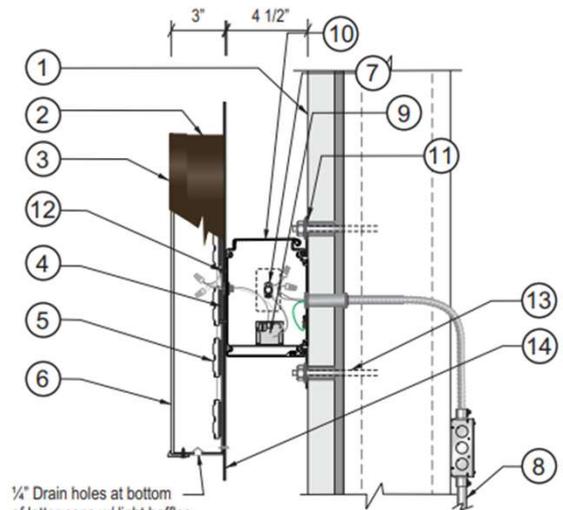
General Notes:

This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- Grounded and bonded per NEC 600.7/NEC 250
- Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- Sign is to be UL listed per NEC 600.3
- UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer. For multiple signs, a disconnect is permitted but not required for each section
- The location of the disconnect switch after installation shall comply with article 600.6 (A) (1) per NEC

Specifications:

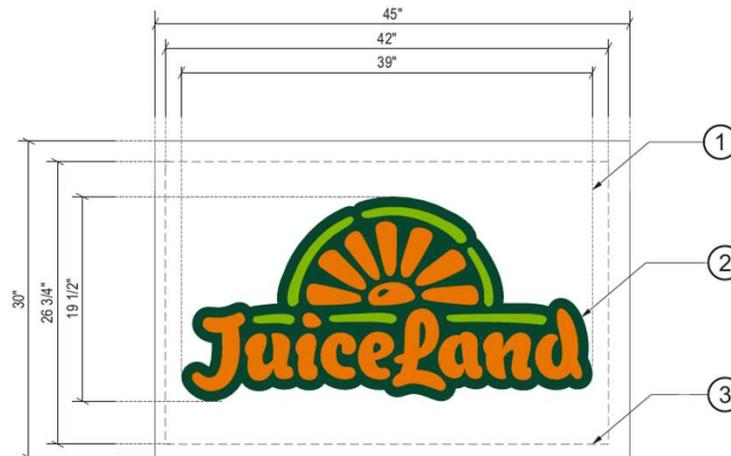
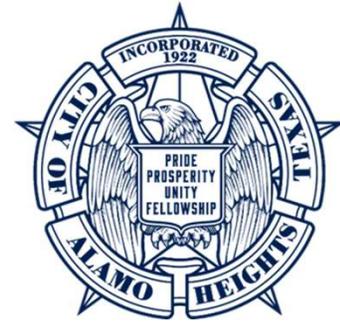
1. Existing Facade: To be determined
2. 0.040" Aluminum letter returns pre-finished Dk Bronze.
3. 1" Jewelite trimcap (Dk Bronze) bonded to face and #8 pan head screws to returns.
Note: 2" trimcaps for letters 54" and larger.
4. .125" ACM backs (pre-finished white) fastened to returns. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration.
5. White LED lighting.
6. 3/16" acrylic faces with applied vinyl to match color key.
7. Disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC 600-6.
8. Primary electrical feed in UL conduit / customer supplied UL junction box.
9. Power Supplies.
10. 0.080" Aluminum raceway painted to match backer panel Dk Green.
11. 2" Aluminum mounting clips, Maximum 6" from each end and every 48" o.c. (TYP)
12. Rivets, 3/16" aluminum #66 w/ 1/4"Ø thru bolt & hardware. (ltr to raceway fastening)
13. Mounting hardware to suit.
14. 0.080" Contour cut backer panel painted Dk Green to match color key.



1/4" Drain holes at bottom of letter cans w/ light baffles.
For exterior signage only

Section @ LED Channel Letter Raceway
Scale: N.T.S.

PROPOSED MULTI-TENANT SIGN



SPECIFICATIONS — MULTI-TENANT SIGN



Specifications:

1. New 3/16" white polycarbonate panel
w/Opaque white vinyl film background.
2. Applied vinyl to match color key.
3. Existing 2" Retainer 2 1/2" Divider (Visible opening)

Color Key:

-  3630-76 Holly Green
-  3630-44 Orange
-  3630-136 Lime Green
-  7125 Matte Opaque White



POLICY ANALYSIS

§ 15-32 Limitation of signs for business or office premises.

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COMPLIANCE/PUBLIC NOTICE

- Wall Sign Size – Limited to 24 sq ft (35.6 sq ft proposed)
- No public notice required

ARB CASE NO. 1013S
518 AUSTIN HWY
PERMANENT SIGNAGE



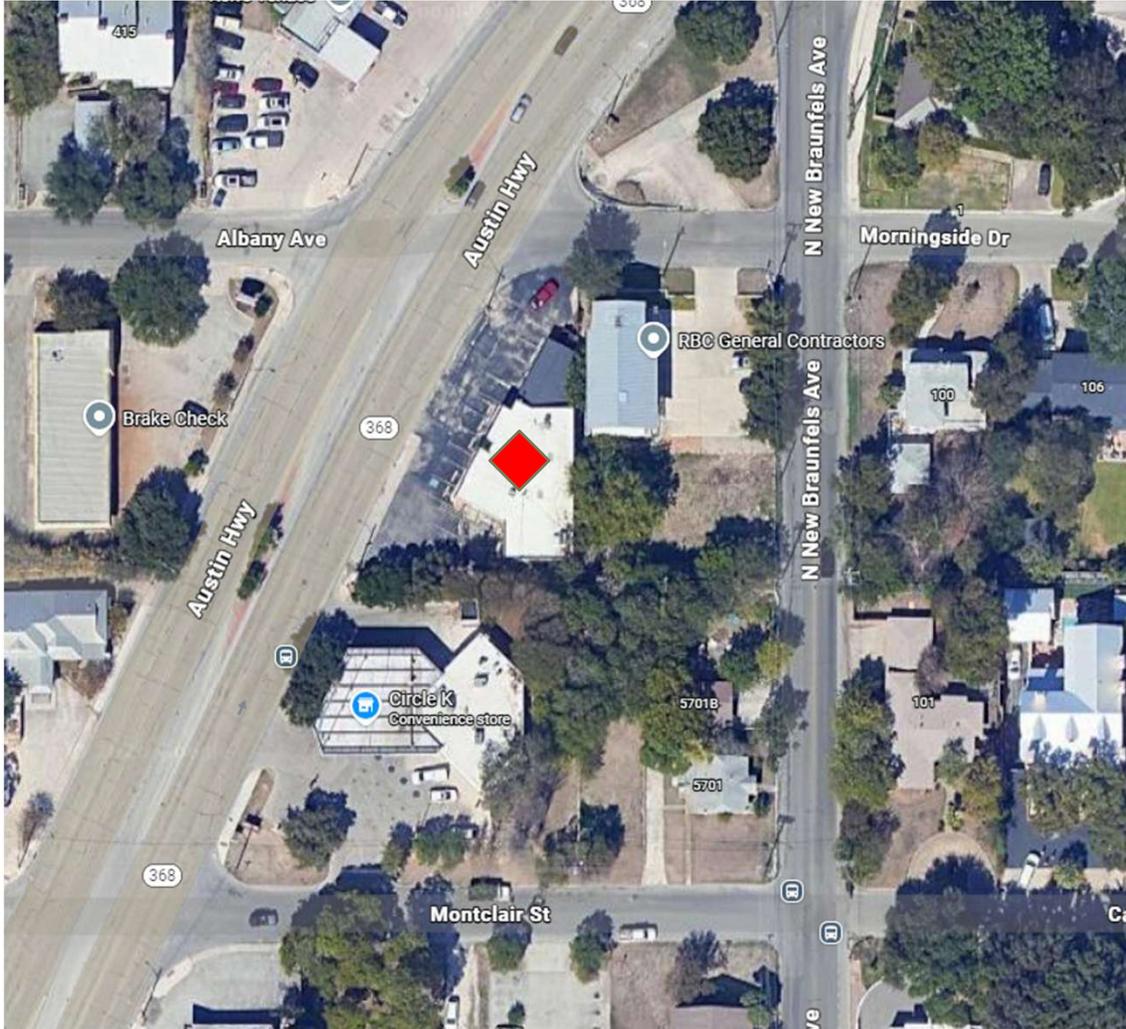
COMMUNITY DEVELOPMENT

Presented by:
Tyler Brewer
Senior Planner

PROPERTY



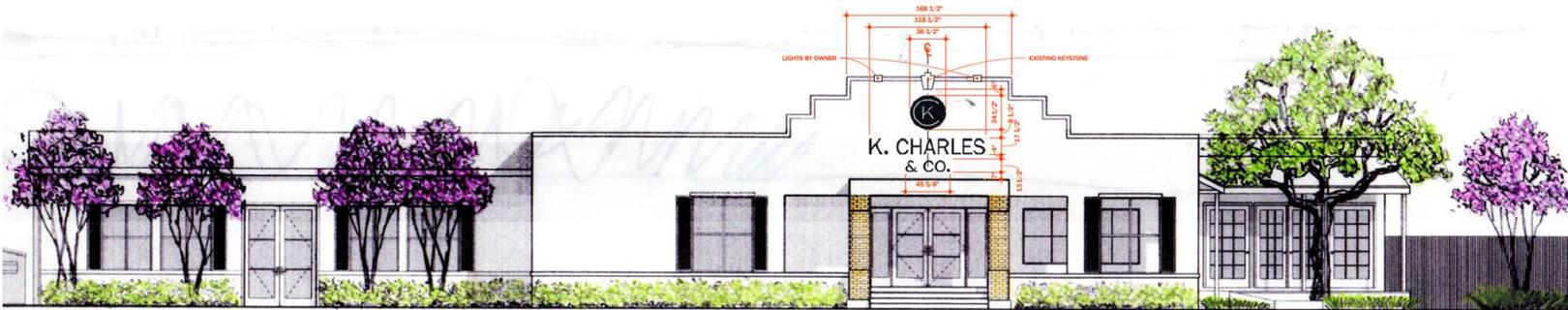
- B-3
- Southeast corner of Austin Hwy and Albany St
- Permanent Signage



EXISTING CONDITIONS

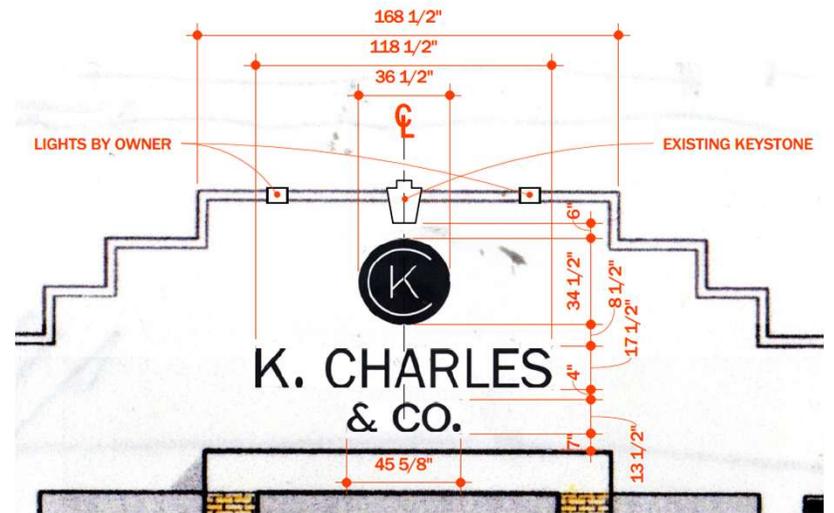


PROPOSED WALL SIGN



FRONT ELEVATION - NEW
1/4" = 1'-0"

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SPECIFICATIONS — WALL SIGN



- Material: 11-gauge steel
- Color: Black
- Mounting: Offset 2” from the face of the building with masonry screws off flanges
- Lighting: Use existing lighting to illuminate sign from above



POLICY ANALYSIS

§ 15-32 Limitation of signs for business or office premises.

(b) *Freestanding business or office building.*

(1) Only one (1) external identification sign shall be permitted for a building that faces a street bordering that business or office building.



COMPLIANCE/PUBLIC NOTICE

- Wall Sign Size – Limited to 24 sq ft (64.2 sq ft proposed)
- No public notice required

ARB CASE NO. 1004F 4820 BROADWAY ST

FINAL REVIEW



COMMUNITY DEVELOPMENT

Presented by:
Tyler Brewer
Senior Planner



PROPERTY



- B-1
- Southeast corner of Broadway St and Terrell Rd
- Exterior Improvements



HISTORY

- Tabled at 11.18.2025 ARB meeting
- ARB requested more information

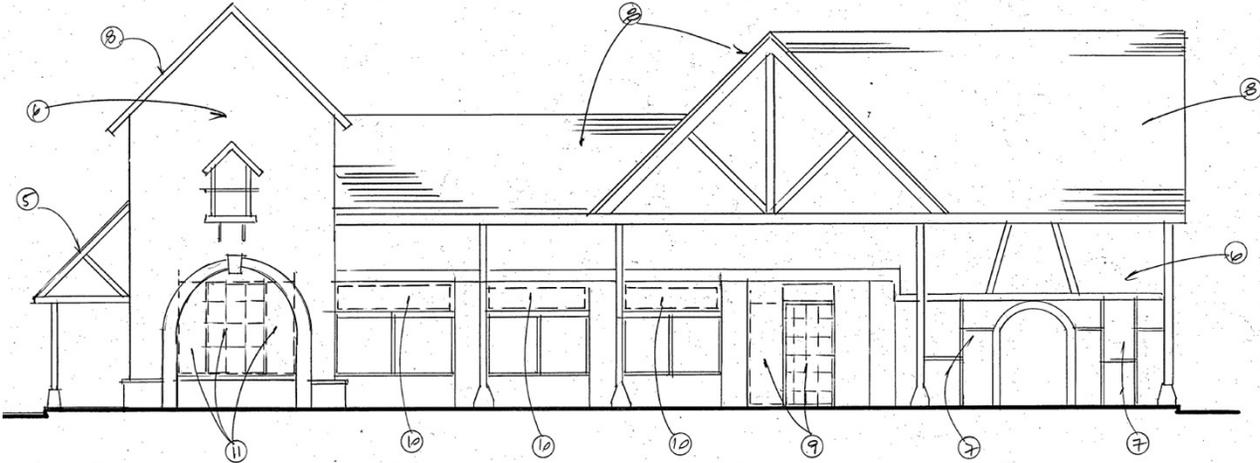
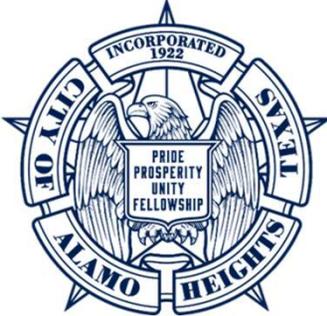
EXISTING CONDITIONS - WEST



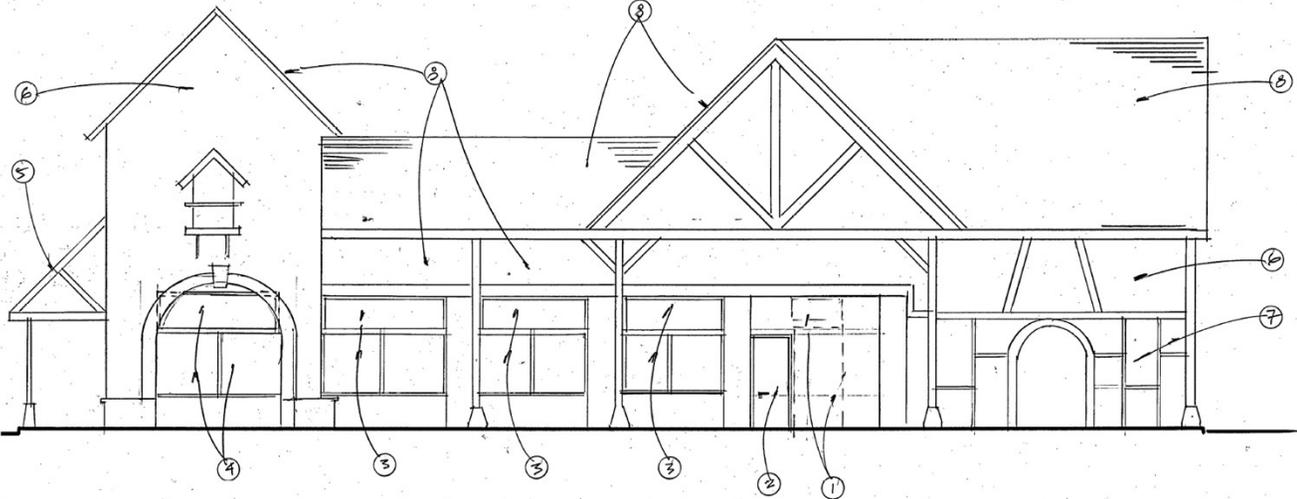
EXISTING CONDITIONS - NORTH



EXISTING VS PROPOSED ELEVATIONS - WEST



Existing

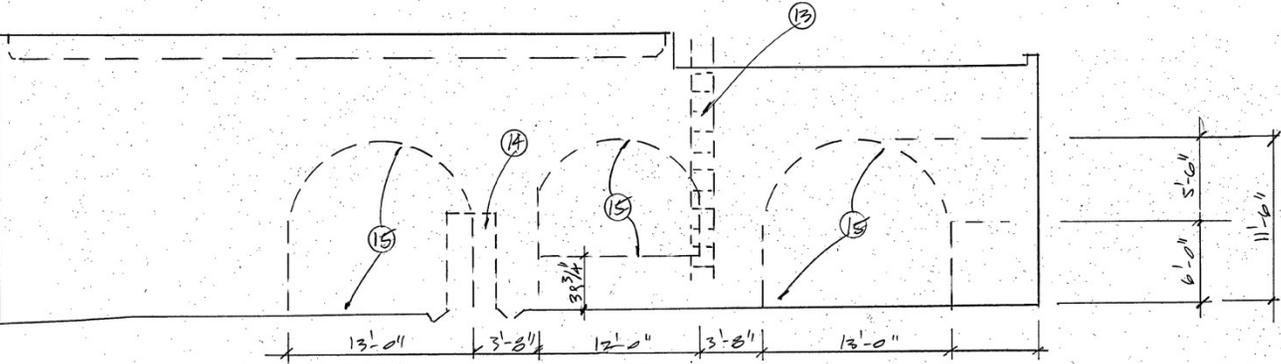
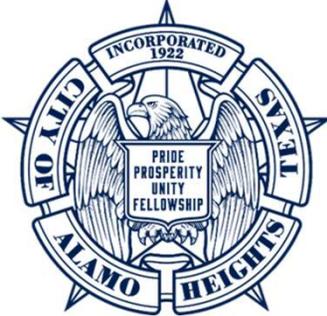


Proposed

KEYED NOTES:

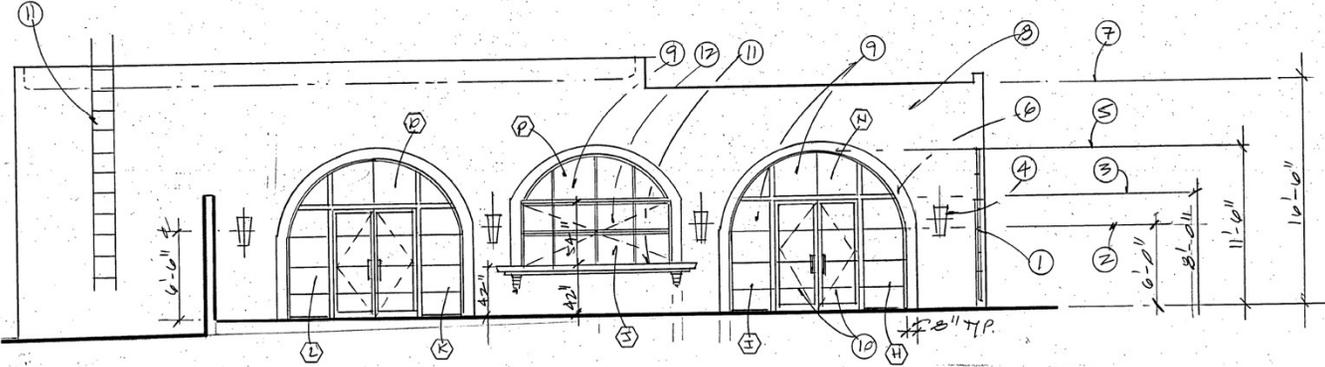
1. INFILL AREA (WHERE EXISTING DOOR AND SIDE LITES WERE REMOVED) WITH EXTERIOR STUCCO TO MATCH ADJACENT EXISTING STUCCO.
2. NEW EXIT DOOR, INSULATED METAL PAINTED.
3. NEW TRANSOM OVER EXISTING WOOD FRAMED FIXED GLASS WINDOW, ALL GLASS TO BE NEW INSULATED TEMPERED GLASS.
4. NEW WOOD FRAMED FIXED TEMPERED INSULATED GLASS WINDOW WITH TRANSOM ABOVE.
5. EXISTING SHED ROOF OVER EXTERIOR WALK.
6. EXISTING STUCCO EXTERIOR TO BE REPAINTED.
7. EXISTING BRICK WORK TO REMAIN AS IS.
8. EXISTING SHINGLE ROOF TO REMAIN AS IS.
9. REMOVE EXISTING DOOR AND SMALL ADJACENT WALL SECTION.
10. REMOVE EXISTING PANEL OVER WINDOW TO MAKE ROOM FOR NEW TRANSOM.
11. REMOVE EXISTING FIXED GLASS WINDOW AND ADJACENT SMALL PORTION OF WALL, TO MAKE ROOM FOR NEW WINDOW WITH TRANSOM ABOVE.

EXISTING VS PROPOSED ELEVATIONS - EAST



Existing

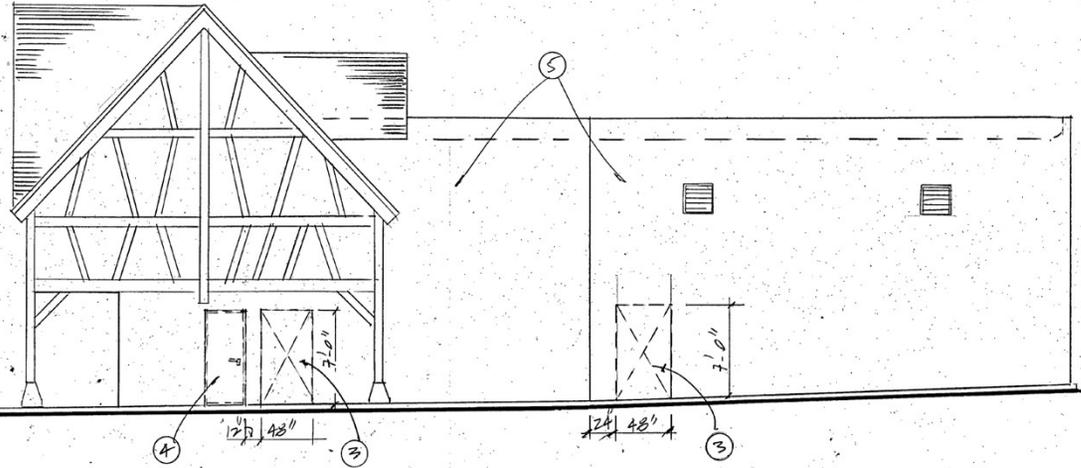
Proposed



KEYED NOTES

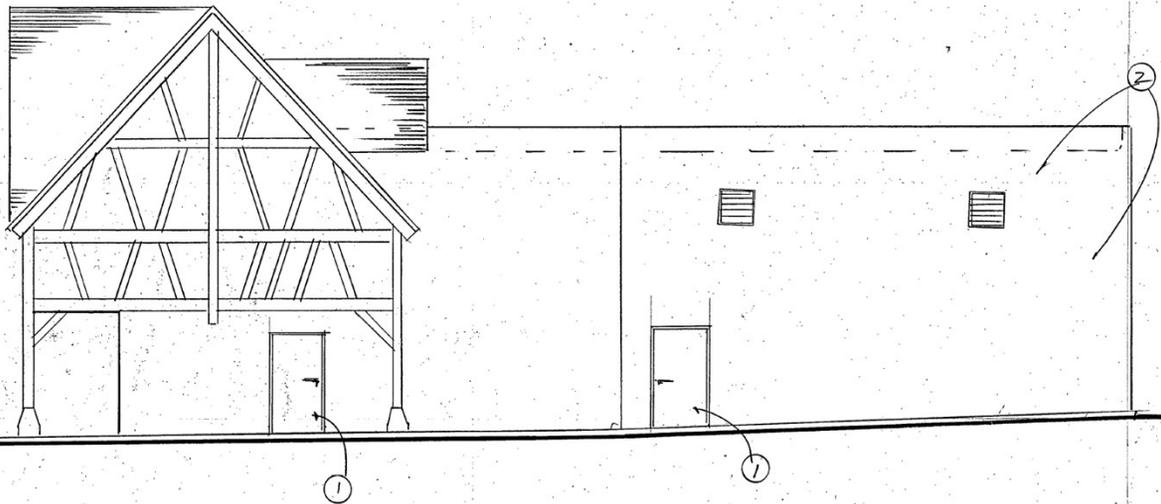
1. NEW WROUGHT IRON DOUBLE GATES BY OTHERS.
2. SPRING POINT OF ARCH.
3. TOP OF DOOR, BOTTOM OF TRANSOM ABOVE
4. TYPICAL NEW OUTDOOR SCENCE, TO BE SELECTED.
5. TOP OF ARCHED TRANSOM, AND TOP OF WROUGHT IRON GATES.
6. *DRYWIT* 205T156604 EIFS TRIM, TYPICAL ALL OPENING SURROUND.
7. TOP OF EXISTING LOWER PORTION OF BUILDING.
8. PAINT ALL EXISTING BUILDING EXTERIOR IN OFF WHITE COLOR.
9. STEEL AND TEMPERED INSULATED LOW IRON GLASS SIDE LITES AND TRANSOM ABOVE.
10. NEW STEEL AND TEMPERED INSULATED LOW IRON GLASS DOUBLE 36" X 96" DOORS.
11. NEW 3/4" SOAPSTONE SLAB MATERIAL EXTERIOR BAR COUNTERTOP.
12. NEW STEEL AND INSULATED TEMPERED LOW IRON GLASS, UP-FOLDING 4'-6" X 12'-0" POWER OPERATED WINDOW, AS CUSTOM MANUFACTURED BY *RENLITA* S-2000 HINGEAWAY.
13. REMOVE AND RELOCATE ROOF ACCESS LADDER.
14. REMOVE EXISTING DOOR.
15. CUT NEW OPENINGS IN EXTERIOR WALL FOR NEW DOORS, TRANSOMS, SIDE LITES AND WINDOWS. PROVIDE SHORING AND LINTELS AS REQUIRED.

EXISTING VS PROPOSED ELEVATIONS - SOUTH



Existing

Proposed



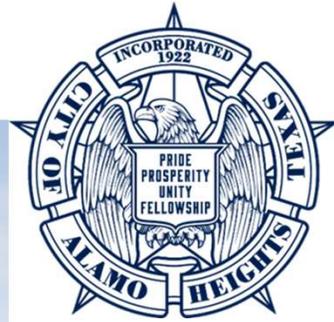
RENDERING - WEST



RENDERING — SOUTH/WEST



RENDERING — NORTH/WEST



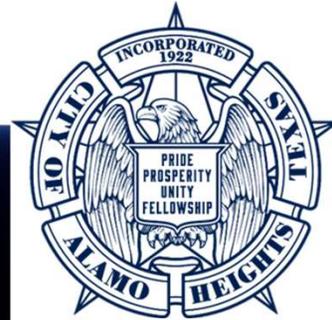
RENDERING — NORTH/EAST



RENDERING — NORTH/EAST - ZOOM



RENDERING — NORTH/EAST - NIGHTTIME



RENDERING - OVERHEAD



PATIO RENDERINGS



PATIO RENDERINGS



PATIO RENDERINGS





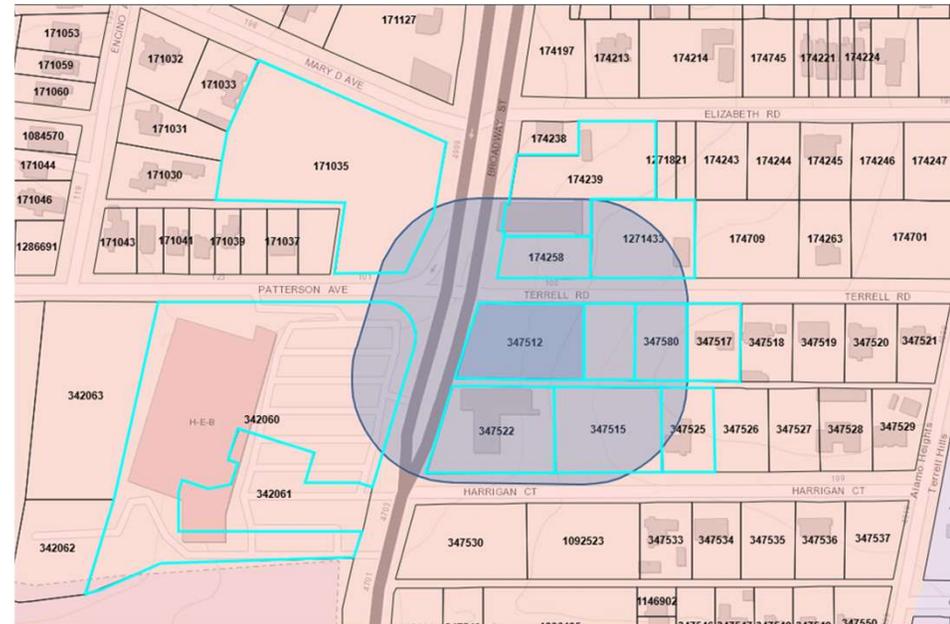
POLICY ANALYSIS

- Project required to complete plan review process to ensure compliance with current regulations.
- The case is tentatively scheduled to be heard at the February 9, 2026 City Council Regular Meeting, pending recommendation from the board.



PUBLIC NOTIFICATION

- Public Notice
 - Postcards mailed to property owners within a 200-foot radius
 - Posted on City's website and on property
- Responses received:
 - Support: (0) Neutral: (0)
 - Oppose: (0)



ARB CASE NO. 1011F 518 AUSTIN HWY

FINAL REVIEW



COMMUNITY DEVELOPMENT

Presented by:
Tyler Brewer
Senior Planner



PROPERTY



- B-3
- Southeast corner of Austin Hwy and Albany St
- Exterior Improvements

EXISTING CONDITIONS - WEST



EXISTING CONDITIONS - NORTH



EXISTING CONDITIONS - SOUTH



EXISTING CONDITIONS - EAST

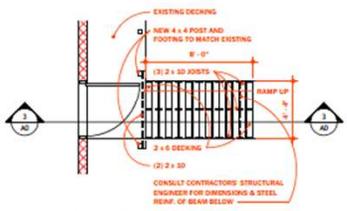
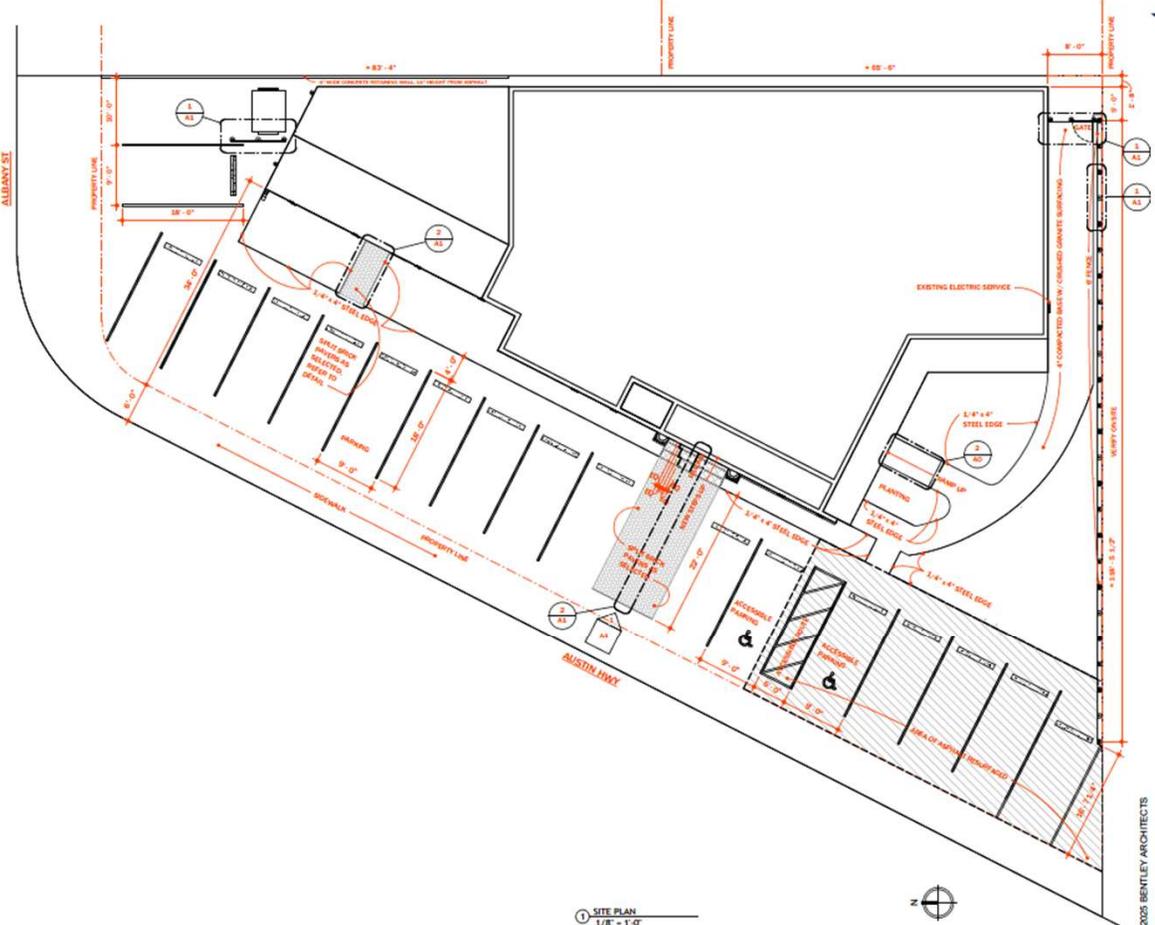


PROPOSED SITE PLAN

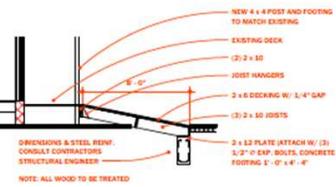


K. CHARLES & CO. GENERAL NOTES

- SITE WORK**
 - CONTRACTOR TO REFER TO DEMOLITION PLAN SHEET A2 FOR AREAS OF ASPHALT PAVING, CONCRETE, SILL TIES, FILL, DEBRIS AND BROKEN WHEEL STOPS TO BE REMOVED.
 - CONTRACTOR TO GRIND LEVEL ALL UNLEVEL CONCRETE PAVED AREAS. UPON COMPLETION, PAINT PAINT ENTIRE CONCRETE AREA WITH SHERWIN WILLIAMS 'VOO PARK' BLACK, HE STRIPS ACCORDING TO PAVING PLAN.
 - ALL REMAINING ASPHALT AREAS TO BE SURFACED, SEALED, AND STRIPPED ACCORDING TO PAVING PLAN.
 - CURBING EMPLOYED WALKWAY TO BE GRADED PROPERLY FOR DRAINAGE. INSTALL A 4" COMPACTED BASE, COVER WITH CRUSHED GRANITE.
 - AREAS DESIGNATED PLANTING TO HAVE CONCRETE, ASPHALT AND ALL-BASE MATERIAL REMOVED.
- BUILDING EXTERIOR**
 - REPAIR ALL STUCK CRACKS AND IRREGULAR AREAS. PAINT BUILDING WALLS, WINDOWS, TRIM, FASCIA, ETC., ACCORDING TO OWNER'S SELECTIONS, MINIMUM 2 COATS ON ALL SURFACES.
 - NEW CADAM WOOD FENCE TO HAVE 2 COATS OF 'OLYMPIC' SEMI-TRANSPARENT STAIN.
- INTERIOR**
 - REFER TO SHEET A2 FOR INTERIOR DEMOLITION.
 - CONTRACTOR TO IDENTIFY AND REPAIR FLOOR AREAS INDICATING STRUCTURAL FAILURE.
 - REFER TO ROOM FINISH SCHEDULE FOR FLOORING, WALL MATERIALS, FINISHES AND CEILING HEIGHTS.
 - ALL INTERIOR PAINTING TYPE AND COLOR TO BE SELECTED BY OWNER.
 - WOOD FLOORING STAIN AS SELECTED BY OWNER.
 - INTERIOR DOOR TYPE, FINISH AND HARDWARE AS SELECTED BY OWNER.
 - ALL CABINETS, COUNTERTOPS, APPLIANCES, PLUMBING FIXTURES, ACCESSORIES AND HARDWARE TO BE SELECTED BY OWNER.
 - ALL REMAINING INTERIOR WALLS TO BE REPAIRED AS REQUIRED AND PAINTED ACCORDING TO OWNER'S INSTRUCTIONS.
 - ALL ELECTRICAL, HVAC AND PLUMBING SYSTEMS TO COMPLY WITH CURRENT CITY OF ALAMO HEIGHTS AND SAN ANTONIO CODES.
 - TWO NEW MHA SPLIT HVAC SYSTEMS TO BE SELECTED BY OWNER.
 - HOT WATER HEATER SIZE AND BRAND SELECTED BY OWNER.
 - RELIEFATION OF STEEL COLUMN, FOOTING, AND REQUIRED STRUCTURAL BEAM REVISIONS TO BE PROVIDED BY STRUCTURAL ENGINEER HIRED BY CONTRACTOR.
- REVISIONS TO ARCHITECTS PLANS WITHOUT ARCHITECTS APPROVAL RELIEVES ARCHITECT OF ANY RESPONSIBILITY OF REVISED ITEMS.**



1- NEW RAMP - PLAN
1/4" = 1'-0"



2- NEW RAMP - SECTION
1/4" = 1'-0"

1- SITE PLAN
1/8" = 1'-0"

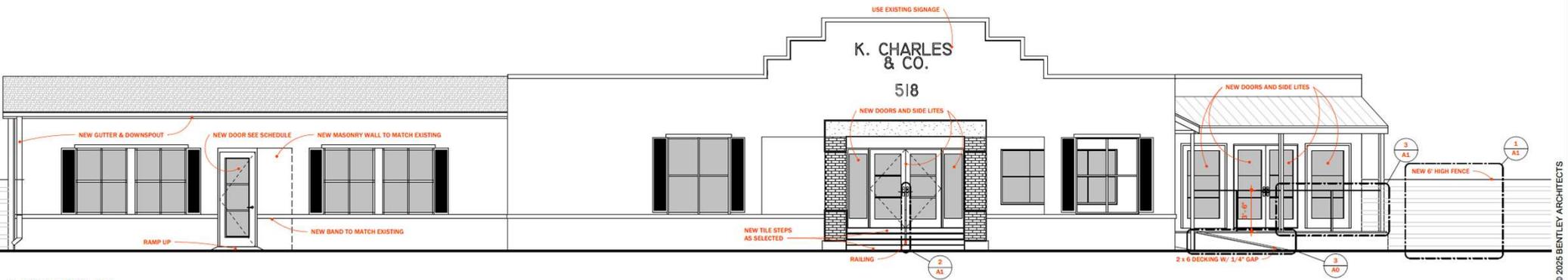


K. CHARLES & CO.
BEAUTY SALON
510 AUSTIN HWY, SAN ANTONIO, TX
BENTLEY ARCHITECTS

SHEET #
A0

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PROPOSED ELEVATION - WEST



PROPOSED COLOR ELEVATION - WEST



FRONT ELEVATION - NEW
1/4" = 1'-0"



SW 9587 - Mushroom
- Wall
Exterior



SW 6990 - Caviar
- Trim + Doors
Exterior



POLICY ANALYSIS

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