



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
Tuesday, October 18, 2016 – 5:30 P.M.
6116 Broadway St – City Council Chambers

Case No. 651 F – 265 Edgewood E

Request of Justin Johnson, Veryan Inc, owner, for the significance review of the existing main structure and compatibility review of the proposed replacement structure located at 265 Edgewood E under Demolition Review Ordinance No. 1860 (April 12, 2010) in order to demolish 100% of the existing main structure and construct a new single family residence.

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB's recommendation for all demolition/final design review applications. Any recommendation will be forwarded to the City Council for final review. Please check the ARB posted results on the City's website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online* (<http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/>), at the Community Development Services Department (6116 Broadway St), or you may contact Lety Hernandez (lhernandez@alamoheightstx.gov), Eli J Briseno (ebriseno@alamoheightstx.gov), Jason B Lutz (jlutz@alamoheightstx.gov), or our office at (210) 826-0516 for additional information.

****Plans will not be available online for all case types and floor plans will not be available online.****

Justin and Leah Johnson
7303 Blanco Road
San Antonio, TX 78216

September 21, 2016

Architectural Review Board
City of Alamo Heights
6116 Broadway
San Antonio, TX 78209

Dear Board Members:

Subject: 265 E. Edgewood Place

Thank you for your review and consideration of this Demolition Review for 265 E. Edgewood Place.

Before detailing the updates we wish to make to our home, we would like to introduce ourselves as new members of the Alamo Heights community. We were married in San Antonio in 2007 and now have two daughters, Ava Grace (7) and Harper Lee (3). We were both born and raised in San Antonio and we both love everything that makes the San Antonio area special. We are looking forward to exploring our new Alamo Heights community with Ava and Harper, as well as getting to know neighbors and new friends.

After seeing 265 E. Edgewood for the first time, we immediately saw the potential to expand the current 1008 square foot one-story home to a larger home that would be able to accommodate our family, while maintaining a traditional exterior façade found throughout the Alamo Heights area. Our intention with this renovation & addition is to maintain the original architectural style as much as possible. We have detailed the scope of work for this project below.

- Foundation: The pier and beam foundation will be repaired where needed, and added to to support the updated structure. Cedar piers will be replaced with concrete piers.
- 1st floor addition: The plans include the addition of 999 square feet to the existing footprint. This addition will allow us to provide necessary space & functional updates to the home. The planned footprint addition will attempt to maintain the traditional feel and look of the home.
- Roof demolition & ceiling height: In preparation for the addition of a second story, we plan to remove the entire existing roof. We will increase the height of the first floor ceilings from eight (8) feet to nine (10) feet.
- 2nd floor addition: We plan to add a second floor of 818 square feet, which will include two bedrooms, a bathroom, and a flex/play room for our daughters. The second floor ceiling height will be nine (9) feet.
- Roof materials & height: The current shingle roof will be upgraded to a standing seam metal roof. The existing roof reaches a height of 17' from average grade. The new roof with the second floor addition will reach a height of 25' from existing average grade.
- Exterior updates: Planned window replacements will include new energy efficient double-pane windows. The existing siding will be replaced with Hardie Board Lap Siding to maintain the traditional exterior of the home.
- Utility upgrades: All new electrical wiring and PEX plumbing lines will be installed, ensuring the house meets current code standards. New spray foam insulation will be added to ensure energy efficiency.

Thank you, again, for your review & attention to this application.

Sincerely,



Justin and Leah Johnson



JOHNSON RESIDENCE

265 E. EDGEWOOD
San Antonio, Texas 78209

Proposed new traditional two story addition to expand the existing one story residence. Existing two car garage to remain but, with approach adjusting to front entry from street.



To be removed
down to existing
foundation

14'-0"

16'-0"

Finish Floor

Average Grade

Foundation remain

Existing Front Elevation (South)

EXISTING STRUCTURE

265 E EDGEWOOD - JOHNSON RESIDENCE



Existing South



Existing East



Existing North



Existing West

LOT COVERAGE AND FAR CALCULATION WORKSHEET

265 E EDGEWOOD - JOHNSON RESIDENCE

Property Address: 265 E. Edgewood Place	Architecture Type: Ranch
Original Architect:	Year Built:

Lot Coverage*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Lot area	9116		9116	
Main house footprint	1001		2007	
Front porch	53		173	
Side porch 1				
Side porch 2				
Rear porch			180	
Garage footprint	850		850	
Carport footprint				
Shed footprint				
Breezeways				
Covered patio structure				
Other accessory structures				
Total (total lot coverage/lot area):	1904/9116		3210/9116	
Total Lot Coverage:	.208		.35	
Floor Area Ratio (FAR)**	Applicant	Staff	Applicant	Staff
Lot area	9116		9116	
Main house: 1st floor	1001		2007	
Main house: 2nd floor			820	
Garage: 1st floor	850		850	
Garage: 2nd floor				
Other structures (unless exempted - see below)				
Total (total FAR/lot area):	1851/9116		3677/9116	
Total FAR:	.20		.40	
Height of Main Structure:	16'		25'-5"	

IMPERVIOUS SURFACE CALCULATION WORKSHEET

265 E EDGEWOOD - JOHNSON RESIDENCE

Property Address: 265 E. Edgewood Place

Total Impervious Cover Sq. Ft. for Stormwater Development Fee*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Footprint of all structures	1,851		2,968	
Driveway/Parking Pad	506		1,155	
Walkways	290		110	
Swimming Pool/Spa	-		-	
Other impervious cover: _____				
Total impervious surface cover (in this project):	2,647		4,233	
Total impervious surface cover <i>removed/existing</i> (in this project):				
Total impervious surface cover sq. ft. (proposed minus removed = net figure for this project)*				
Stormwater Development Fee*				

Impervious Surface Cover within front yard setback**	Applicant	Staff	Applicant	Staff
Front yard setback area	2267		2267	A
Footprint of any structure(s)			131	
Driveway/Parking Pad			300	
Walkways	110		110	
Other impervious cover: _____				
Impervious surface cover within front yard setback in this project	110		531	B
Impervious surface cover <i>removed/existing</i> within front yard setback in this project			110	
Impervious surface cover net proposed sq. ft. within front yard setback			421	
Impervious surface cover proposed within front yard setback			B / A	B / A
Maximum 30% allowed for SF-A and SF-B Districts			.23	

JOHNSON RESIDENCE

265 E.EDGEWOOD
San Antonio, Texas 78209

GENERAL CONSTRUCTION NOTES



HELOTES, TX
210.317.9837

Contractor Notes:
Working drawings shall not be scaled. Before proceeding with any work or ordering materials, the contractor and/or subcontractor shall verify all notes and measurements. Contractor shall report any discrepancies in or omissions from the working drawings. Details and drawings are builders' type and the designer of this set of plans hereby notifies both the owner and contractor that he, the "designer" relieves himself of liabilities to said working drawings. It is the responsibility of the general contractor to insure that the construction of this project meets all local structural codes.

REVISIONS:

JOHNSON RESIDENCE

265 E. EDGEWOOD
SAN ANTONIO, TX 78209

Issue Date:
9/26/2016

Drawn By:
NV

Plan Number:

Sheet Number:

1. CONTRACTOR SHALL MODIFY, REMOVE AND/OR RELOCATE ALL MATERIALS AND ITEMS INDICATED ON THE DRAWINGS OR REQUIRED BY THE INSTALLATION OF NEW FACILITIES.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR EVALUATING ALL EXISTING SITE CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, WATER, AND ELECTRICITY FOR ALL PROJECT FUNCTIONS/ USES.

3. EXTENT OF WORK: THE INFORMATION INCLUDED ON THESE DRAWINGS DEFINES THE THE EXTENT OF WORK FOR THIS PROJECT. OTHER INCIDENTAL WORK MAY BE REQUIRED TO EXECUTE THE PROJECT THAT IS NOT SHOWN ON THE DRAWINGS (I.E., WORK ON SITE, AN ELECTRICAL PANEL BOARD THAT SUPPORTS THE PROJECT, WORK ASSOCIATED WITHIN THE BUILDINGS MECHANICAL SYSTEM, CONNECTION OF BUILDINGS, AUDIO AND VISUAL ALARMS TO BUILDING ALARM PANEL, SMOKE ALARM SYSTEM

4. COORDINATION: EXTENSIVE DETAILS AND SPECIFICATIONS ARE NOT PROVIDED FOR ALL ITEMS OF WORK. CONTRACTOR SHALL COORDINATE WITH OWNER/BUILDING MANAGER ANY ITEMS REQUIRING ADDITIONAL CLARIFICATION. SUCH ITEMS INCLUDED FINISHES, DOORS/HARDWARE, CABINETS, SHELVES, PLUMBING FIXTURES, ELECTRICAL CIRCUITING, MECHANICAL EQUIPMENT, MECHANICAL DUCTWORK AND OTHER MECHANICAL AND SECURITY DEVICES. SHOP DRAWINGS SHALL BE SUBMITTED TO THE CONTRACTOR IN A TIMELY MANNER AND ALLOW FOR A MINIMUM OF TWO WEEKS REVIEW FOR SPECIFIED ITEMS AND FOUR WEEKS FOR ALTERNATE ITEMS OR ITEMS FOR THE CONTRACTOR'S CONSULTANTS' REVIEW.

5. PROTECTION: CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS AND ADJACENT PROPERTY THAT IS TO REMAIN.

6. CLEANUP: SITE AND WORK AREA SHALL BE KEPT CLEAR OF ALL DEBRIS AND TRASH AT ALL TIMES. DO NOT ALLOW DEBRIS TO ACCUMULATE. CLEAN UP SHALL BE DONE DAILY.

7. SECURITY: CONTRACTOR IS RESPONSIBLE FOR SECURING THE BUILDING AGAINST INTRUSION AND ELEMENTS DURING THE DURATION OF CONSTRUCTION.

8. CODES: THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2015 IRC AND 2009 ENERGY CODES. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THESE AND LOCAL CODES AND REGULATIONS.

9. BUILDING STANDARDS: UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL PRODUCTS, MATERIALS, DEVICES, FIXTURES AND EQUIPMENT SHOWN TO BE PROVIDED AS PART OF THIS PROJECT SHALL BE NEW. ALL WORK SHALL COMPLY WITH INDUSTRY STANDARD SPECS. OR MANUFACTURER'S SPECS. FOR INDIVIDUAL ITEMS, WHICH EVER IS MORE STRINGENT.

10. MATERIAL CONFORMANCE: ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT THE CONTRACTOR SHALL REPLACE OR REPAIR ANY WORK OR MATERIAL FOUND TO BE DEFECTIVE.

11. DEMOLITION: ALL DEMOLITION THAT TAKES PLACE MUST ACCOMMODATE THE NEW WORK DESIGN LAYOUT. CONTRACTOR TO VERIFY, PRIOR TO BEGINNING WORK, ANY ADDITIONAL DEMOLITION THAT MAY BE REQUIRED TO CONSTRUCT THIS NEW LAYOUT.

12. DIMENSIONS: UNLESS OTHERWISE NOTED, FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS, FRAMING, MASONRY, CONCRETE WALL PANELS OR FOUNDATION WALLS. THE CONTRACTOR SHALL LAY OUT ALL NEW CONSTRUCTION TO COORDINATE THESE DRAWINGS WITH ACTUAL CONDITIONS. PLUS AND MINUS (+/-) DIMENSIONS ARE PROVIDED WHERE CONSTRUCTION TOLERANCE OF LESS THAN 2 INCHES IS ALLOWED. IF ACTUAL JOBSITE DIMENSION IS 2 INCHES GREATER OR 2 INCHES LESS THAN DIMENSION SHOWN ON PLANS, CONSULT ARCHITECT PRIOR TO INSTALLATION OF NEW WALLS. DO NOT SCALE THESE DRAWINGS WITHOUT REFERRING TO THE DIMENSIONS. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.

13. FRAMING AND GYP BOARD WALLS: PROVIDE NON-COMBUSTIBLE WOOD BLOCKING AT ALL SCHEDULED WALL SHELVING, UPPER AND LOWER CABINETS AND OTHER ITEMS INDICATED TO BE WALL MOUNTED. WOOD BLOCKING AND FURRING INSTALLED ON THIS PROJECT DOES NOT NEED TO BE NON-COMBUSTIBLE.

14. CONTROL JOINTS: CONTROL JOINTS SHALL BE PROVIDED IN GYPSUM BOARD SURFACES WHERE ANY OF THE FOLLOWING CONDITIONS EXIST:
A) A WALL, PARTITION, OR CEILING TRAVERSES A CONSTRUCTION JOINT (EXPANSION, SEISMIC, OR BUILDING CONTROL ELEMENT) IN THE BASE BUILDING STRUCTURE.
B) WHERE A WALL OR PARTITION RUNS IN AN UNINTERRUPTED STRAIGHT PLANE EXCEEDING 30' LINEAL FEET.
NOTE THAT A FULL HEIGHT DOORFRAME MAY BE CONSIDERED A CONTROL JOINT. CONTROL JOINTS SHALL BE EQUALLY SPACED ALONG LENGTHS EXCEEDING 30 FEET, AND SHALL BE LOCATED AT DOOR JAMBS WHERE PRACTICAL.
C) AT CEILINGS, INSTALL CONTROL JOINTS IN AREAS EXCEEDING 2500 SQ. FT. SPACE CONTROL JOINTS NOT MORE THAN 50 FEET O.C. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.

15. CABINETS AND CASEWORK: ALL CABINET LAYOUTS SHALL BE OWNER PROVIDED

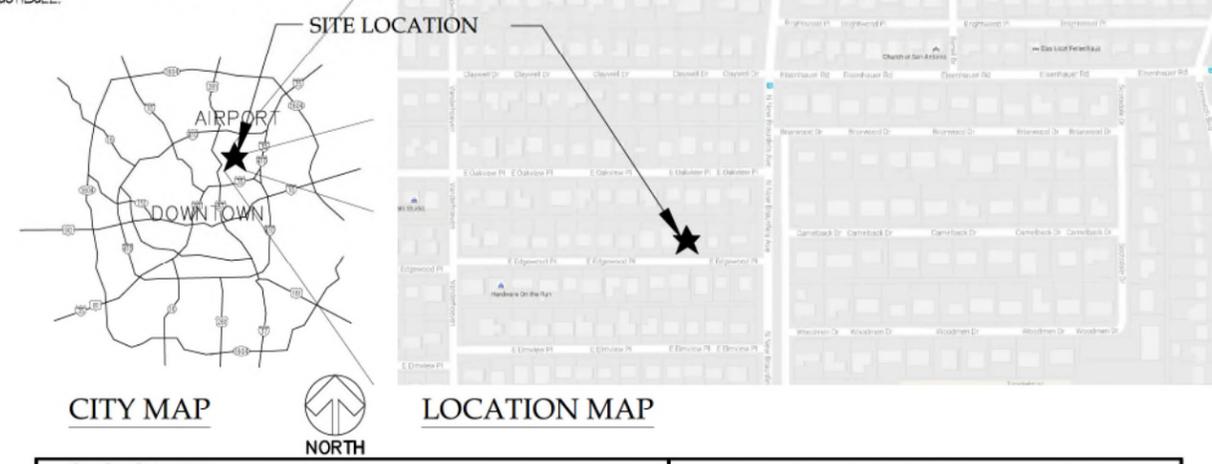
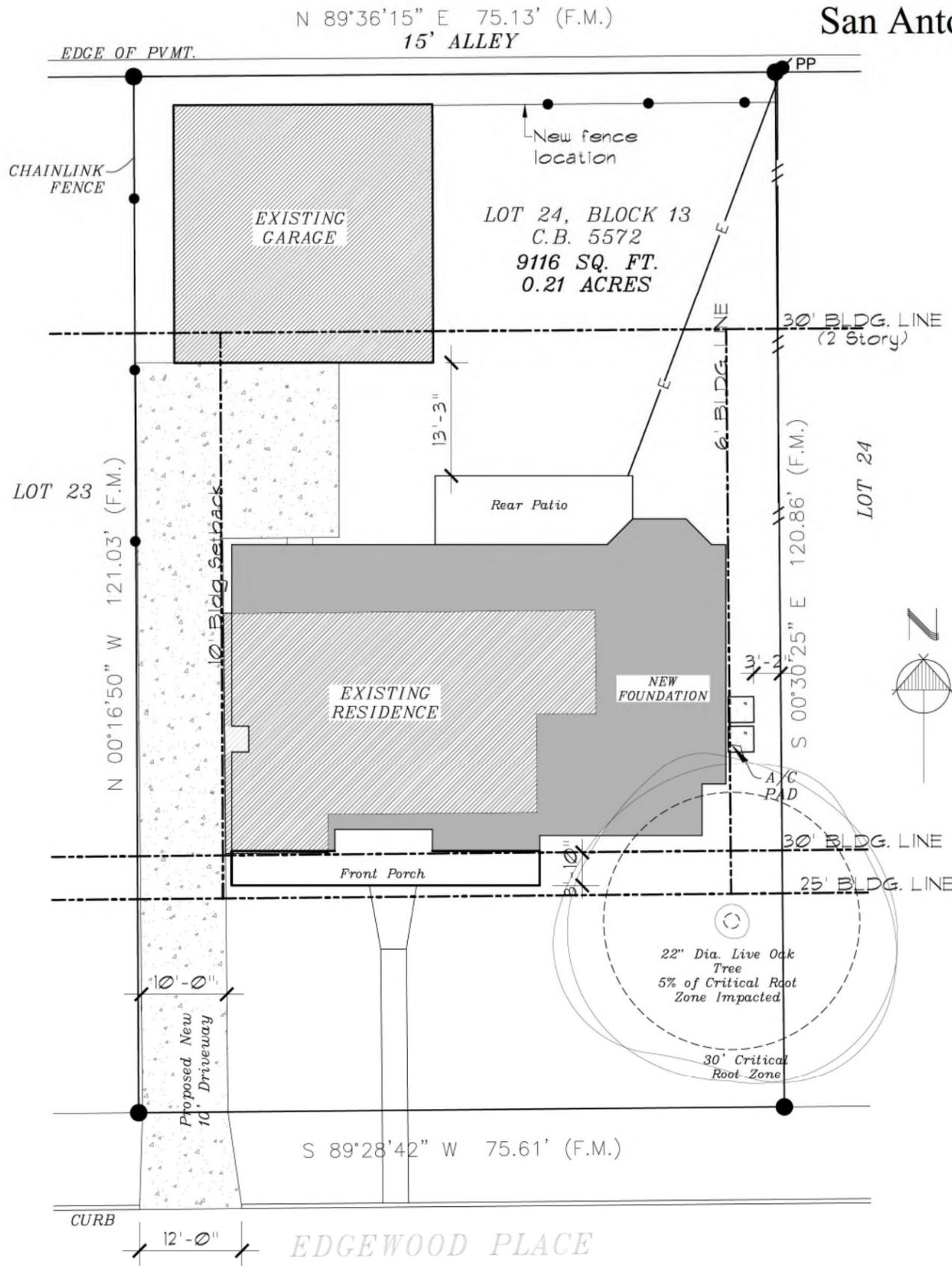
16. CONTROLS AND OPERATING MECHANISMS:
(A) GENERAL: ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS, OR OTHER USERS OF A BUILDING OR FACILITY, SHALL COMPLY WITH TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) FOR HEIGHT AND REACH REQUIREMENTS. SUCH MECHANISMS MAY INCLUDE, BUT ARE NOT LIMITED TO THERMOSTATS, LIGHT SWITCHES, ALARM ACTIVATING UNITS, VENTILATORS, ELECTRICAL OUTLETS, ETC.
(B) HEIGHT: THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED AT 48 INCHES AFF. EXCEPT WHERE OTHERWISE NOTED, ELECTRICAL AND COMMUNICATIONS SYSTEM RECEPTACLES ON WALLS SHALL BE MOUNTED 18 INCHES ABOVE THE FLOOR TO THE TOP OF THE DEVICE.
(C) OPERATION: CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5.0 LBF.

17. PENETRATIONS: ALL PENETRATIONS THRU EXTERIOR WALLS SHALL BE SEALED AIR/ WATER TIGHT AND CAULKED WITH TWO PART SEALANT ON EACH SIDE.

18. MECHANICAL SYSTEMS: REFER TO MECHANICAL DRAWINGS BY OTHERS FOR ALL INFORMATION REFERENCING DUCTWORK, DIFFUSER LOCATIONS, THERMOSTAT LOCATIONS, FIRE DAMPERS, OR ANY OTHER ITEMS RELATED TO MECHANICAL SYSTEMS.

19. ELECTRICAL SYSTEMS: REFER TO ELECTRICAL DRAWINGS PROVIDED BY ELECTRICAL CONTRACTOR / OWNER FOR ALL INFORMATION REFERENCING RECEPTACLES, PANEL BOARDS, CABLES, CONDUIT, LIGHTING, LIGHT SWITCHES, OR ANY OTHER ITEMS RELATED TO ELECTRICAL SYSTEMS. ALL LIGHT FIXTURES, SWITCHES, PLUGS, AND SPECIALTY ITEMS ARE SELECTED BY OWNER AND WILL BE INSTALLED BY MANUFACTURER'S SPECS.

20. PLUMBING SYSTEMS: REFER TO OWNER / CONTRACTOR FOR ALL INFORMATION REFERENCING PLUMBING FIXTURES, PLUMBING FITTINGS, PIPING, OR ANY OTHER ITEMS RELATED TO PLUMBING SYSTEMS.



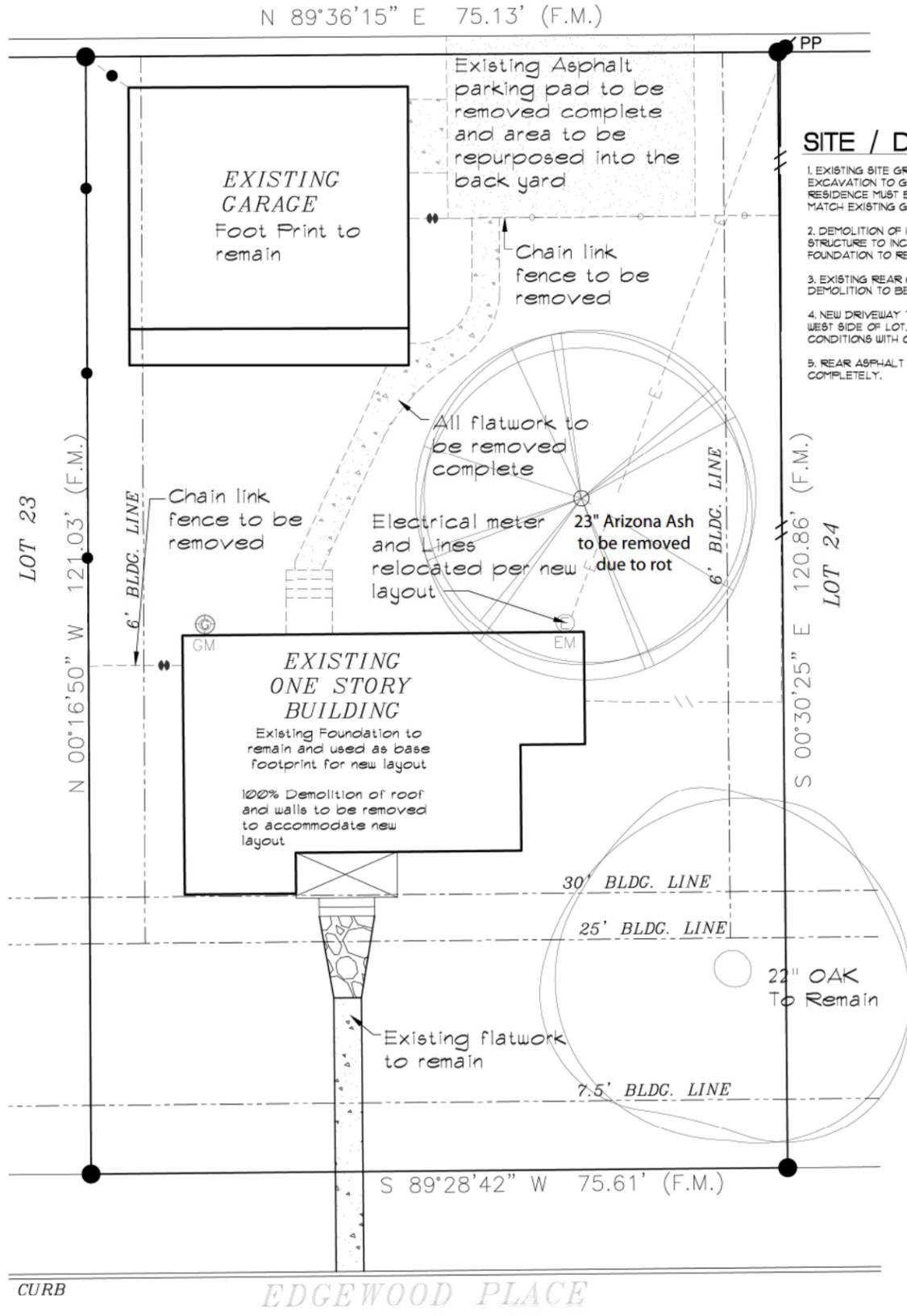
SCOPE:
NEW RESIDENTIAL 2 STORY ADDITION AT 265 E. EDGEWOOD PLACE, 78209

SHEET INDEX

C6	COVER SHEET
A1	DEMO PLAN
A2	FLOOR PLAN / ROOF PLAN
A3	ELEVATIONS / DETAILS
A4	ELECTRICAL PLAN

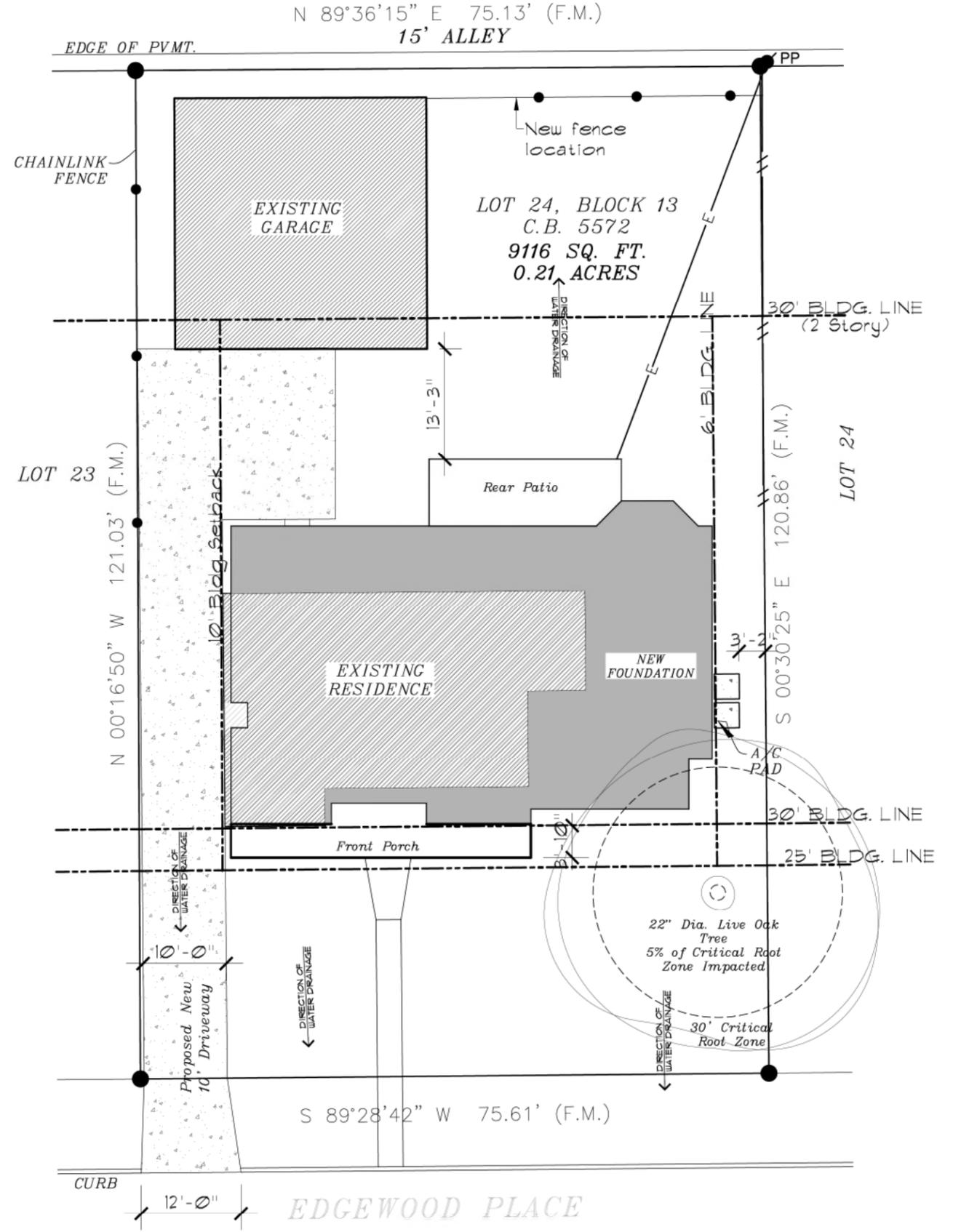
AREA TABULATIONS

	TOTAL
1st Floor Living	2,007 SF.
2nd Floor Living	820 SF.
Total Living	2,827 SF.
Front Patio	173 SF.
Rear Patio	180 SF.
Total Foundation	2,360 SF.
Total Framed Area	3,180 SF.



SITE / DEMO PLAN NOTES:

1. EXISTING SITE GRADE TO REMAIN "AS IS" ANY AND ALL EXCAVATION TO GRADE DUE TO DEMO OF EXISTING RESIDENCE MUST BE REPAIRED AND OR REPLACED TO MATCH EXISTING GRADE AND SLOPE OF LOT.
2. DEMOLITION OF HOUSE WILL BE 100% OF EXISTING STRUCTURE TO INCLUDE ALL WALLS AND ROOF. FOUNDATION TO REMAIN.
3. EXISTING REAR GARAGE TO REMAIN (NO EXTERIOR DEMOLITION TO BE DONE).
4. NEW DRIVEWAY TO BE PREPARED AND GRADED ON WEST SIDE OF LOT. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS WITH OWNER PRIOR TO DEMO.
5. REAR ASPHALT PARKING PAD TO BE REMOVED COMPLETELY.



Existing Site Plan

SC : 1/16" = 1'-0"

Proposed Site Plan

SC : 1/16" = 1'-0"



HELOTES, TX
210.317.0937

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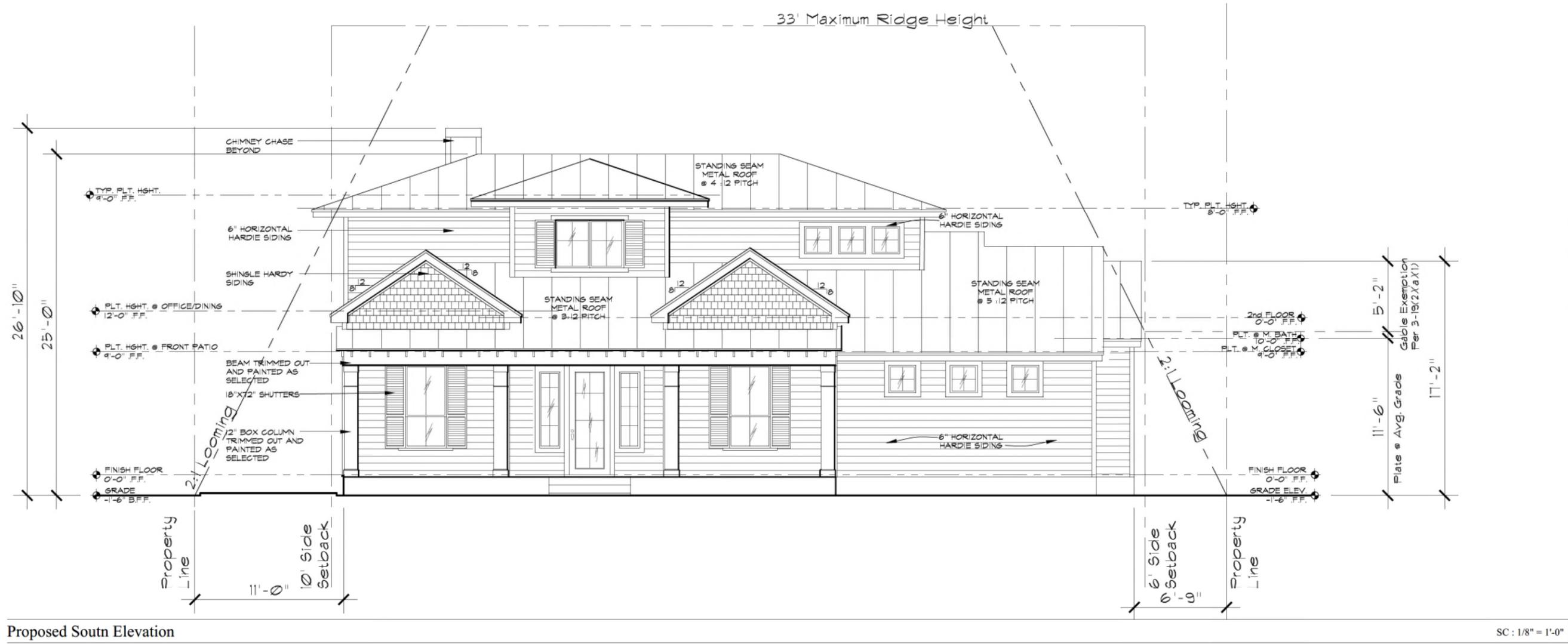
JOHNSON RESIDENCE
265 E. EDGEWOOD
SAN ANTONIO, TX 78209

Issue Date:
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Drawn By:
NV

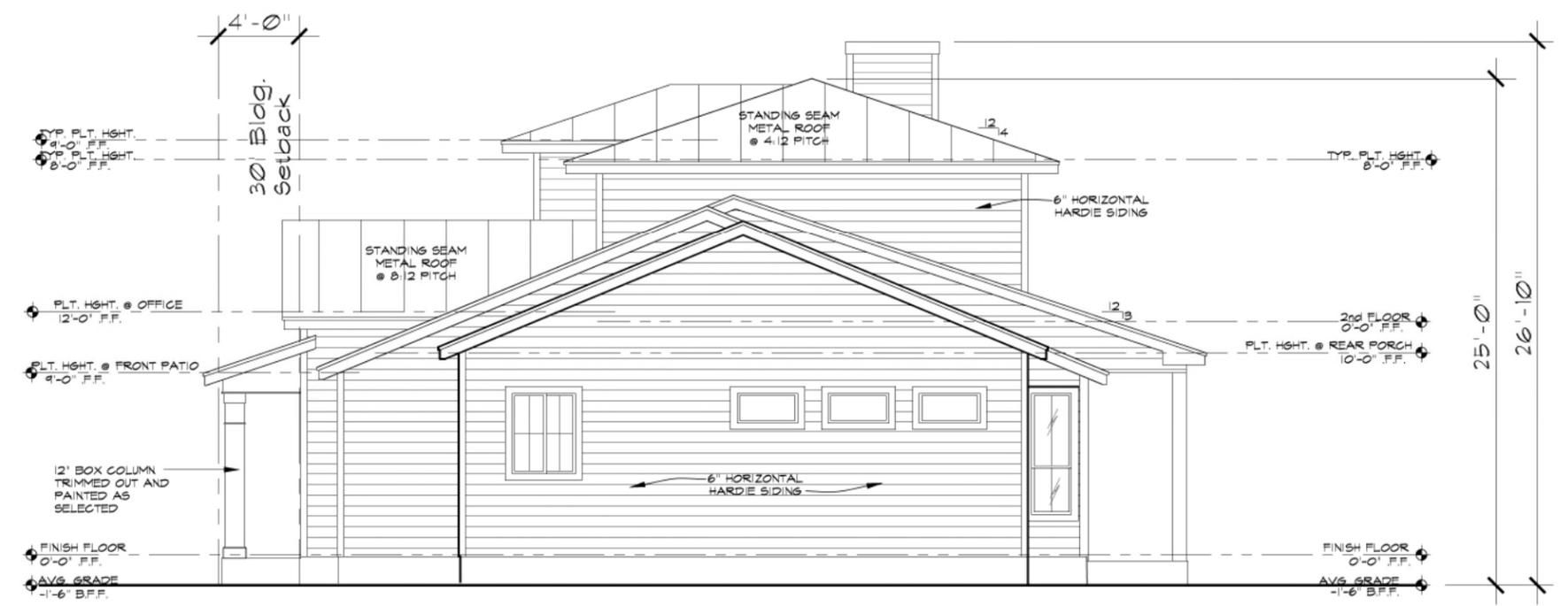
Plan Number:

Sheet Number:



Proposed South Elevation

SC : 1/8" = 1'-0"



Proposed East Elevation

SC : 1/8" = 1'-0"



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REVISIONS:

JOHNSON RESIDENCE

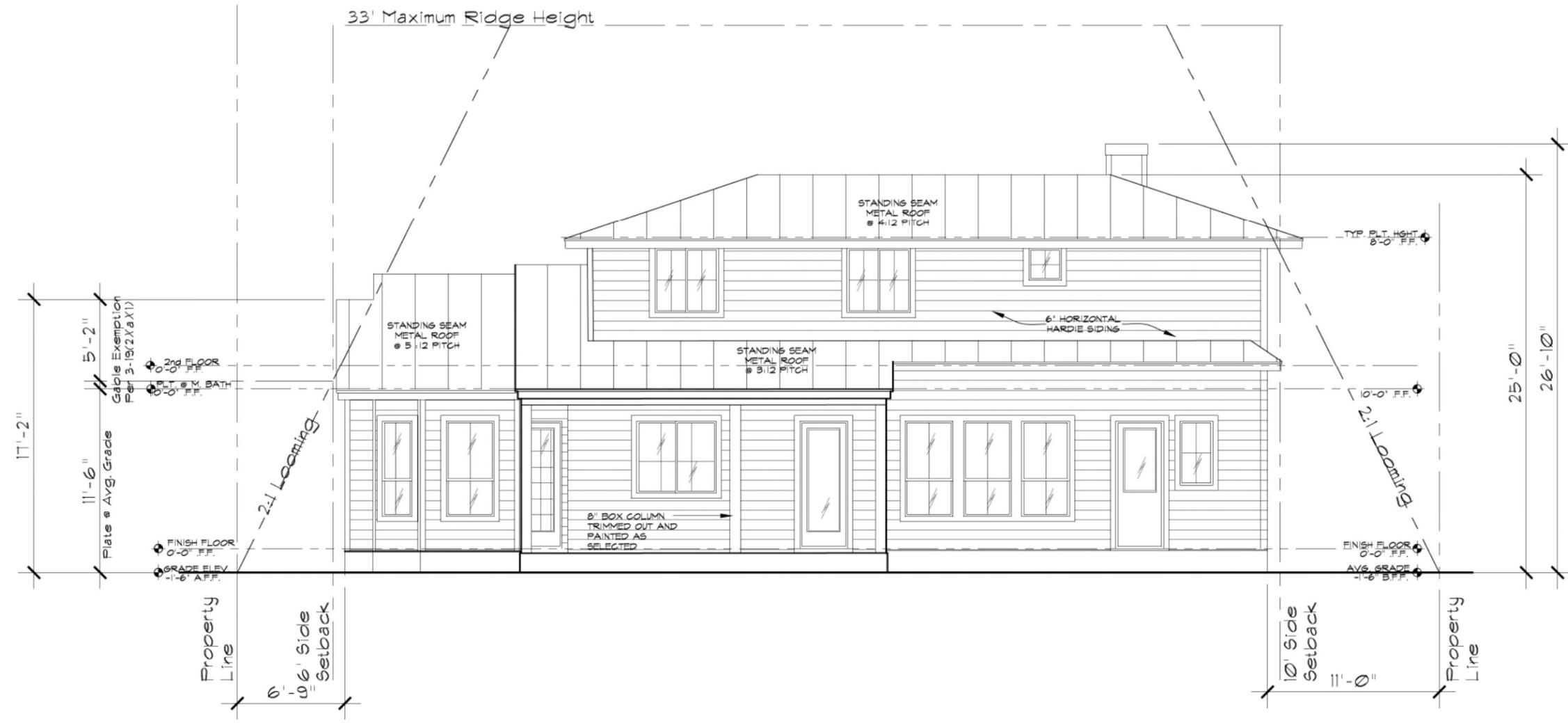
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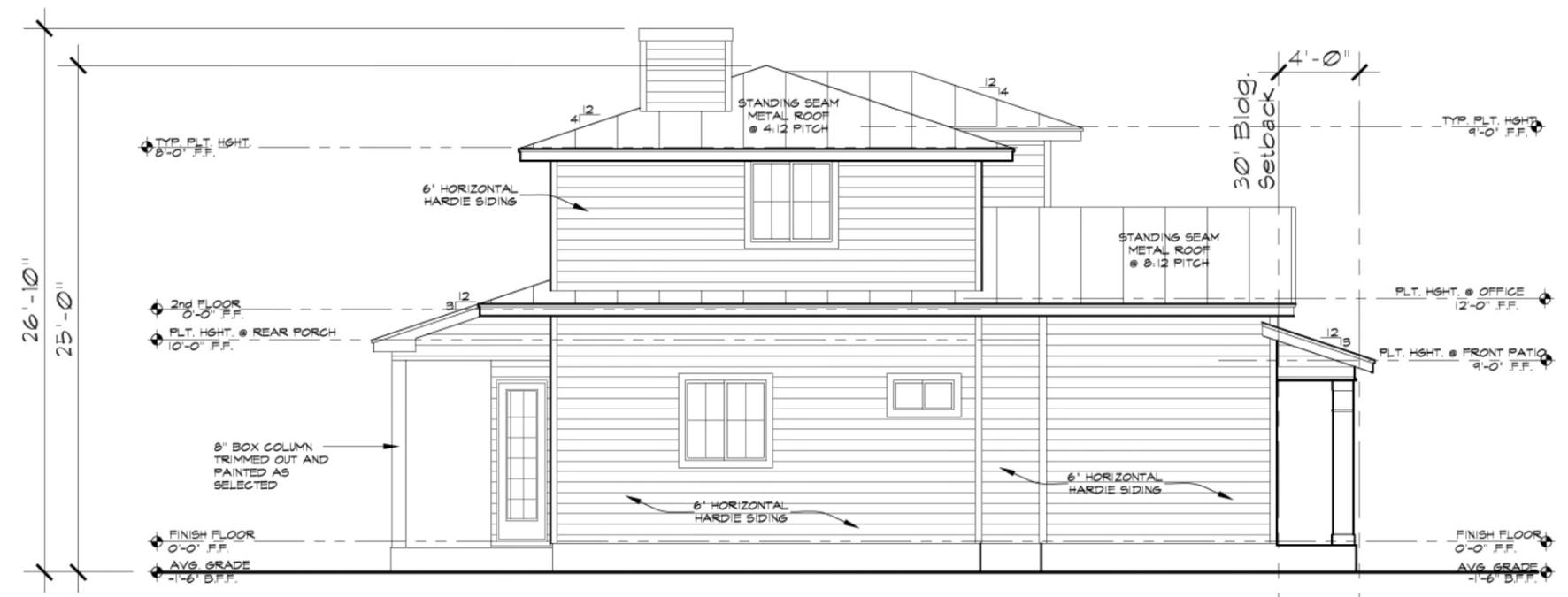
Plan Number:

Sheet Number:



Proposed North Elevation

SC: 1/8" = 1'-0"



Proposed West Elevation

SC: 1/8" = 1'-0"



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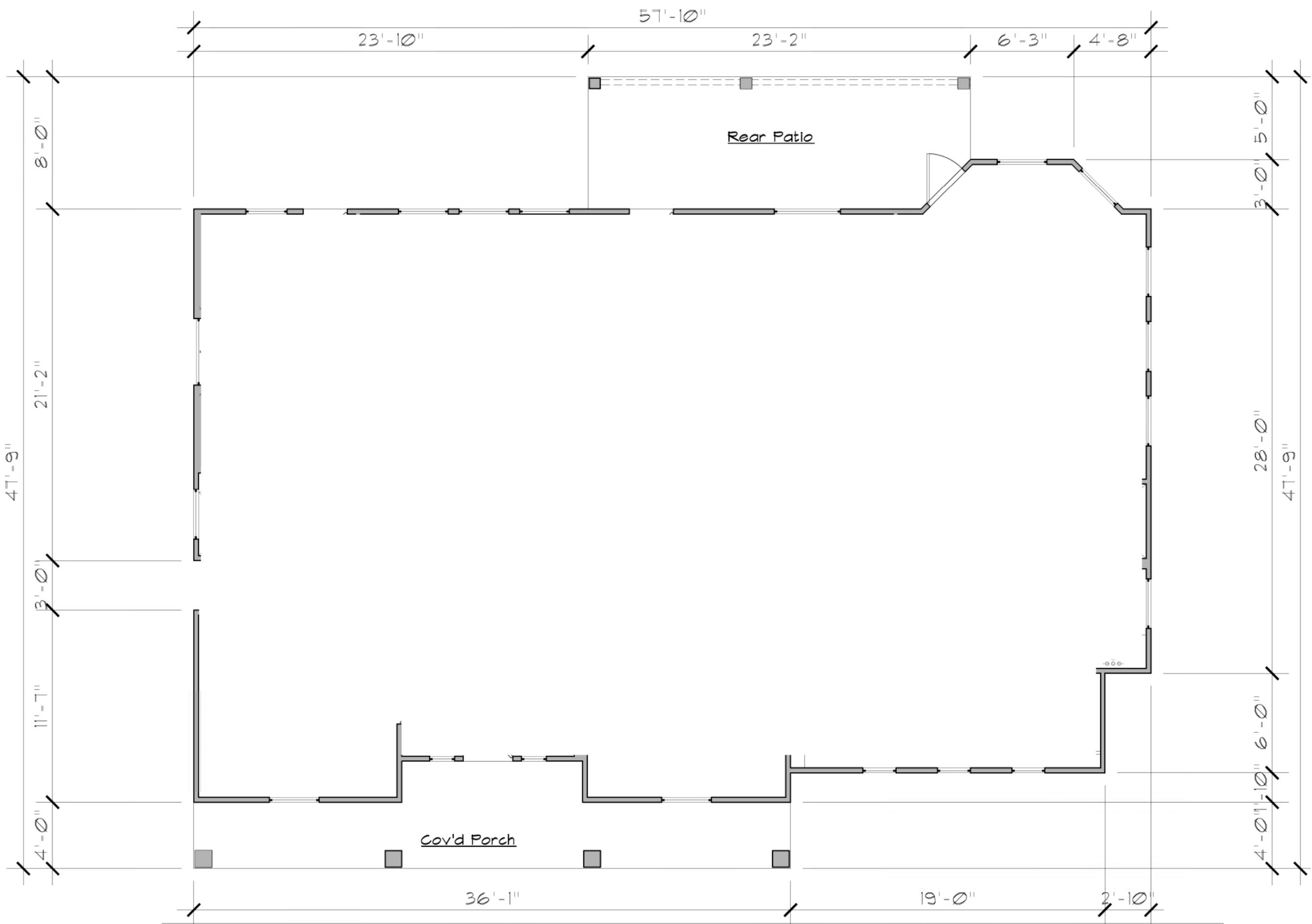
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 265 E. EDGEWOOD
 SAN ANTONIO, TX 78209

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 NV

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Proposed 1st Floor Plan

SC : 3/16" = 1'-0"



HELOTES, TX
210.317.0937

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REVISIONS:

JOHNSON RESIDENCE

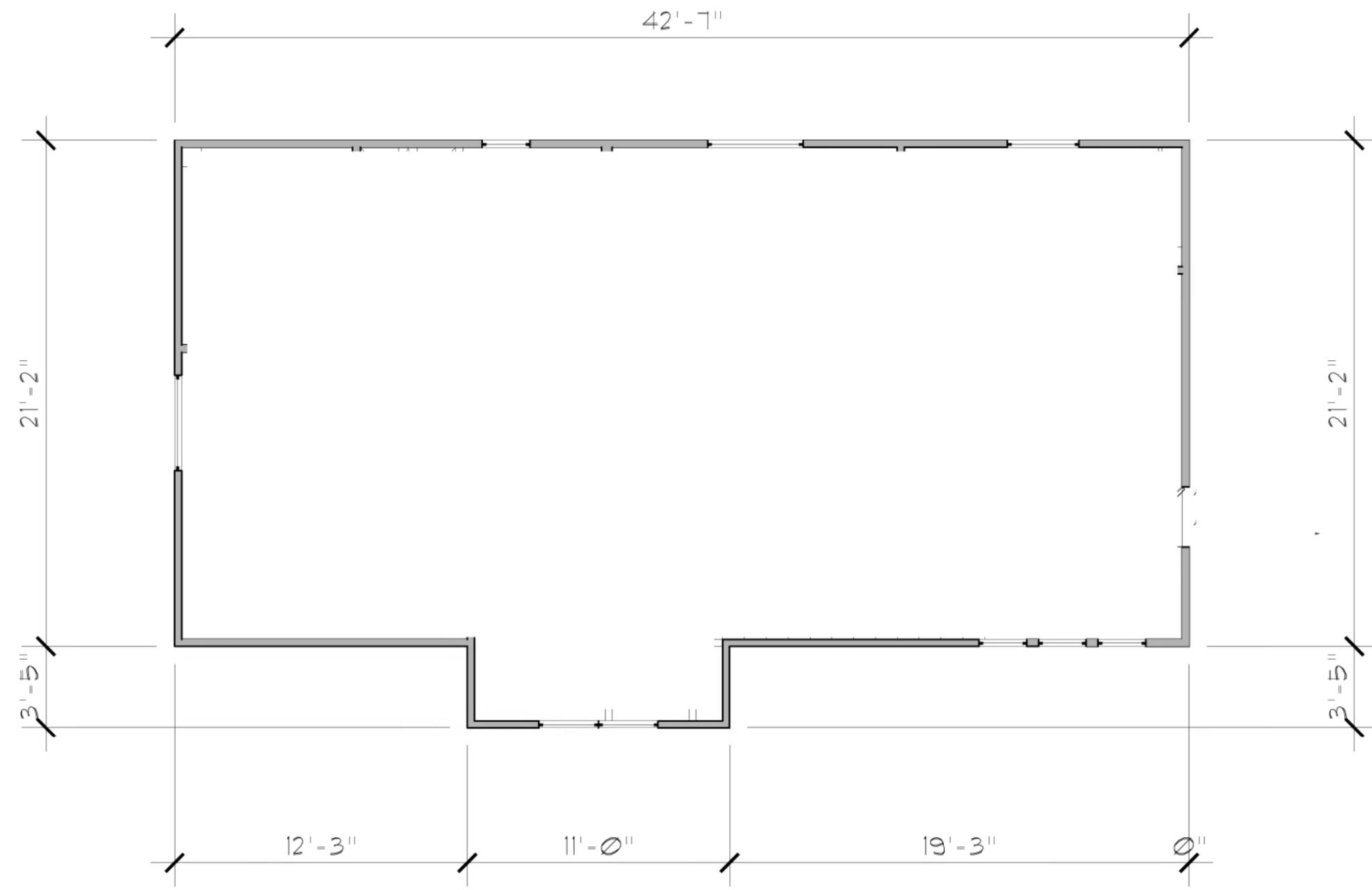
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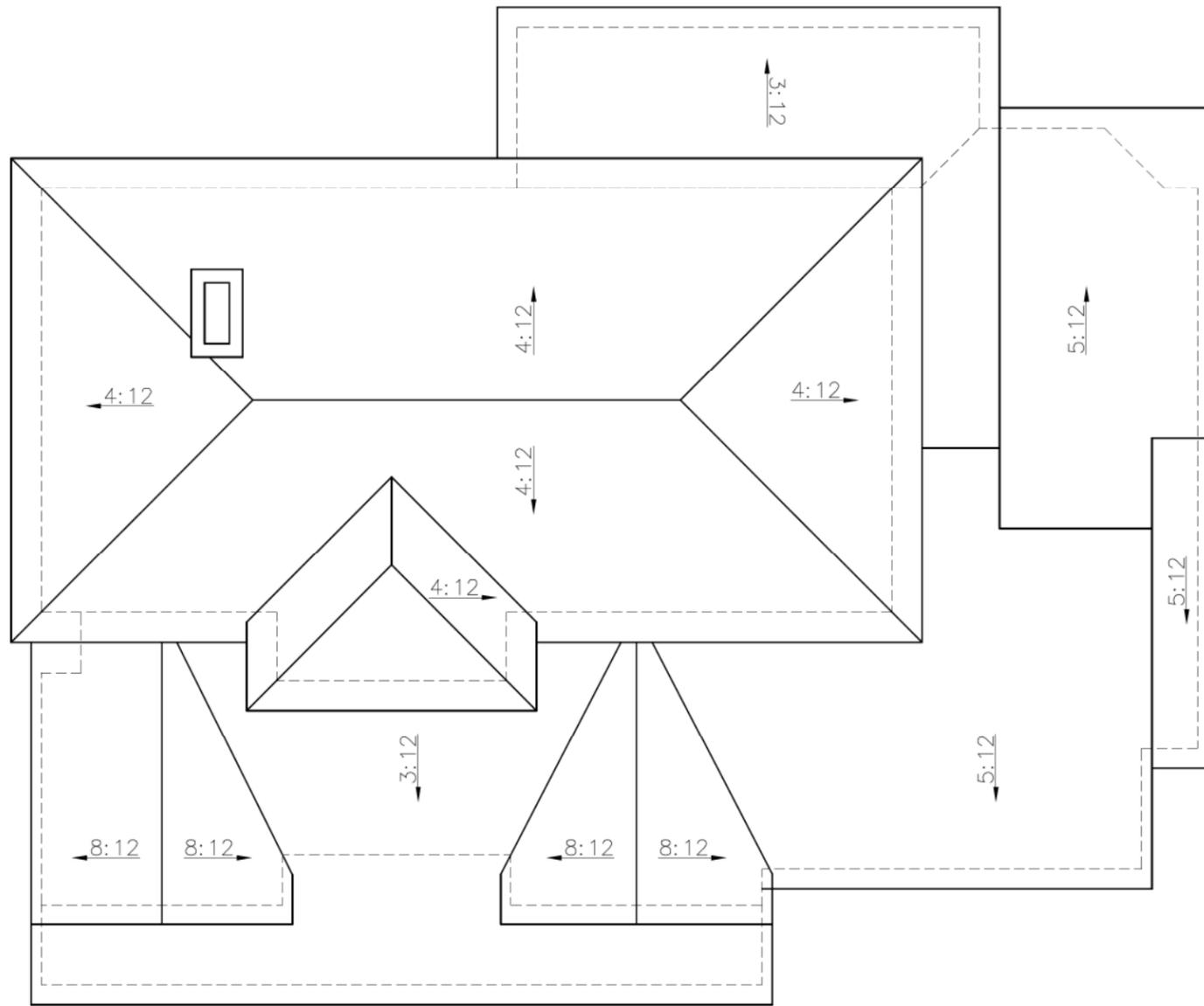
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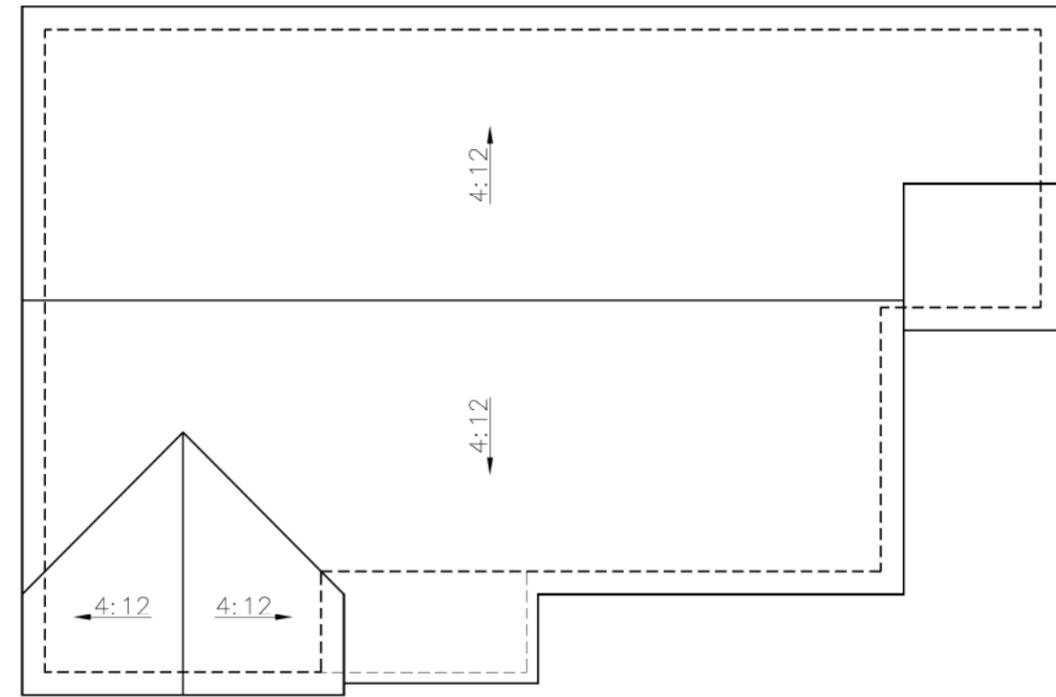
Proposed 2nd Floor Plan

SC : 3/16" = 1'-0"



Proposed Roof Plan

SC : 1/8" = 1'-0"



Note:
Existing roof to be 100 % demolished due to new layout and addition of 2nd floor.

Existing Roof Plan

SC : 1/8" = 1'-0"

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REVISIONS:

JOHNSON RESIDENCE

265 E. EDGEWOOD
SAN ANTONIO, TX 78209

Issue Date:
9/14/2016

Drawn By:
NV

Plan Number:

Sheet Number:

EXISTING STREETScape

JOHNSON RESIDENCE



257 E Edgewood



265 E Edgewood



271 E Edgewood

E Edgewood Place

260 E Edgewood



268 E Edgewood

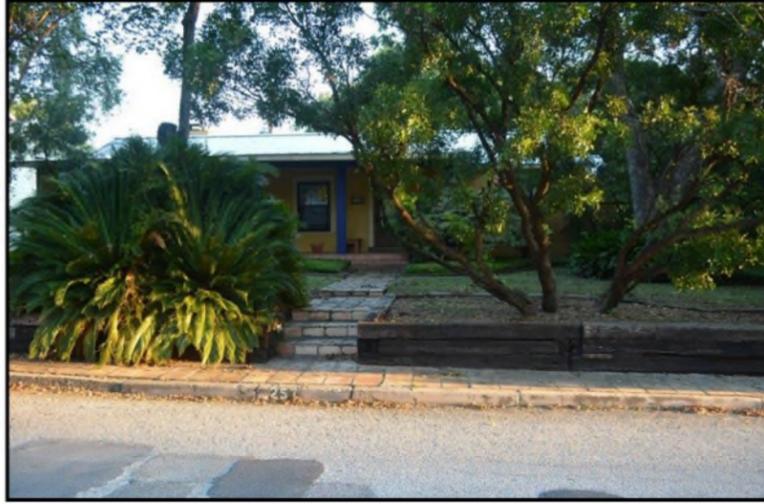


274 E Edgewood



PROPOSED STREETScape

JOHNSON RESIDENCE



257 E Edgewood



265 E Edgewood



271 E Edgewood

E Edgewood Place

260 E Edgewood



268 E Edgewood



274 E Edgewood

