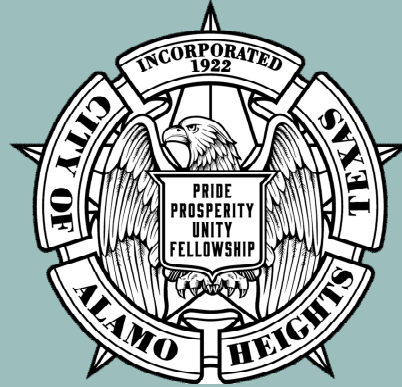


ARCHITECTURAL REVIEW BOARD

CASE NO. 852S & 855F



JULY 20, 2021

**SIGN & EXTERIOR PAINT —
5421 BROADWAY (CITYVET)**

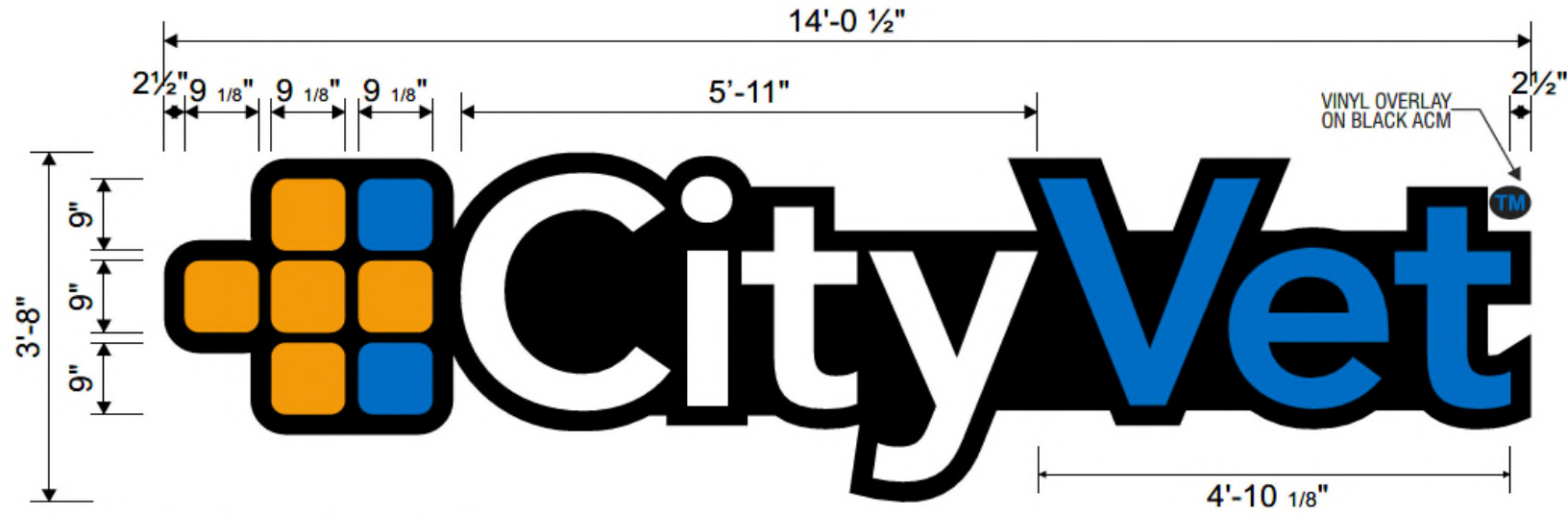
Community Development
Services

PROPERTY



- B-2
- Broadway
 - @ Austin Highway
- New Façade Signs & Exterior Paint

PROPOSED



TRIMLESS CHANNEL LETTERS

Scale: 1/2" = 1'-0"

(1) REQUIRED-MANUFACTURE AND INSTALL

51.5 SQ FT

SCOPE OF WORK:

MANUFACTURE AND INSTALL (1) NEW LED-LIT CHANNEL LETTER SIGN ON BACKGROUND & WIREWAY.

- 1/2" WHITE ACTYLIC FACES WITH ROUTED EDGE FOR RETAINER MOUNTING. EDGE PTM FACE COLOR.
- ORACAL TRANSLUCENT VINYL OVERLAYS.
- 5" RETURNS PTM FACES
- 3mm ACM PRE-FINISHED WHITE LETTERBACKS
- 6500K WHITE 12V LED ILLUMINATION W/ PWR SUPPLIES
- 3 MM BLACK ACM BACKPLATE
- 12"x2" WIREWAY PAINTED BLACK

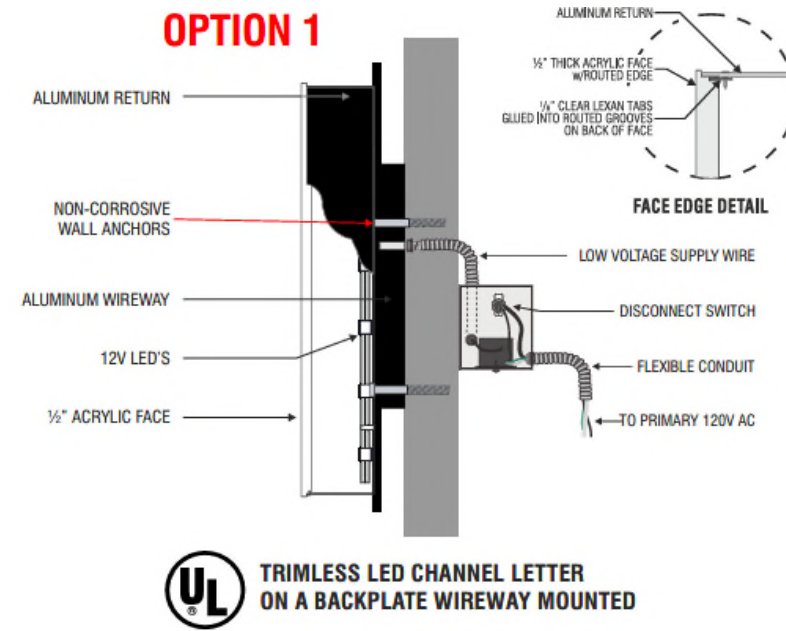
COLOR:

- BLACK
- 3M INTENSE BLUE 3630-127
- 3M KUMQUAT 3630-74
- PANTONE 300 C
- PANTONE 1375 C

EXAMPLE IMAGE:



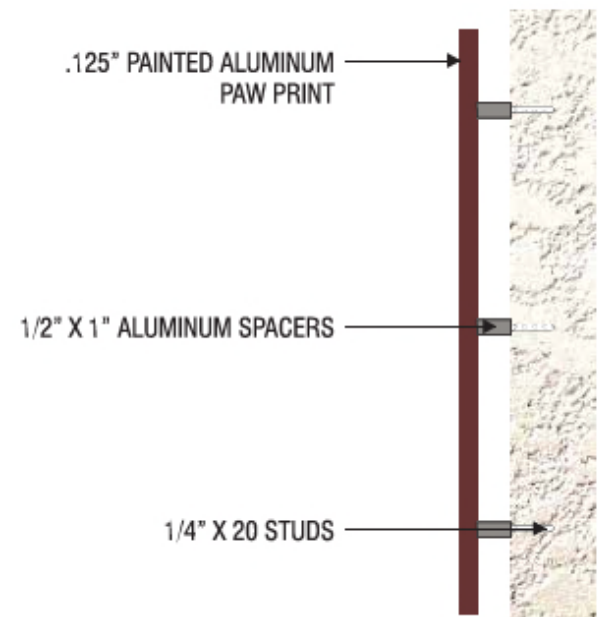
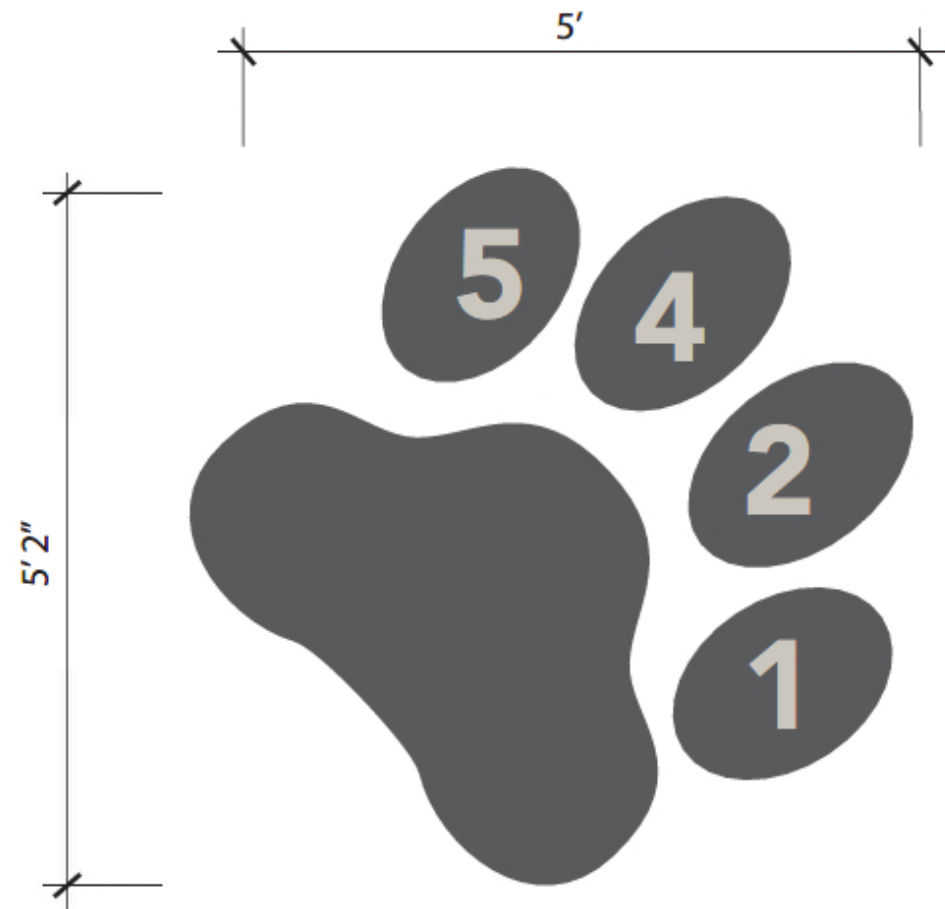
OPTION 1



TRIMLESS LED CHANNEL LETTER
ON A BACKPLATE WIREWAY MOUNTED

PROPOSED

CONFIRM ALL INFORMATION WITH SITE SURVEY PRIOR TO PRODUCTION



STUD MOUNTED FLAT CUT ALUMINUM

B

FLAT CUT ALUMINUM PAW PRINT *STUD MOUNTED 1" OFF WALL*

(1) ONE SET REQUIRED-MANUFACTURE AND INSTALL

SCOPE OF WORK

MANUFACTURE AND INSTALL .125 FLAT CUT ALUMINUM, STUD MOUNTED WITH 1" SPACERS OFF THE WALL.

Scale: 1/2"=1'-0"

49.98 SQ FT

COLORS
■ Medium Gray

PROPOSED – EAST



PROPOSED – NORTH



C TRIMLESS CHANNEL LETTERS

(1) REQUIRED-MANUFACTURE AND INSTALL

SCOPE OF WORK:

MANUFACTURE AND INSTALL (1) NEW LED LIT CHANNEL LETTER SIGN ON WIREWAY PAINTED TO MATCH FASCIA.

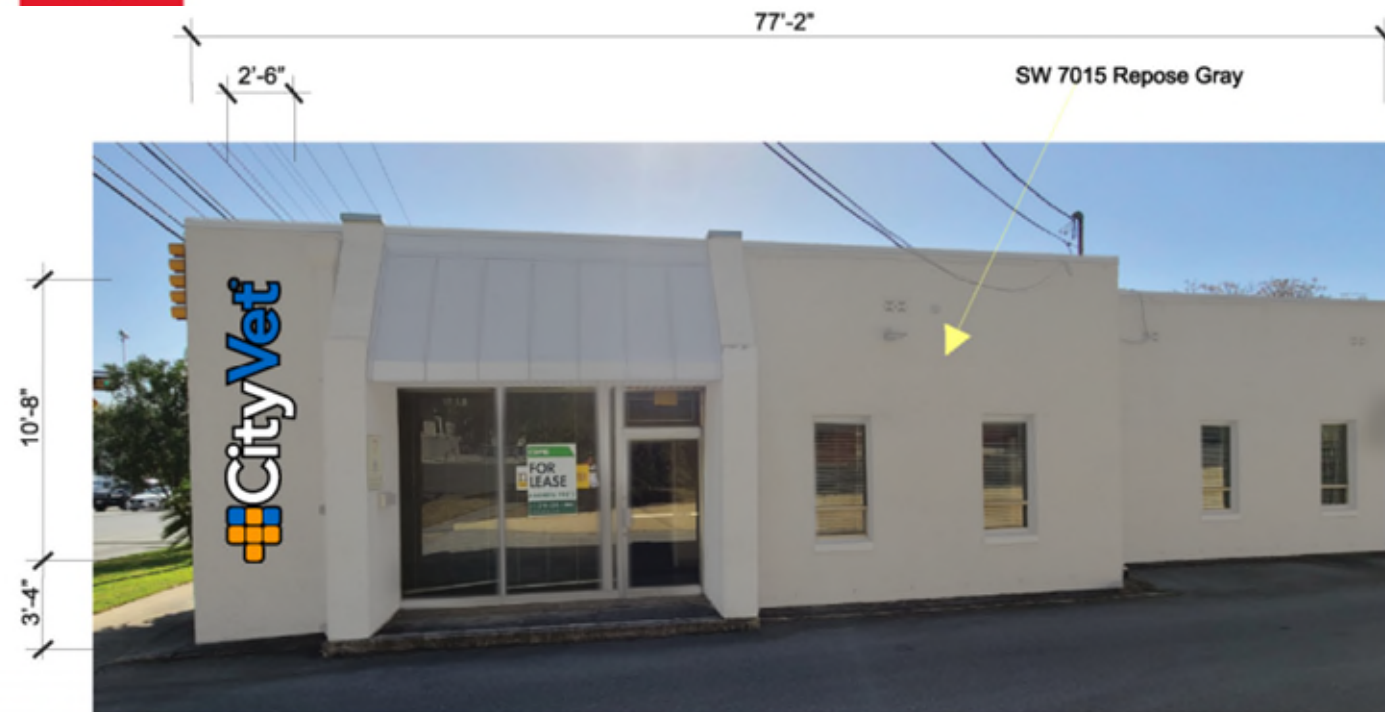
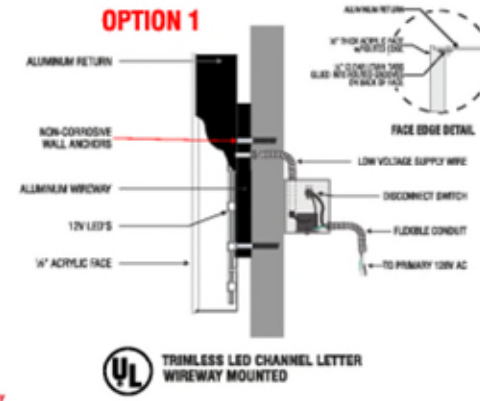
- 1/2" WHITE ACTYLIC FACES WITH ROUTED EDGE FOR RETAINER MOUNTING. EDGE PTM FACE COLOR.
- ORACAL TRANSLUCENT VINYL OVERLAYS.
- 5" RETURNS PTM FACES
- 3mm ACM PRE-FINISHED WHITE LETTERBACKS
- 6500K WHITE 12V LED ILLUMINATION W/ PWR SUPPLIES
- 12"X 2" WIREWAY PAINTED TO MATCH FASCIA (SW JAVA)

COLOR:

- BLACK
- 3M INTENSE BLUE 3630-127
- 3M KUMQUAT 3630-74
- PANTONE 300 C
- PANTONE 1375 C

Scale: 3/4"=1'-0"

26.7 SQ FT



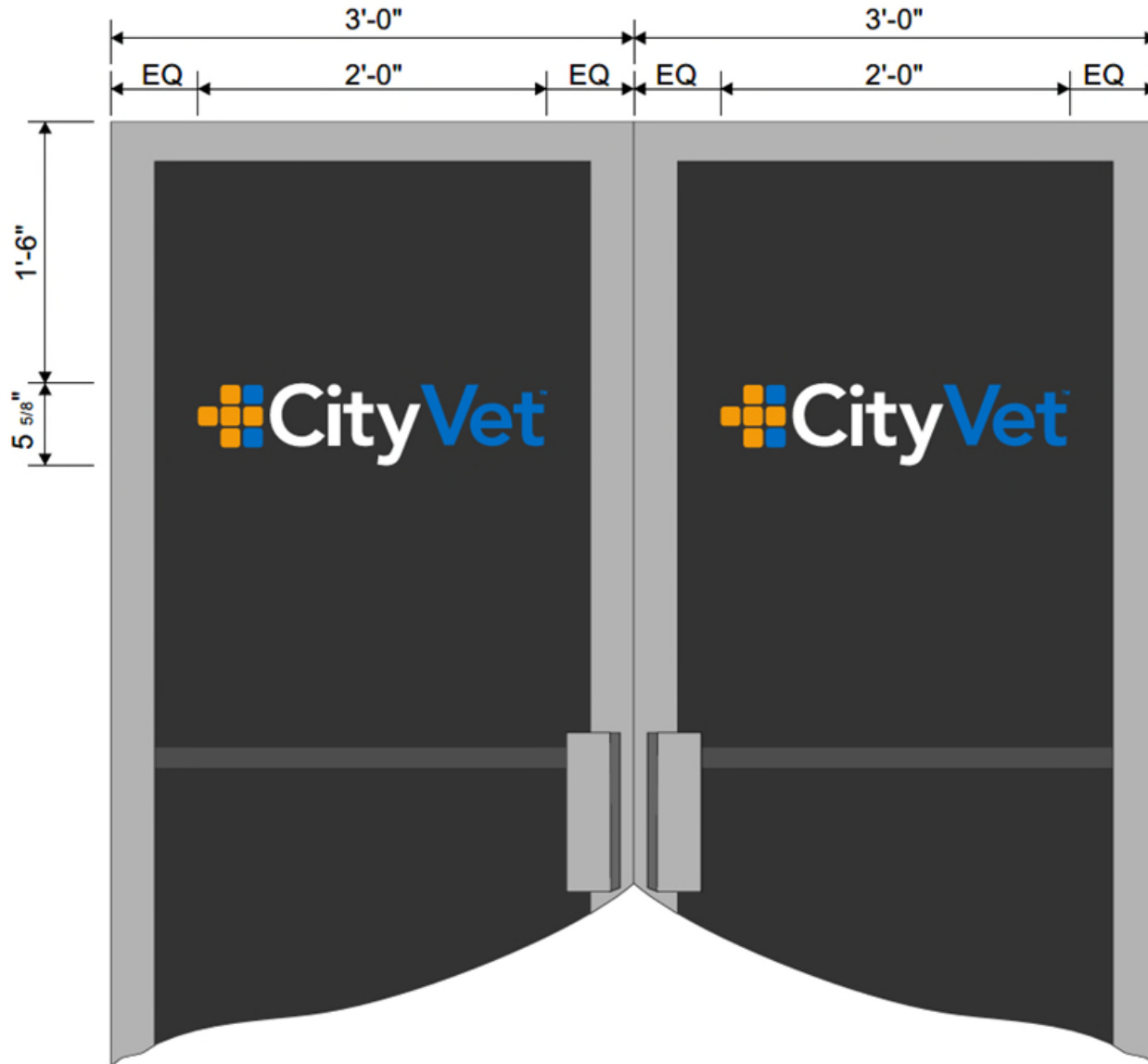
C NORTH ELEVATION

(1) ONE SET REQUIRED-MANUFACTURE AND INSTALL

Scale: 3/16"=1'-0"

26.7 SQ FT

PROPOSED – WEST



DOOR DECALS

Scale: 1" = 1'-0"

(2) REQUIRED-MANUFACTURE AND INSTALL

SCOPE OF WORK:

MANUFACTURE AND INSTALL (2) NEW SET FIRST SURFACE WINDOW GRAPHICS

COLOR:

- WHITE
- 3M INTENSE BLUE 127
- 3M LIGHT ORANGE



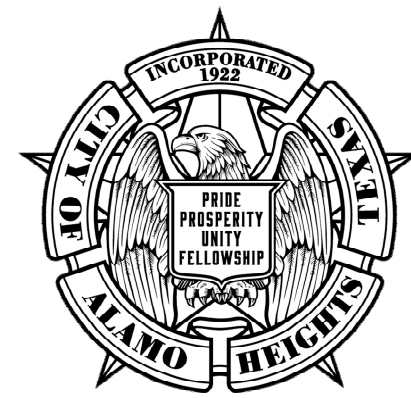
EXISTING CONDITIONS



Colors appear lighter in sunlight

- SW 6993 Black of Night
- SW 7015 Repose Gray



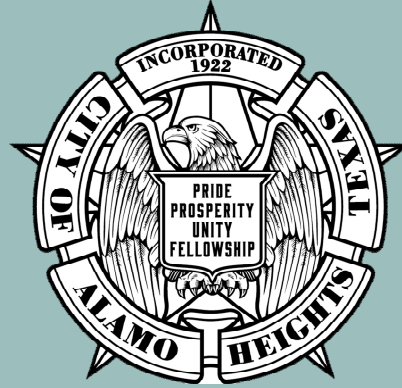


PUBLIC NOTIFICATION

- Postcards - mailed to property owners within a 200-foot radius
- Notices posted - City website and on property
- Responses received:
 - Support: (1) Neutral: (0)
 - Oppose: (0)

ARCHITECTURAL REVIEW BOARD

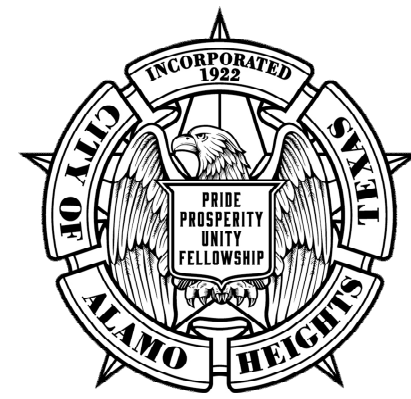
CASE NO. 853F



JULY 20, 2021

COMPATIBILITY — 164 OAKVIEW E

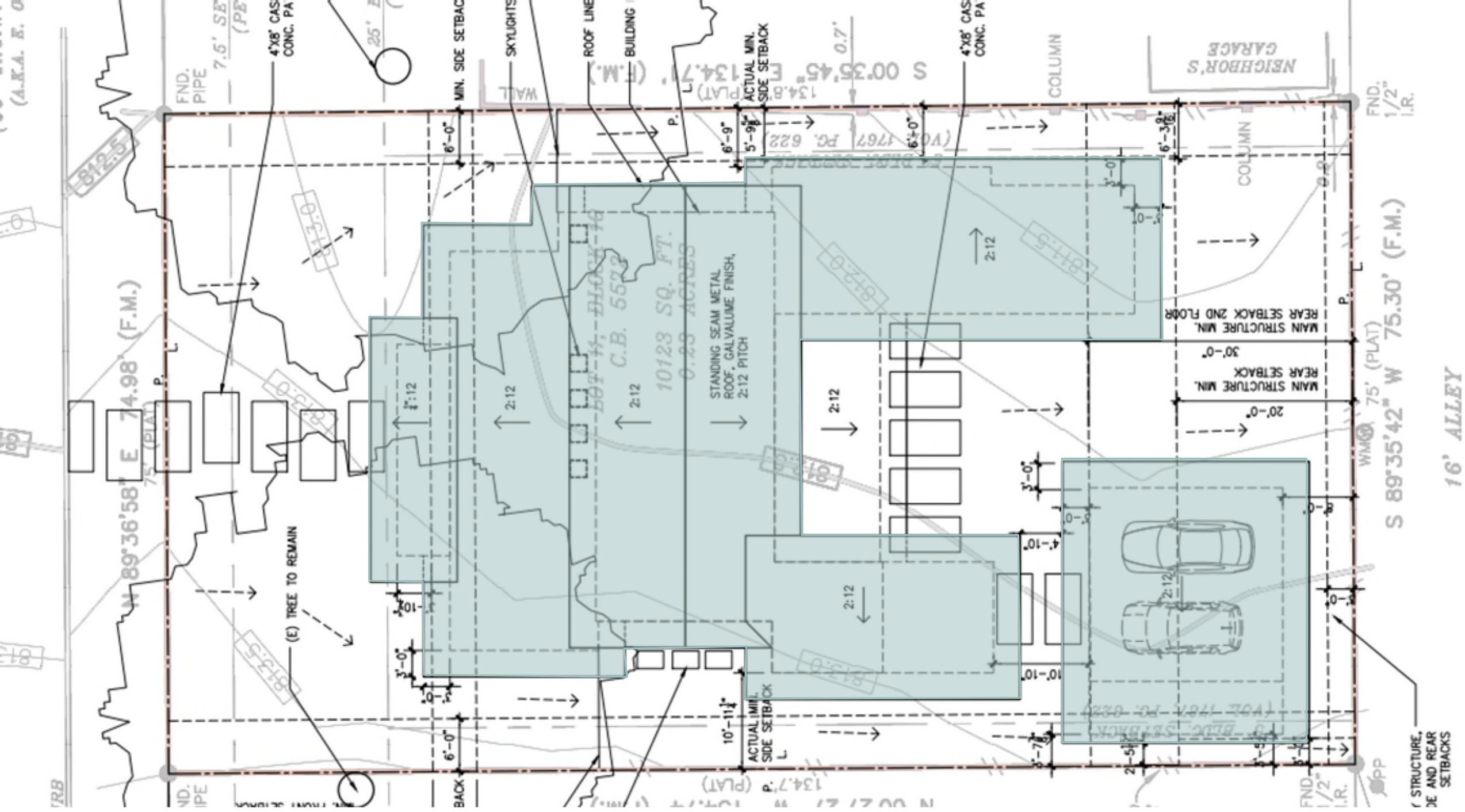
Community Development
Services



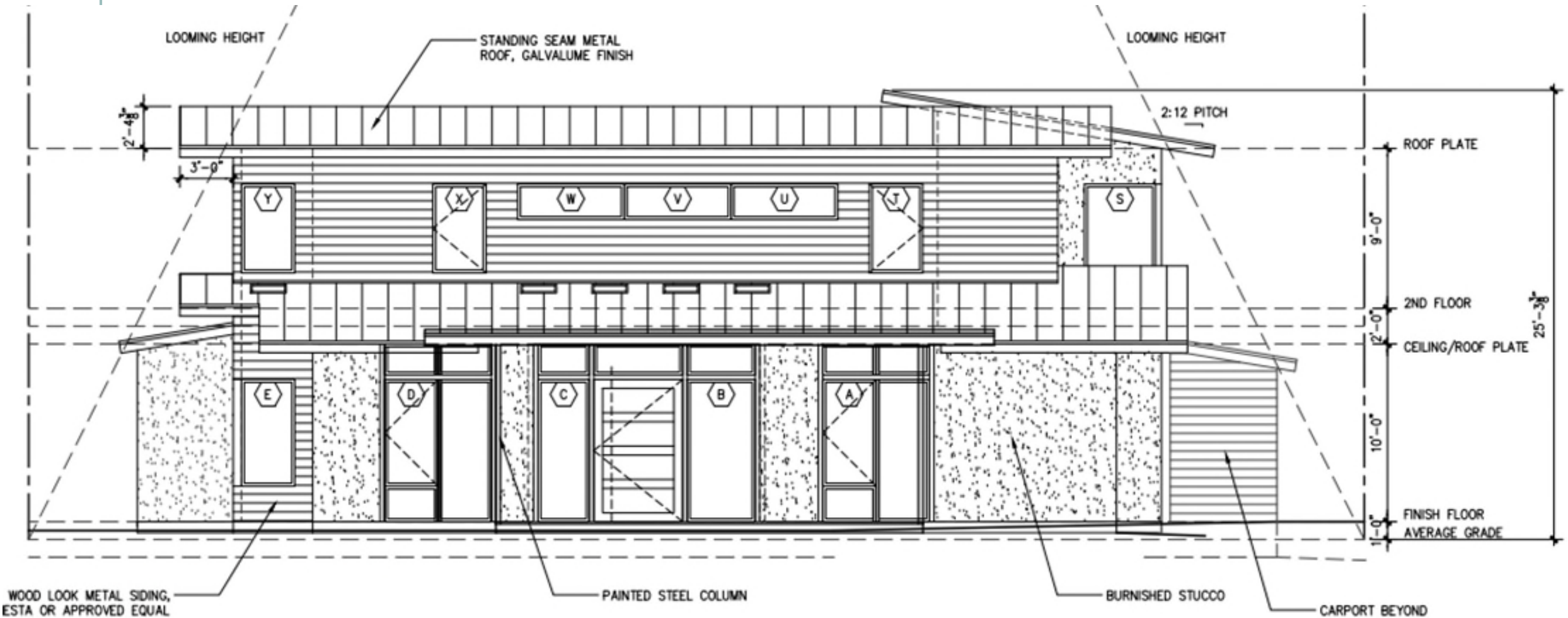
PROPERTY



- SF-A
- Oakview E
 - Broadway
 - Vanderhoven
- New Construction

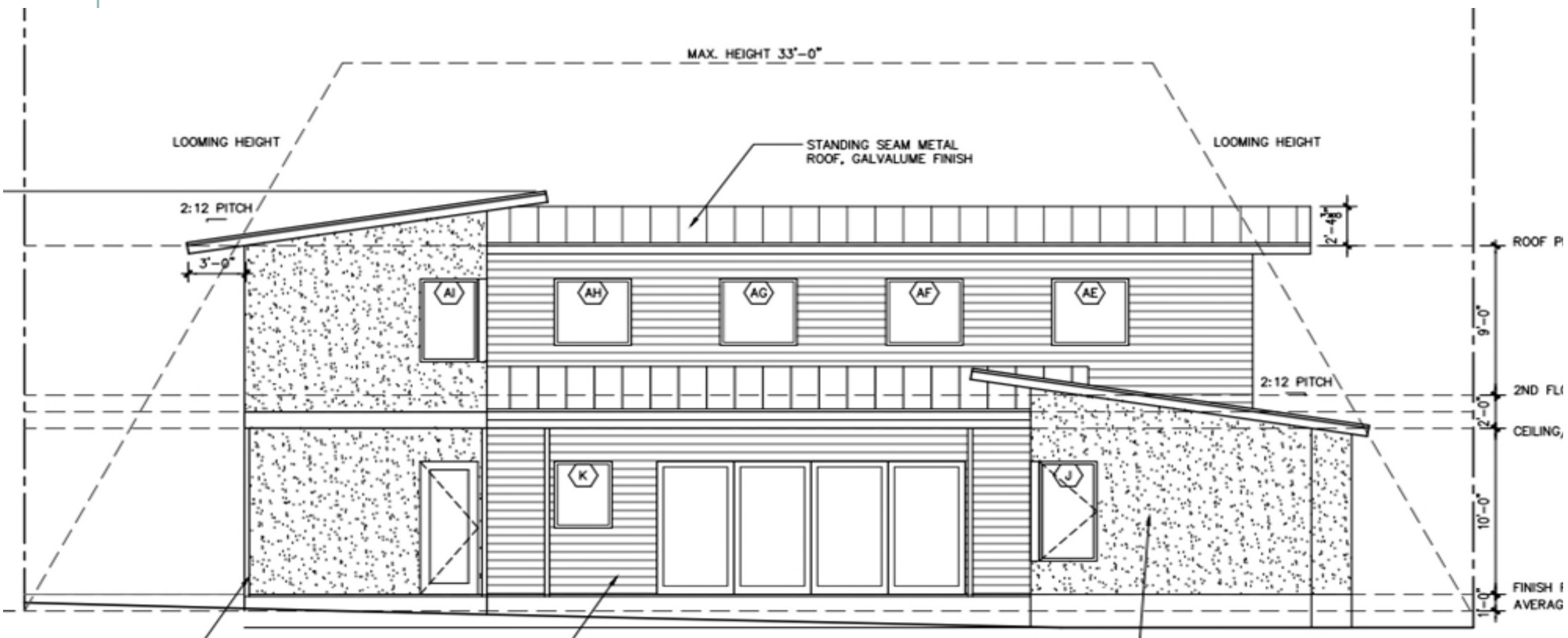


- Proposed height — 25'4"
- Stucco and wood look metal siding
- Standing Seam Metal Roof



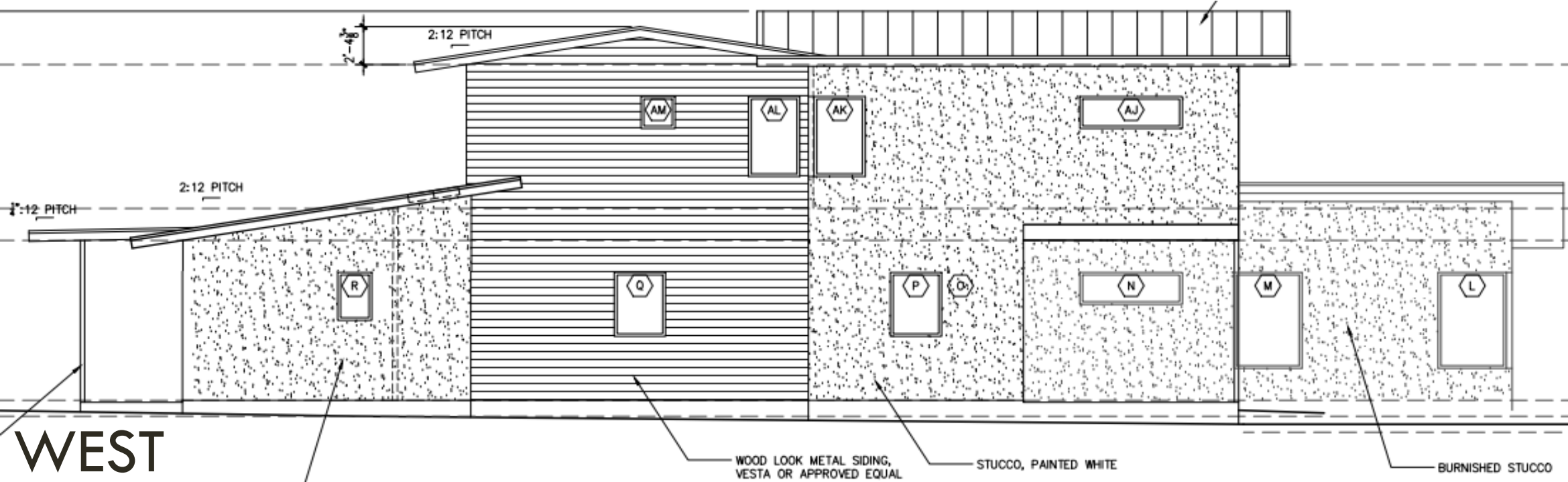
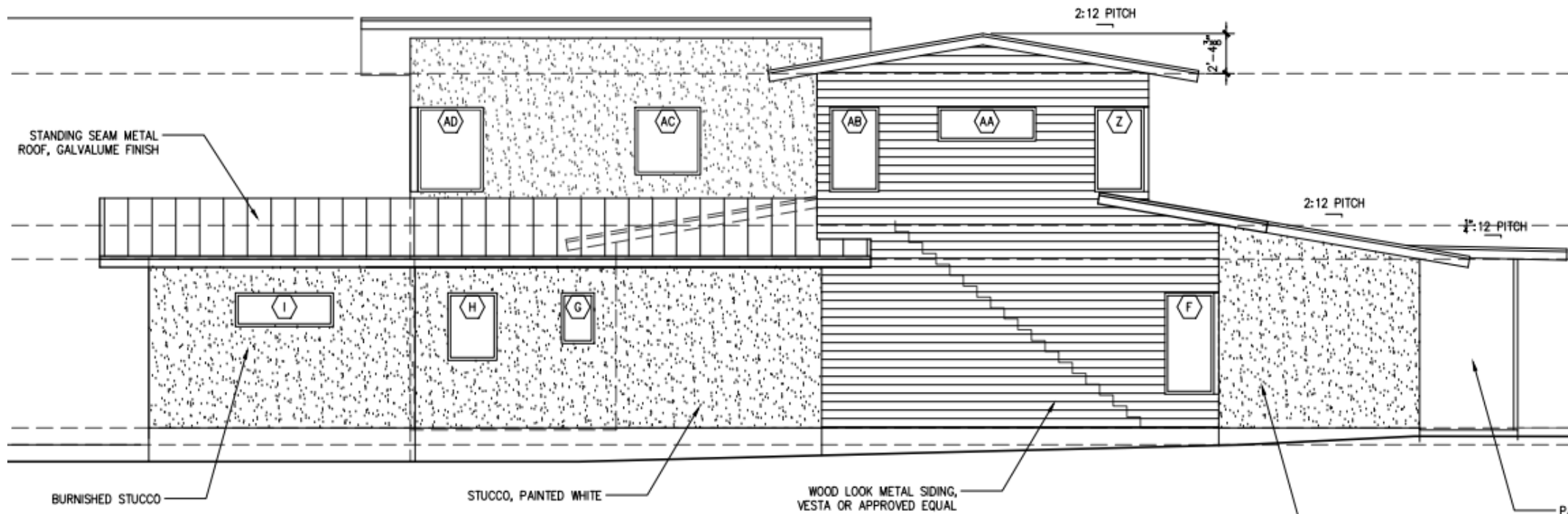
1 PROPOSED NORTH ELEVATION

SCALE: 3/16"=1'-0"

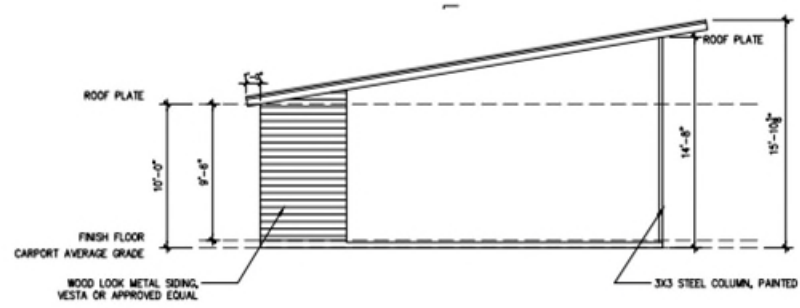


PROPOSED SOUTH ELEVATION

EAST

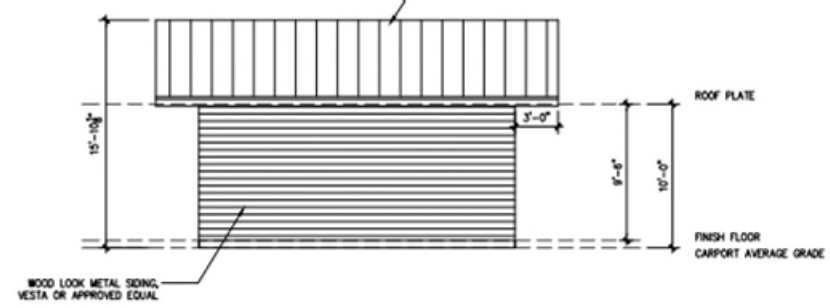


WEST



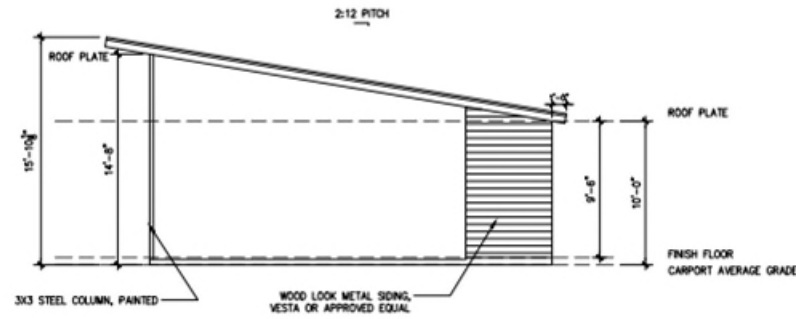
1 SOUTH ELEVATION - CARPORT

SCALE: 3/16"=1'-0"



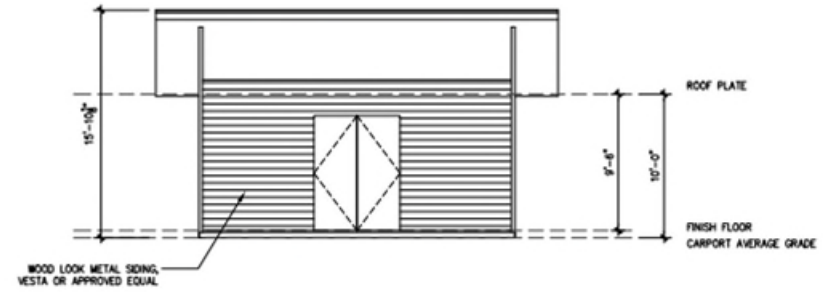
2 WEST ELEVATION - CARPORT

SCALE: 3/16"=1'-0"



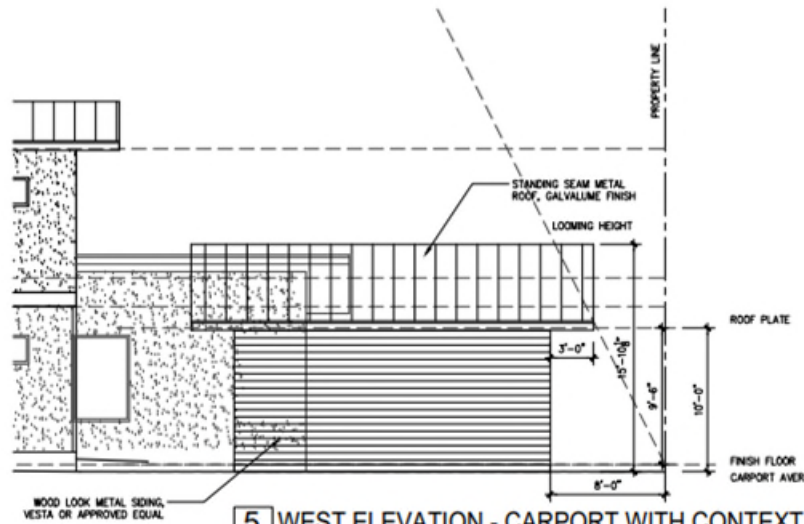
3 NORTH ELEVATION - CARPORT

SCALE: 3/16"=1'-0"



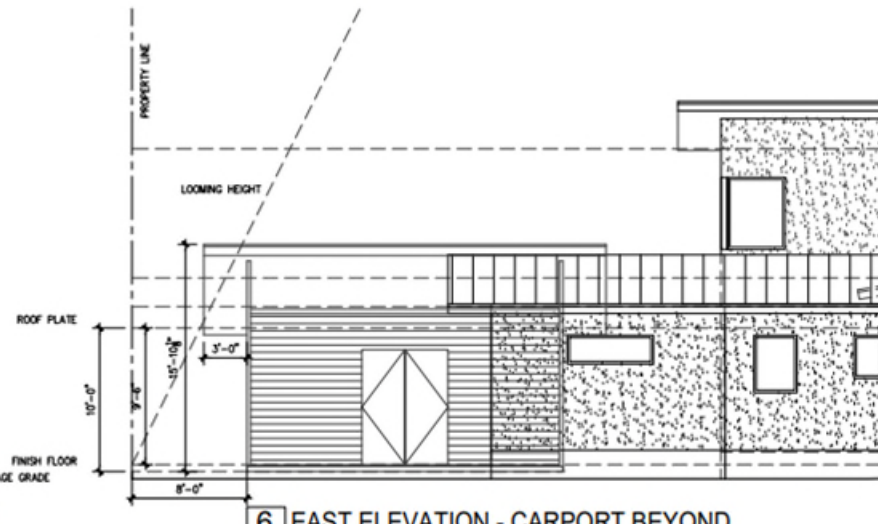
3 EAST ELEVATION - CARPORT

SCALE: 3/16"=1'-0"



5 WEST ELEVATION - CARPORT WITH CONTEXT

SCALE: 3/16"=1'-0"



6 EAST ELEVATION - CARPORT BEYOND

SCALE: 3/16"=1'-0"

POLICY ANALYSIS

Lot Coverage	Existing	Proposed
Lot Area	10,100	10,100
Main House	0	2,521
Front Porch	0	144
Side Porch	0	158
Rear Porch	0	339
Carport Footprint	0	616
Lot Coverage / Lot Area	0	3,778/10,100
Total Lot Coverage	0%	37%

(Max – 40%)

Floor Area Ratio	Existing	Proposed
Lot Area	10,100	10,100
Main 1st Floor	0	2,860
Main 2 nd Floor	0	1,258
Garage 1st Floor	0	616
FAR / Lot Area	0	4,734/10,100
Total FAR	0%	47%*

(Max – 45% or 50% with Bonuses)

* 2% bonus for single story accessory structure

Proposed Streetscape Photographs



180



174



164



160



154



Perspective Renderings



Front 1



Front 2

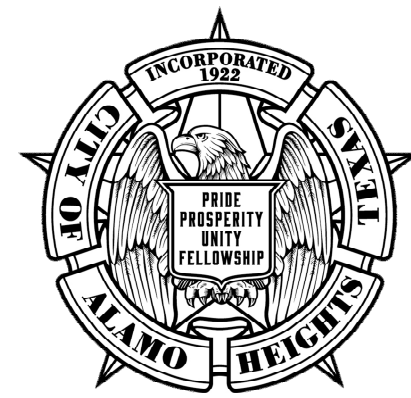


Rear 1



Rear 2





PUBLIC NOTIFICATION

- Postcards - mailed to property owners within a 200-foot radius
- Notices posted - City website and on property
- Responses received:
 - Support: (0) Neutral: (0)
 - Oppose: (4)

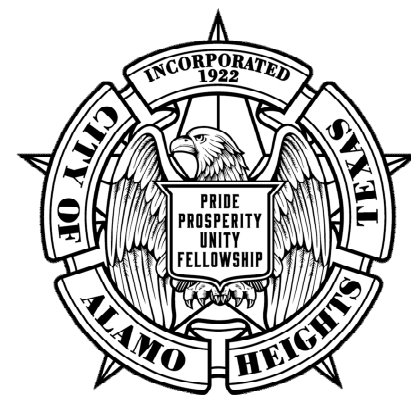
ARCHITECTURAL REVIEW BOARD



JULY 20, 2021

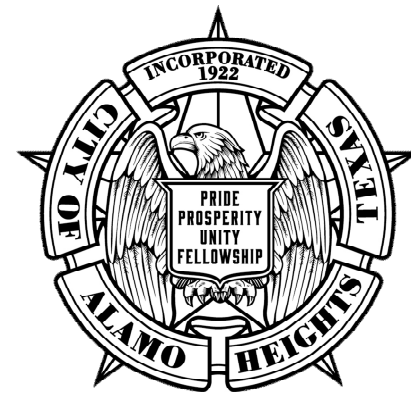
STAFF REPORT — RDS UPDATES

Community Development
Services



BACKGROUND

- 2006 – City's 1st set of design standards
- January 2012 – Standards Updated
- January 2021 – Council Member Jessee requests review and update of standards



PROCESS

- RDS Committee
 - Five (5) Members
 - Architectural Review Board representative – John Gaines
 - Board of Adjustment representative – David Rose
 - Planning & Zoning Commission representative – Al Honigblum
 - Community volunteers – John Grable & Mac White, architects

APRIL

MON	TUE	WED	THU	FRI	SAT	SUN
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

MAY

MON	TUE	WED	THU	FRI	SAT	SUN
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

JUNE

MON	TUE	WED	THU	FRI	SAT	SUN
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				

JULY

MON	TUE	WED	THU	FRI	SAT	SUN
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

AUGUST

MON	TUE	WED	THU	FRI	SAT	SUN
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

- Kick Off Meeting –April 7th
- Committee Workshops
 - April 21st
 - May 5th
 - May 19th
 - June 16th
- BOA Review – July 7th
- ARB Review – July 20th
- P&Z Review – August 2nd
- City Council Reviews – September 13th

SIDE YARD SETBACK & ARTICULATION

- Section 3-15 Side Yard Setbacks and Side Articulation:
 - “No building, structure or use shall here after so as to have a smaller side yard on each side of a building, **as measured from the edge of the foundation (to include masonry sling)** than hereinafter specified...”
 - “Main structure articulation: The maximum exterior side wall plane width **of a structure located on a corner lot** without a minimum of a two(2) foot by ten(10) foot offset is thirty(30) feet or a combination of one(1) of the following architectural or utilitarian features every thirty(30) to break up the monotony of the **street-facing** façade:...”
 - 7. **Pilasters Recessed windows**

SPECIAL REGULATIONS

- Section 3-82(3)(a) Special side yard regulations
 - *“Every part of a required side yard for main structures shall be open and unobstructed except...and other architectural features projecting not to exceed four (4) feet into the required side yard but not less than ~~four (4)~~ five (5) feet from the property line.”*

BUILDING HEIGHT

- Section 3-2 Definitions:
 - “...height is defined as the measurement from the average of the highest and lowest existing ground elevation points around **each** structure’s entire foundation.”
- Section 3-19 Height:
 - “No building or structure shall be erected...to exceed the maximum heights **measured from average grade for a lot that slopes less than 10% or from actual grade for a lot that slopes 10% or more, not finished floor,...**”
 - **“Exception: The height looming standard shall not apply to an accessory structure when adjacent to public rights-of-way.”**

BUILDING HEIGHT (CONTINUED)

- Section 3-19 Height:
 - “No building or structure shall be erected...to exceed the maximum heights **measured from average grade for a lot that slopes less than 10% or from actual grade for a lot that slopes 10% or more, not finished floor,...**”
- Section 3-19(2)(4) Height looming standard for a main structure:
 - **“(4) The height looming standard shall not apply to a main structure when adjacent to public rights-of-way.”**
- Section 3-19(5)(a) Height looming standard for an accessory structure:
 - “Except for the first ~~ten(10)~~ **eleven(11)** feet of wall plate, the maximum side and rear wall plates of an accessory structure shall not exceed twice the width of the side setback in height **measured from average or actual grade based on the slope of the lot, not finished floor** (height looming standard).”

DORMERS

- Section 3-20 ~~Dormers~~ **RESERVED**
 - ~~The minimum inset for dormers in all structures in the SF-A and SF-B Districts, as measured from the exterior wall face of the story below, shall be five(5) feet. The slope of the roof area covered by dormers shall not exceed forty(40) percent of the roof of the main structure of fifty(50) percent of the roof of accessory structures.~~

REQUIRED OFF-STREET PARKING

- Section 3-21 *Driveway Specifications:*
 - Exceptions:
 - 1) For lots greater than sixty-five(65) feet in width, garages may be attached to the mains structure provided they are located ~~towards the rear, beyond the midpoint of the main structure, and~~ **behind the front façade of the main structure and** no closer than fifty(50) feet from the front yard property line, ~~and accessed from the side to prevent the garage doors facing the street."~~

BUILDING CODE

- Section 5-116: ~~RESERVED~~ Utilities during construction
 - “In the event construction is to be performed on a vacant residence or to an extent that requires the occupants to move out during construction, the gas meter will be locked out and the electric meter removed by City Public Service (utility provider). A temporary electric meter is to be set and used for construction purposes.”
- Section 5-138(b)(2) Responsibility of the owner:
 - “All utilities shall be disconnected and the sewer line shall be ~~effectively plugged with concrete or as may be required by the director, at or near~~ **at** the property line **and a clean out installed extending no more than six inches above grade or as required by the director.**”