

# ARB CASE NO. 892F 321 ARGO AVE

## SIGNIFICANCE & COMPATIBILITY REVIEW

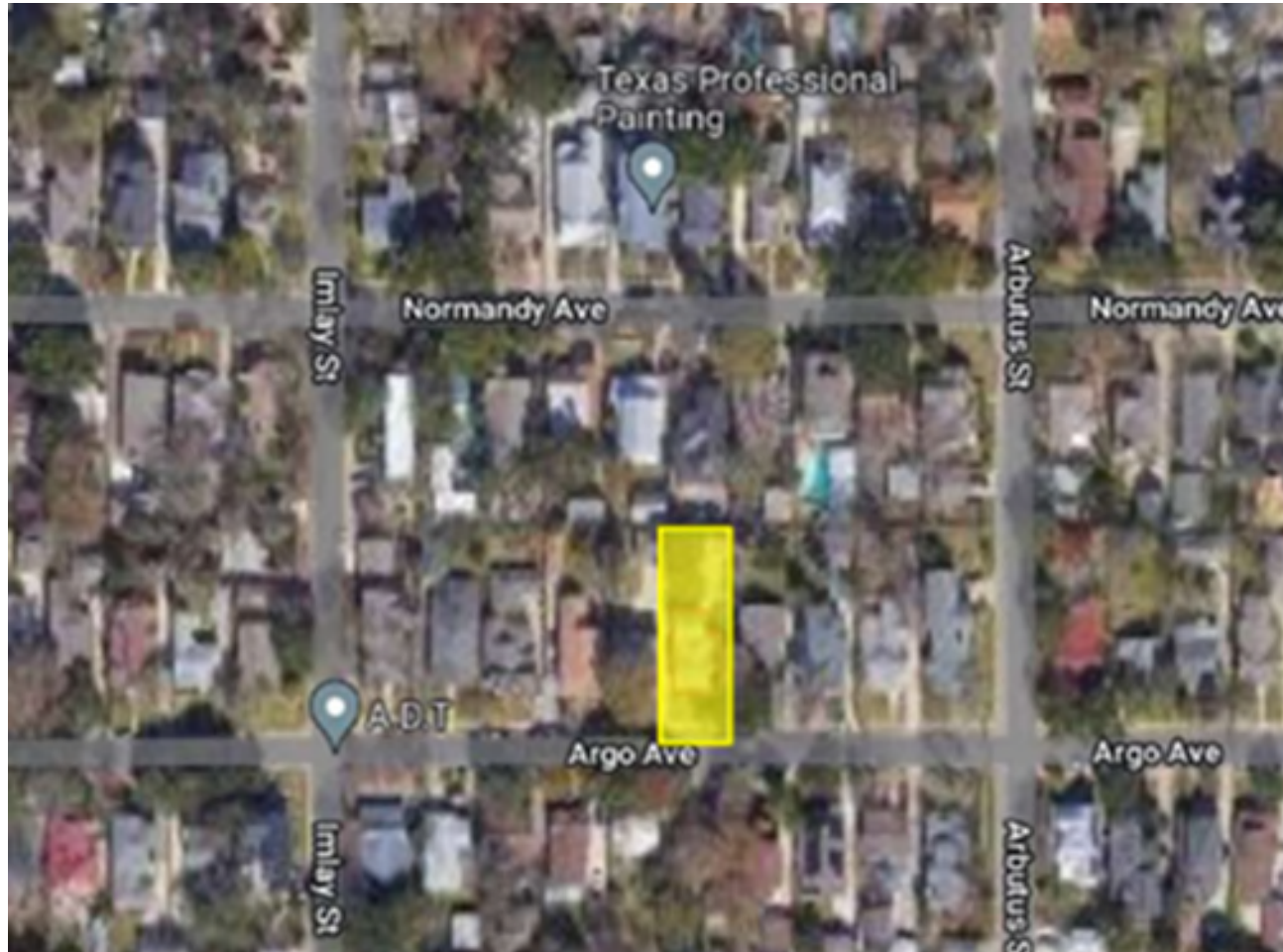


**COMMUNITY DEVELOPMENT**

Presented by:  
Lety Hernandez  
Director



# PROPERTY



- SF-B
- Argo Ave
  - north side of street between Imlay St and Arbutus St
- 2<sup>nd</sup> story addition



# SUMMARY

- Demolition Review
  - Significance Review
    - Removal/encapsulation of thirty-two (32) percent of the street-facing elevation
    - Removal/encapsulation of eighty-nine (89) percent of the framed structure of existing roof.
  - Compatibility Review
    - Due to the amount of total or substantial destruction of the structure or portion thereof



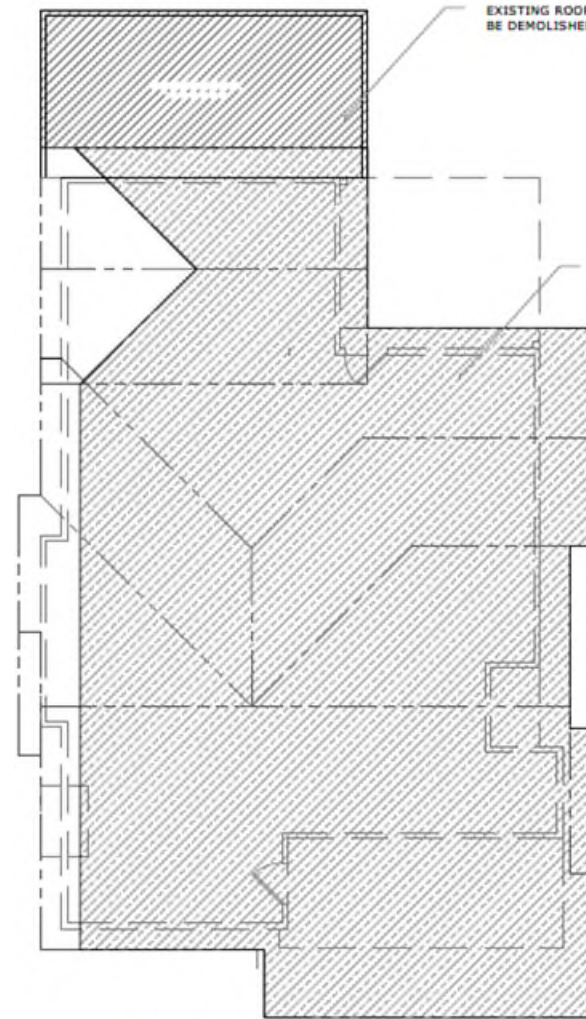
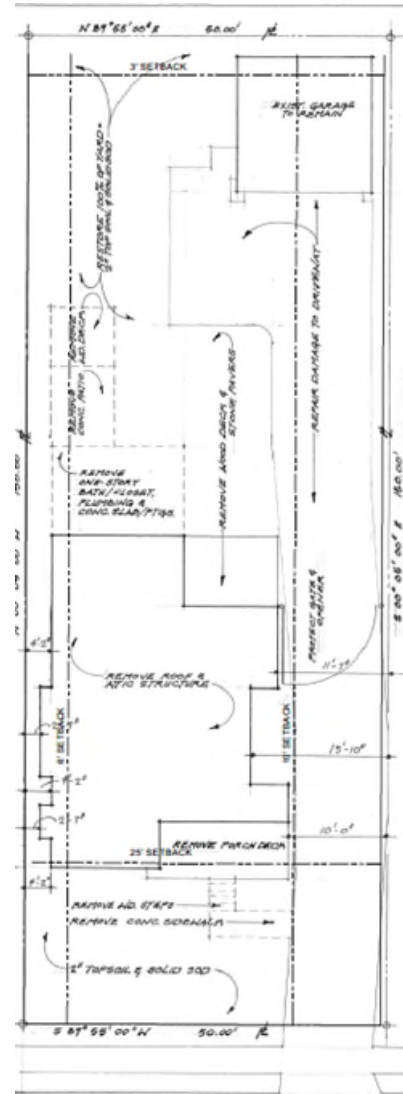
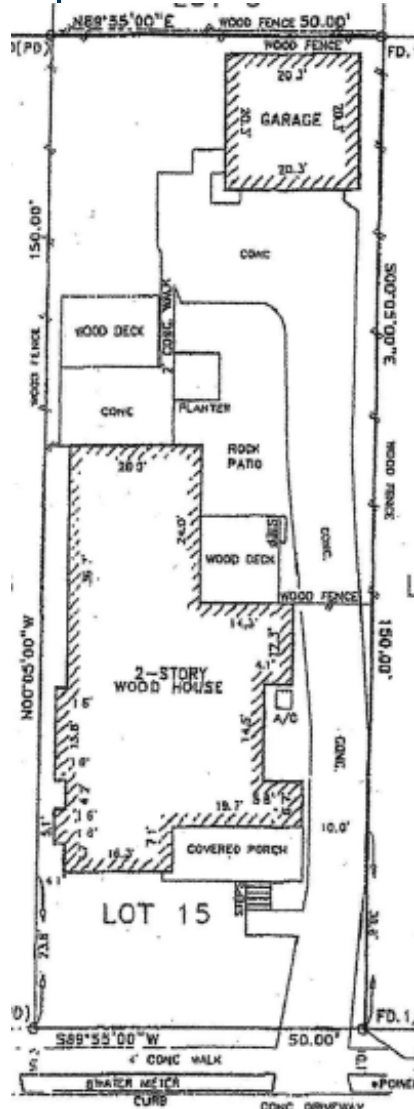
# EXISTING CONDITIONS







# SITE & ROOF PLANS

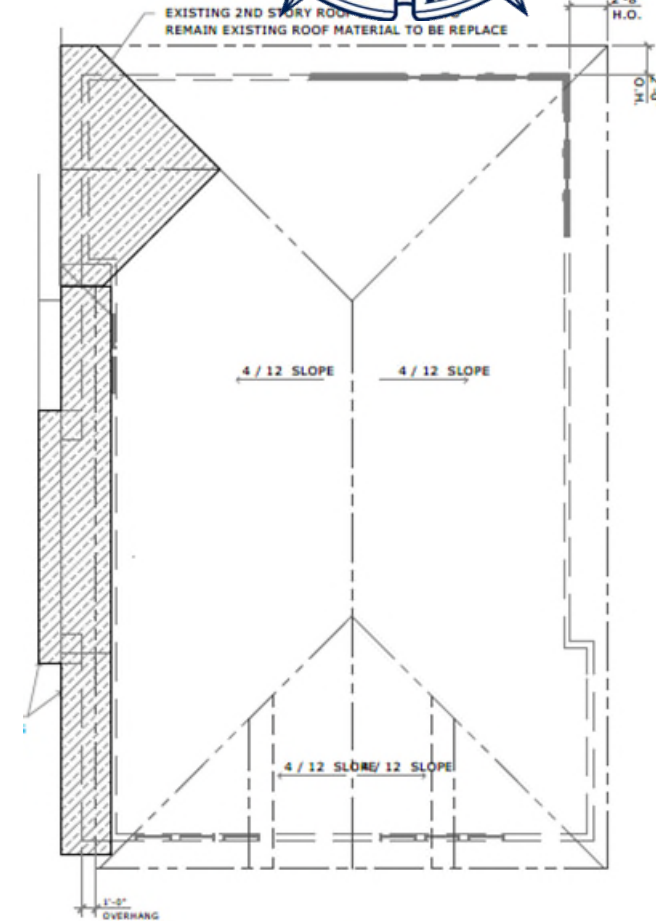


EXISTING ROOF PLAN

SCALE: 3/16" = 1'-0"

EXISTING ROOF  
AREA ENCAPSULATED/DEMOLISHED BY ADDITION  
2156 / 2441 = 89%

2441 SQ. FT.  
2156 SQ. FT.



NEW ROOF PLAN

SCALE: 3/16" = 1'-0"



# STREET FACING ELEVATION (SOUTH)

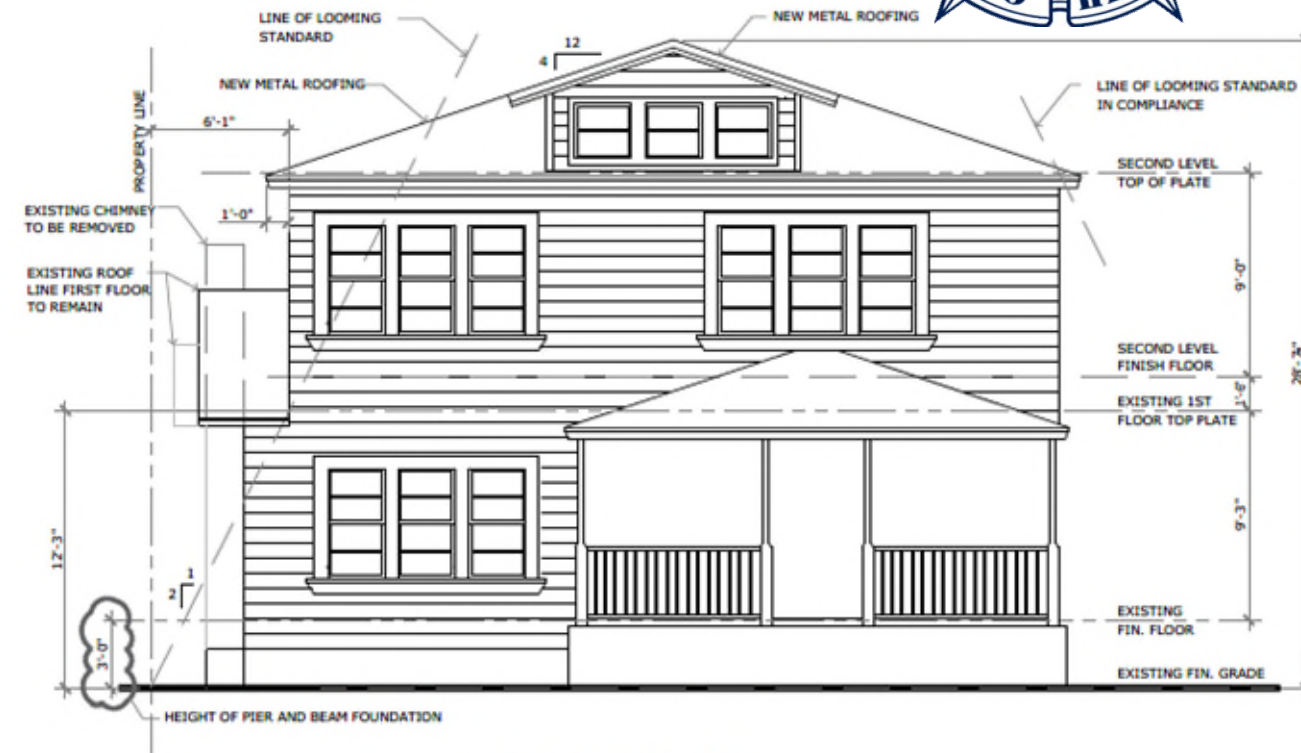


**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

## FRONT ELEVATION

TOTAL FRONT FACE FACADE AREA	739 SQ. FT.
AREA ENCAPSULATED/DEMOLISHED BY ADDITION	224 SQ. FT.
$224 / 739 = 32\%$	



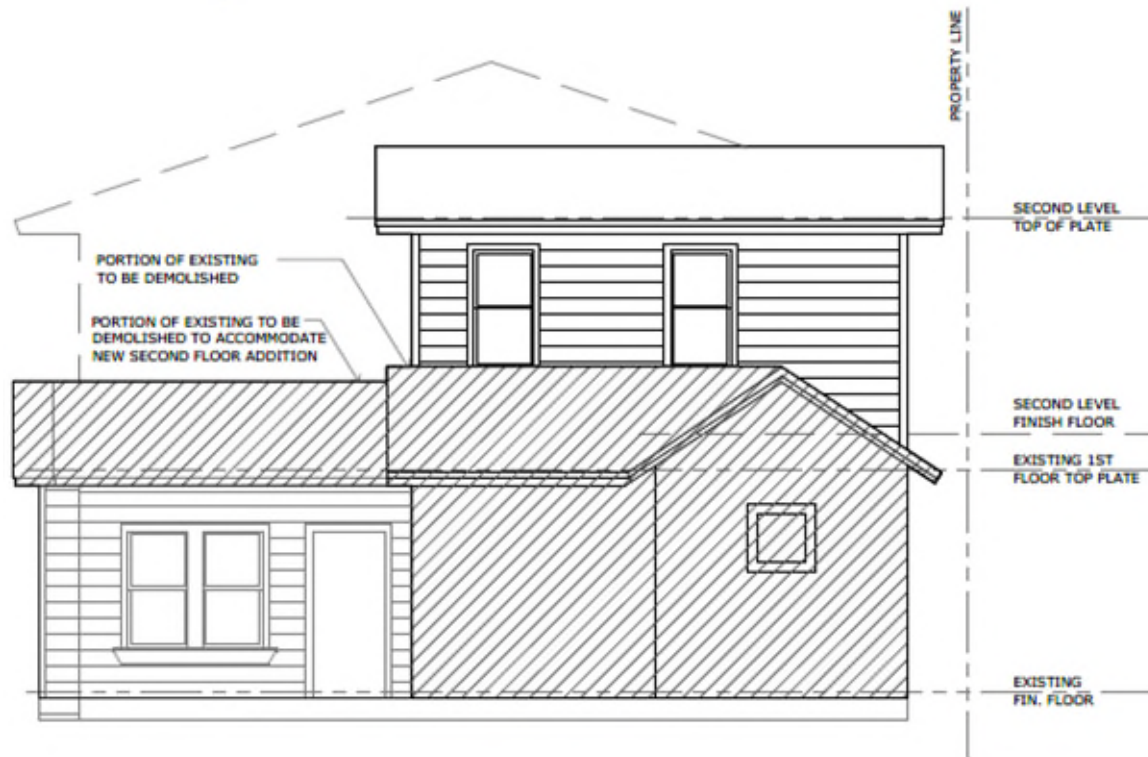
**FRONT ELEVATION**

- Height: 28ft 3 in. (max 30ft allowed)
- Siding: Hardie Board
- Roof: Galvalume Metal Roof





# REAR ELEVATION (NORTH)



**EXISTING BACK ELEVATION**

SCALE: 1/4" = 1'-0"

## BACK ELEVATION

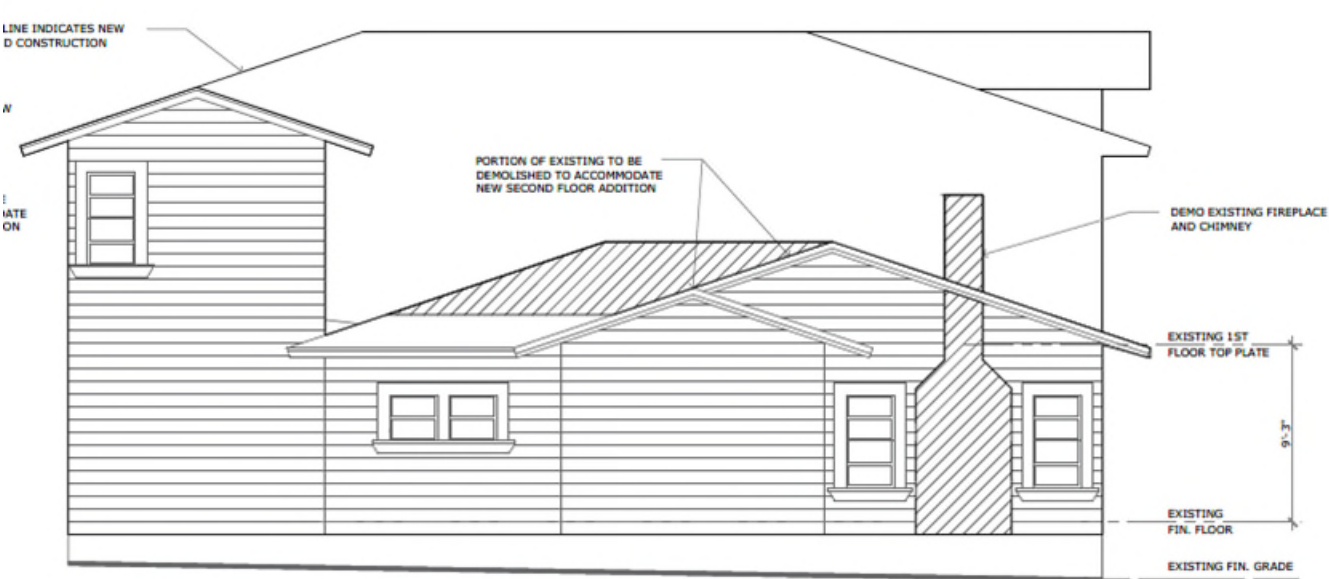
TOTAL BACK FACE FACADE AREA	695 SQ. FT.
AREA ENCAPSULATED/DEMOLISHED BY ADDITION	350 SQ. FT.
350 / 695 = 50%	



**REAR ELEVATION**



# SIDE ELEVATION (WEST)



**EXISTING SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**LEFT SIDE ELEVATION**

TOTAL LEFT SIDE FACE FACADE AREA	862 SQ. FT.
AREA ENCAPSULATED/DEMOLISHED BY ADDITION	103 SQ. FT.
103 / 862 = 12%	

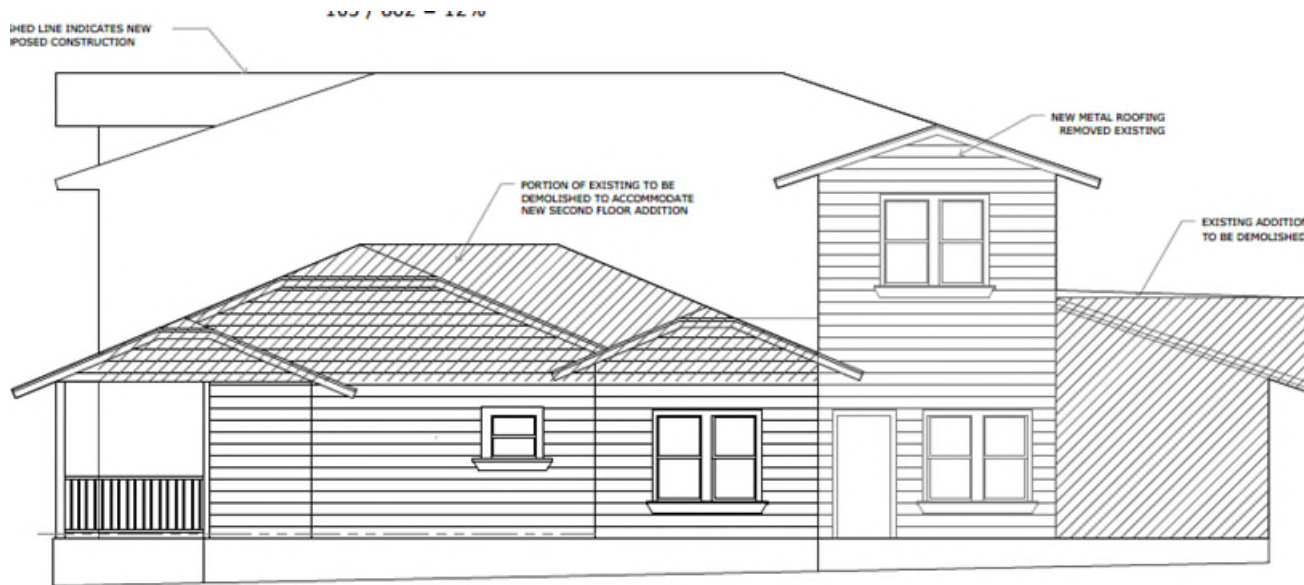


**SIDE ELEVATION**





# SIDE ELEVATION (EAST)

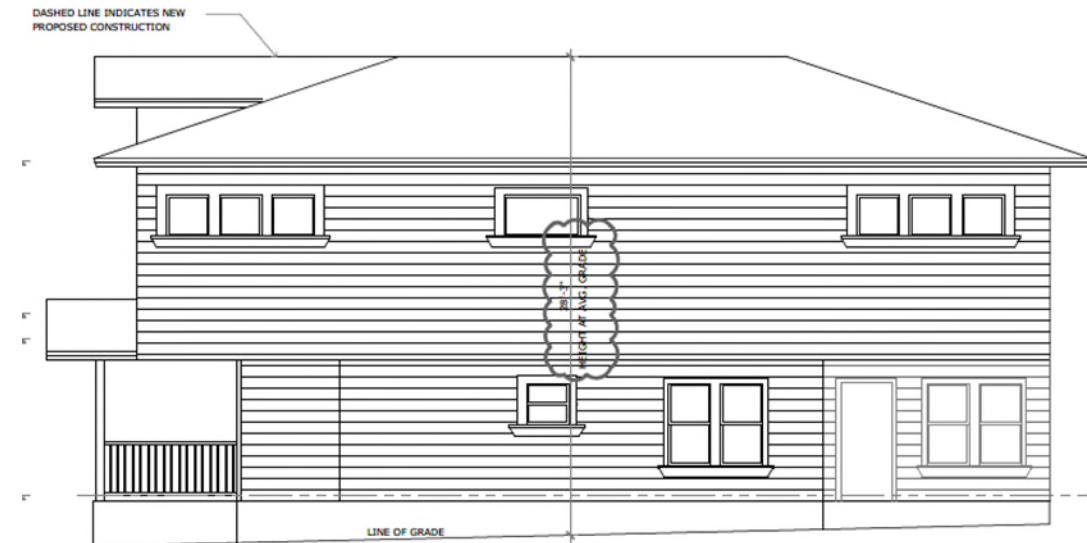


**EXISTING SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

## LEFT SIDE ELEVATION

TOTAL LEFT SIDE FACE FACADE AREA	1066 SQ. FT.
AREA ENCAPSULATED/DEMOLISHED BY ADDITION	398 SQ. FT.
398 / 1066 = 50%	



**SIDE ELEVATION**



# POLICY ANALYSIS

<b>Lot Coverage / Floor Area Ratio</b>	<b>Existing</b>	<b>Proposed</b>
Lot Area	7,500	7,500
Main House 1 <sup>st</sup> Floor*	1,860	1,563
Main House 2 <sup>nd</sup> Floor	255	1,522
Main House – Loft		
Garage/Carport – 1 <sup>st</sup> Floor*	412	412
Garage – 2 <sup>nd</sup> Floor		
Front Porch*	168	168
Side Porch*	48	20
Rear Porch*	192	192
Breezeway*		
Other*		
<b>Total Square Footage</b>	<b>2,935 sq ft</b>	<b>3,877 sq ft</b>
<b>Lot Coverage* (max 40%)</b>	<b>2,680 sq ft / 35.73%</b>	<b>2,355 sq ft / 31.40%</b>
<b>FAR (max .50 with bonus)</b>	<b>2,527 sq ft / .34</b>	<b>3,497 sq ft / .47</b>

## Bonuses Utilized

- +4 – Preservation of main structure
- +2 – One-story garage



# POLICY ANALYSIS

- The project is tentatively scheduled for the February 13, 2023 City Council meeting pending the board's recommendation.





# PUBLIC NOTIFICATION

- Postcards - mailed to property owners within a 200-foot radius
- Notices posted - City website and on property

- Responses received:
- Support: (0)                      Neutral: (0)
- Oppose: (0)

