



**CITY OF ALAMO HEIGHTS**  
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT  
6116 BROADWAY  
SAN ANTONIO, TX 78209  
210-826-0516

**Architectural Review Board Meeting**  
**Tuesday, October 18, 2016 – 5:30 P.M.**  
**6116 Broadway St – City Council Chambers**

**Case No. 649 F – 225 Oakview E**

**Request of Brister Design Group representing Alex Whittington, owner, for the significance review of the existing main structure and compatibility review of the proposed replacement structure located at 225 Oakview E under Demolition Review Ordinance No. 1860 (April 12, 2010) in order to demolish 100% of the existing main structure and construct a new single family residence with detached accessory structure.**

**Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB's recommendation for all demolition/final design review applications. Any recommendation will be forwarded to the City Council for final review. Please check the ARB posted results on the City's website after the ARB meeting to confirm any future meeting dates.**

**Plans may be viewed online\* (<http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/>), at the Community Development Services Department (6116 Broadway St), or you may contact Lety Hernandez ([lhernandez@alamoheightstx.gov](mailto:lhernandez@alamoheightstx.gov)), Eli J Briseno ([ebriseno@alamoheightstx.gov](mailto:ebriseno@alamoheightstx.gov)), Jason B Lutz ([jlutz@alamoheightstx.gov](mailto:jlutz@alamoheightstx.gov)), or our office at (210) 826-0516 for additional information.**

**\*\*Plans will not be available online for all case types and floor plans will not be available online.\*\***



**Brister Design Group**, Project Designer

18503 Sigma Road, Suite #122  
San Antonio, TX 78258  
Contact: Aleksandra Vucic-Flores



**Stalwart Contracting, LLC**

Alex Whittington, Project client, owner  
Office: 1927 Sable Lane, San Antonio, TX 78217

### Project Summary of Purpose & Intent for Single-Family Residence, New Construction - Revised

New construction, 2 story, single-family Whittington residence is planned to be constructed at 225 E. Oakview Place in Alamo Heights in the city of San Antonio, TX. The existing, single story residence of 1,463 SF will be demolished completely with removing all impervious cover such as sidewalks, porches and car driveways. Front red oak tree is to remain, and back red oak tree will be removed with supporting heritage tree mitigation agreement per owner's request. Please reference design sheet A005 for existing site and tree photos. New construction has 4,138 usable SF (total for levels 1 & 2) with inhabitable basement 1,120 SF which will be used as secured storage. New building height is 28ft 2in.

Architectural style of the residence exterior will feature Mediterranean look with simple, stucco white walls while using local stone as accents on facades/fireplace, and modern metal roof. The interplay of the planes on the front façade provides articulation for the residence, and therefore, emphasizes the materials to embrace the character and values of traditional, yet modern Texas architecture. Windows and doors will have traditional, bronze frames with combination of rectangular and arched frames for better articulation. Simple, but colorful accents will be notable on shutters around windows on level 2. Introduction of wood look will be notable on the front porch decorative beams as well as window headers on level 2 to introduce Texas design and craftsmanship. The moderate mix of local materials and construction with simple facades' design will provide compatibility to the neighborhood.

Rear and side facades will have stucco throughout and match front façade's window and door look. They will be simplified for economical purposes as well as not having direct exposure to front street. The residence will be accessed from the front at circular drive-thru and from private entrance at the back through 2 space, covered parking area. Residence will be enclosed in the back for privacy with new wood fence, and landscaping/xeriscaping with plant types/ locations will be provided by owner after construction completion.

Existing and proposed lot standards indicate the following:

- The lot coverage for existing residence is 17% and for the new construction is 38% which is below 40% per City of Alamo Heights chart (Sec.3-22-Summary Table for SF-A Residential Design Standards). Please reference permit application sheet, page 3 for detailed calculations.
- The floor area ratio Calculations for existing residence is 14% and for the new construction is 39% which is below 45% per City of Alamo Heights chart (Sec.3-22-Summary Table for SF-A Residential Design Standards). Please reference permit application sheet, page 3 for detailed calculations.
- The height of the existing residence is n/a, however, it can be estimated to be approximately 15ft-20ft, and the height for the proposed new residence is 28ft 2in which is below 33ft for lots larger than 65ft per City of Alamo Heights chart (Sec.3-22-Summary Table for SF-A Residential Design Standards). Please reference design drawings for new construction, all elevations sheets.

Thank you,

*Aleksandra Vucic Flores*

9/20/2016

SUBJECT TO RECORDED RESTRICTIVE COVENANTS AND/OR EASEMENTS AS FOLLOWS:

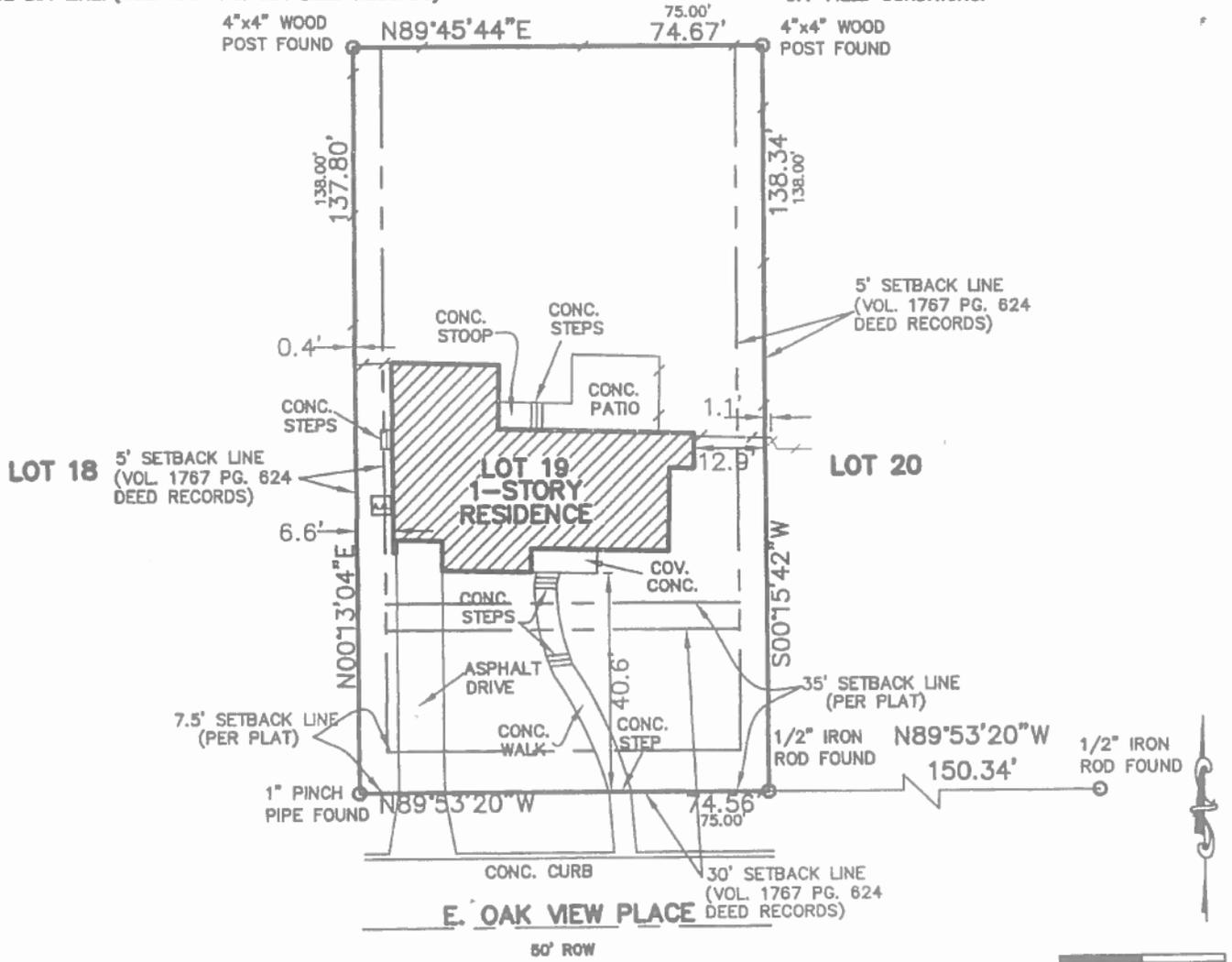
VOL. 1767 PAGE 624 DEED RECORDS VOL. --- PAGE --- RECORDS  
 VOL. 1857 PAGE 439 DEED RECORDS VOL. --- PAGE --- RECORDS

N45°00'00"E 100.00' RECORD INFORMATION S45°00'00"W AS MEASURED IN FIELD 100.00' X BARBED WIRE Δ SMOOTH WIRE \ / WOOD FENCE  
 ○ IRON FENCE ◇ CHAIN LINK FENCE — WATER FLOW

NOTE: A GARAGE OR OTHER OUTBUILDING LOCATED 100' OR MORE FROM THE FRONT LOT LINE, MAY BE LOCATED NEARER THAN 5' TO ANY SIDE LOT LINE. (VOL. 1787 PG. 824 DEED RECORDS) **15' ASPHALT ALLEY**

NOTE: N 89°53'20" W 224.90 WAS USED AS THE REFERENCE BEARING FOR THIS SURVEY.

NOTE: BEARING AND DISTANCES WERE BASED OFF FIELD CONDITIONS.



I, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, OF THE PROPERTY DESCRIBED HEREON. I FURTHER CERTIFY THAT ENCROACHMENTS, EASEMENTS AND RIGHT-OF-WAYS VISIBLE ON SITE ARE SHOWN HEREON. SETBACKS AND EASEMENTS SHOWN ARE FROM RECORDED COUNTY DOCUMENT RECORDS. MUNICIPAL RESTRICTIONS ARE NOT SHOWN. COPYRIGHT © 2005 STEPHEN G. COOK ENGINEERING, INC. ALL RIGHTS RESERVED

*Stephen G. Cook*  
 STEPHEN G. COOK, R.P.L.S.



LOT(S) 19 BLOCK 20 N.C.B. -  
 OAK WOODS SUBDIVISION, IN THE CITY OF ALAMO HEIGHTS VOLUME 1625 PAGE 145

Property Address: 225 E Oakview Place  
 Original Architect: N/A

Architecture Type: Residential  
 Year Built:

Lot Coverage*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Lot area	10,350 SF		10,350 SF	
Main house footprint	1,468 SF		2,665 SF	
Front porch	45 SF		75	
Side porch 1	None		None	
Side porch 2	None		None	
Rear porch	270 SF		682 SF	
Garage footprint	None		None	
Carport footprint	None		528	
Shed footprint	None		None	
Breezeways	N			
Covered patio structure	None		None	
Other accessory structures	None		None	
Total (total lot coverage/lot area):	1,778 / 10,350		3,950 / 10,350	
Total Lot Coverage:	0.17		0.38	
Floor Area Ratio (FAR)**	Applicant	Staff	Applicant	Staff
Lot area	10,350 SF		10,350 SF	
Main house: 1st floor	1,468 SF		2,665 SF	
Main house: 2nd floor	None		1,473 SF	
Garage: 1st floor	None		None	
Garage: 2nd floor	None		None	
Other structures (unless exempted - see below)				
Total (total FAR/lot area):				
Total FAR:	0.14		0.39	
Height of Main Structure:				

\*Lot coverage is defined as the percentage of the total lot area covered by a roof, floor or other buildings excepting eaves. Carports, sheds, porches, covered pedestrian walkways, breezeways, arbors, gazebos and covered patios are included in lot coverage calculations (Exception: The maximum lot coverage shall exclude free-standing entryway arbors with open-air lattice framework under fifty (50) square feet in area and eight (8) feet in height, and other free-standing open-air lattice/trail structures located within a side or rear yard up to twelve (12) feet in height, totaling three hundred (300) square feet or less and subject to other standards governing accessory structures.

\*\*Floor area ratio (FAR) is defined as the ratio of the total above ground gross floor area of all structures on a site to the total square footage of a lot (for example, a FAR of .53 for a seven thousand five hundred (7,500) square foot lot is three thousand nine hundred seventy-five (3,975) gross square feet (.53 X 7,500) of floor area). The following areas shall be included when computing the gross floor area:

- (1) Exterior walls: The thickness of the wall shall be included in the calculation;
- (2) Above grade floor area: Any room that has a wall surface that extends more than three (3) feet above grade;
- (3) Laundry rooms, mechanical rooms, storage rooms, built-in cabinets and media niches;
- (4) Mezzanines and lofts;
- (5) Floor area used by stairways, elevators, escalators and similar features. The floor area of each run of stairs shall be counted once;
- (6) Vaulted ceilings: the floor area shall be counted at the actual floor area only and not in the air spaces;
- (7) Usable spaces (generally defined as having a five (5) foot minimum height) such as rooms, closets and cabinets under a run of stairs;
- (8) Exterior structures and additions with a solid roof and enclosed on more than two (2) sides in whole or part with permanent solid walls or windows such as porches, balconies, patios and breezeways;
- (9) Attached and detached garages and carports; and
- (10) Accessory buildings such as sheds, pool houses, guest houses, bonus rooms and second units.

The following areas shall not be included when computing the gross floor area:

- (1) Below grade floor area: any area that has a wall surface that extends less than three (3) feet above grade;
- (2) Porches, balconies, patios, breezeways, decks, overhangs, eaves, canopies and awnings with solid roof-like cover, but not enclosed on more than two (2) sides;
- (3) Porches, balconies, patios, breezeways and decks that do not have a solid roof-like cover; and
- (4) Attic space that is not habitable. If made habitable in the future, shall be included in floor area ratio.

Definitions as listed per City of Alamo Heights "Code of Ordinances" can be found at [www.municode.com](http://www.municode.com) (Ch. 3 "Zoning," Sec. 3-2 "Definitions")

Property Address: 225 E Oakview Place, San Antonio, TX

	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
<b>Total Impervious Cover Sq. Ft. for Stormwater Development Fee*</b>				
Footprint of all structures	1,463 SF		3,198 SF	
Driveway/Parking Pad	561 SF		554 SF	
Walkways	240 SF		70 SF	
Swimming Pool/Spa	None		None	
Other impervious cover: <u>Front/Back Porch</u>	315 SF		756 SF	
Total impervious surface cover (in this project):	2,579 SF		4,508 SF	
Total impervious surface cover <u>removed/existing</u> (in this project):				
Total impervious surface cover <u>sq. ft.</u> (proposed minus removed = net figure for this project)*			1,929 SF	
Stormwater Development Fee*				

Impervious Surface Cover within front yard setback**	Applicant		Staff	
	Applicant	Staff	Applicant	Staff
Front yard setback area	1,717 SF		1,717 SF	
Footprint of any structure(s)	N/A		N/A	
Driveway/Parking Pad	251 SF		372 SF	
Walkways	126 SF		20 SF	
Other impervious cover: <u>porch</u>	N/A		47 SF	
Impervious surface cover within front yard setback in this project	377		439 SF	
Impervious surface cover <u>removed/existing</u> within front yard setback in this project				
Impervious surface cover net proposed <u>sq. ft.</u> within front yard setback				
Impervious surface cover proposed within front yard setback			B / A	B / A
Maximum 30% allowed for SF-A and SF-B Districts			25.5%	

\*The stormwater development fee shall be equivalent to the net additional square footage of total impervious surface area (excluding public sidewalks) of the property multiplied by \$0.40.

Exemptions. The following real property, only, shall be exempt from the provisions of this section:

- (1) Property owned by the City of Alamo Heights and/or dedicated to right-of-way for public streets and/or to provide drainage service; and
- (2) Property with proper construction and maintenance of a privately owned drainage or stormwater system wholly sufficient to provide all the drainage or stormwater service for that property.

\*\*Depending on property's zoning district, the maximum impervious surface allowed within the front yard setback area is 30% (per Sec. 3-18) and 40% (per Sec. 3-50; please refer to Code for other regulations).

**Impervious cover.** Ground surfaces including concrete or paved driveways, sidewalks, parking lots, building and other improvements that resist the infiltration of water, thereby resulting in water runoff. Impervious cover includes any surface material or surface treatment or surface condition which sheds fifty (50) percent or more of rainfall, or water, which falls on it.

City of Alamo Heights "Code of Ordinances" can be found at [www.municode.com](http://www.municode.com) (Ch. 3 "Zoning," Sec. 3-18, Sec. 3-50; Ch. 13 "Storm Drainage," Sec. 13-29 "Stormwater development fee" and Sec. 13-1 "Definitions").



City of Alamo Heights  
 Community Development Services Department  
 6116 Broadway, San Antonio, Texas 78209 (210) 826-0516

**Heritage Tree Mitigation Agreement**

(Code of Ordinances Sec. 5-152, *Heritage trees*)

Date submitted: 9/20/2016 Permit Number (#): \_\_\_\_\_  
 Property Owner(s) Name(s): Alex Whittington  
 Property Address: 225 E. Oakview Place

Per City of Alamo Heights municipal code, Sec. 5-151, *General provisions*:

- (c) No more than fifty (50) percent of the critical root zone of any heritage tree\* shall be covered with impervious cover and no closer than three (3) feet from the trunk of the tree.
- (d) No more than thirty (30) percent of the critical root zone of any heritage tree\* shall be trenched, excavated, damaged or removed and no closer than three (3) feet from the trunk of the tree.

Per Sec. 5-156, *Heritage tree removal mitigation*:

- (a) A property owner or authorized agent requesting removal of a designated heritage tree which is not certified to be diseased or dying is required to provide these mitigation requirements if removal is approved by the director:
  - (1) Planting additional types of trees as listed in table 1\* of this article (excluding palms, mountain laurels and crepe myrtles unless the heritage tree being removed is one of these types) with a replacement ratio (measured in inches DBH) which meets the following criteria:
    - a. Minimum 1:1 ratio (one (1) to one (1) replacement trunk DBH to removed trunk DBH) for individual heritage or multi-trunk heritage trees,
    - b. Minimum 1/2:1 ratio (one-half (1/2) to one (1) replacement trunk DBH to removed trunk DBH) for cluster type heritage trees.
  - (2) Minimum DBH for mitigation purposes is a four-inch caliper.
  - (3) Proposed planting shall be permitted on the following properties:
    - a. The same lot as such heritage tree(s) was removed,
    - b. Public property as designated for park use, or
    - c. Public right-of-way where approved.
  - (4) Planting of trees within the public right-of-way must be completed by a licensed company which would provide a minimum one-year warranty for replacement and replanting if necessary.
- (b) The director shall have discretion to modify mitigating requirements due to special circumstances.

You have the option to mitigate on your property or on public property. You may also pay a fee in lieu of the mitigation. Should you decide to mitigate, staff will assist you at the time you decide to mitigate the tree(s) you will remove. Where sites do not allow mitigation on-site, City staff will assist you in identifying potential mitigation locations off-site typically within the city's right-of-way. As potential sites are identified, City staff will notify you of the mitigation locations. Use the formula table on the reverse side to calculate mitigation requirements for your proposed project's removal of 'heritage' trees.

AW  
 (initials)

I have completed the formula table on the reverse side of this agreement and understand that I am either exceeding the critical root zone requirements for a heritage tree(s) per municipal code or that I am proposing to remove a heritage tree(s) and hereby agree to provide the mitigation requirements per municipal code.

[Signature]  
 Property Owner (Signature)

9/20/2016  
 Date

**A. Heritage Trees Proposed for Removal (Group heritage type(species) together):**

_____	_____ (inches)			
Type(Species)	Size(DBH)			
		+	=	_____ (inches) total Section A
_____	_____ (inches)			
Type(Species)	Size(DBH)			

**B. Trees Proposed for Planting On-Site (only minimum four-inch caliper 'heritage' type species count towards required mitigation):**

_____	_____ (inches)			
Type(Species)	Size(DBH)			
		+	=	_____ (inches) total Section B
_____	_____ (inches)			
Type(Species)	Size(DBH)			

**C. Inches required to be mitigated off-site**

\_\_\_\_\_ (inches) total Section A - \_\_\_\_\_ (inches) total Section B = \_\_\_\_\_ (inches)

**D. Fee in Lieu of Mitigation (fee of \$300 per inch or a maximum fee of \$2000 per heritage tree in SF-A, SF-B, 2F-C, and MF-D districts only)**

Red Oak	28 (inches)	\$2,000.00					
Type (Species)	Size (DBH)	Fee			Type(Species)	Size (DBH)	Fee
_____	_____ (inches)	= _____			_____	_____ (inches)	= _____
Type (Species)	Size (DBH)	Fee			Type(Species)	Size (DBH)	Fee
_____	_____ (inches)	= _____			_____	_____ (inches)	= _____
Type(Species)	Size (DBH)	Fee			Type(Species)	Size (DBH)	Fee



## ETTER TREE CARE



Mr. and Mrs. Alex Whittington  
[alex@stalwartcontracting.com](mailto:alex@stalwartcontracting.com)

RE: 225 E. Oakview Pl  
San Antonio, Texas 78209

September 19, 2016

Mr. and Mrs. Whittington,

I recommend beginning an annual fertilization program for the front 25" Red Oak prior to demolition of the existing house and installing protective fencing at the drip line or at least 10' from the base of the tree, in order to protect critical root zone. Use fencing such as 6' chain link or very tall sheets of plywood to protect the Red Oak and its critical root zone.

Designate areas where materials can be stored or disposed, where contractors can and can NOT park and construction access (entrance, exit, etc). The goal is to avoid unnecessary root cutting or compaction, especially within the critical root zone in order to avoid stressing the existing 25" Red Oak. Spreading a thicker, temporary layer of mulch outside of the protective tree fencing can help absorb compaction from foot traffic and equipment for areas within the drip line that need to be accessed.

Since activity will be on more than one side of the front 25" Red Oak the minimum recommended distance for root cutting or compaction is 10' from the base of the tree out toward the edge of the canopy or drip line, this area is considered the critical root zone. It is very important to avoid or minimize any root cutting or compaction within the critical root zone in order to maintain the existing 25" Red Oak tree's health and vigor.

The air spade is a wonderful tool that can be used for exploratory purposes when working near the 25" Red Oak or within the critical root zone to blow a trench to see what size roots would be encountered rather than digging by hand or with machinery which can damage roots.

It is important to remember during the construction process that if there is inadequate rainfall or periods of extended drought supplemental watering may be necessary. Spreading a thin layer of mulch over critical root zones will help reduce evaporation and will help keep roots cool during periods of intense heat.



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## ETTER TREE CARE

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Pruning should be done for safety and clearance only, excess removal of live material will only further stress the 25" Red Oak. Pruning should occur either before demolition of the old house or before construction of the new house.

In order to remove the 28" Red Oak I will need to obtain an Alamo Heights tree removal permit which will require mitigation in accordance with the City of Alamo Heights tree ordinance. According to Chapter 5 of the City of Alamo Heights tree ordinance you can mitigate for the removal in a number of ways. The mitigation ratio is 1:1 meaning for every inch in diameter you remove you replace by either planting (on your property or city property) or paying \$300.00 per inch of required mitigation for each heritage removed, fees not to exceed \$2,000.00 per heritage tree.

Please let me know if you have any questions or if I can be of further assistance on this project.

Sincerely,

Elysia Etter

Certified Arborist TX-3859A

# Whittington Residence - SINGLE FAMILY, 2 STORY

## New Residential - Permit Set

225 E Oakview Place, San Antonio, TX



### Project Information

This project consists of demolition of existing single story residence, and construction of a new, 2 story residence with unfinished basement (storage only) on existing site. The proposed structure occupancy classification and use group remains unchanged by the new scope of work. The new residence is designed to reflect Mediterranean architectural look. Reference engineering drawings on MEP scope and structural coordination.

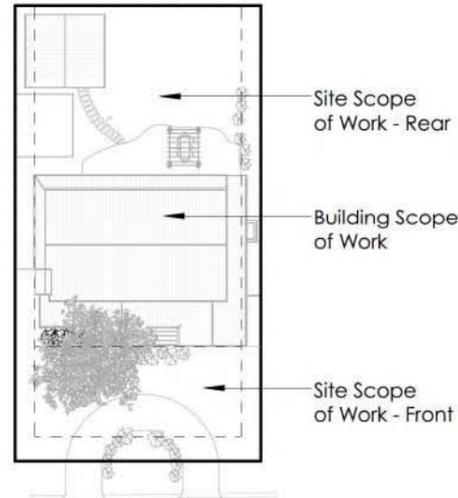
### Building Code Information

The plans are submitted under 2015-Code Series for One Family Dwellings application for new construction.

Area Tabulations:  
Existing Site: 10,350 SF (0.2 acres)  
Basement: 1,120 GSF  
Level 1: 2,665 GSF  
Level 2: 1,473 GSF

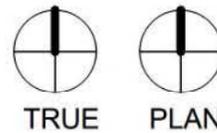
**PROJECT DISCLAIMER: FOR CONSTRUCTION SET ONLY - OWNER HAS NOT SELECTED FINAL INTERIOR FINISHES, EQUIPMENT OR LIGHTING DURING DESIGN PROCESS. THEREFORE, ALL COST IMPLICATIONS AS A RESULT OF NEW SELECTIONS ARE OWNER'S RESPONSIBILITY.**

### Scope of Work



### Project information:

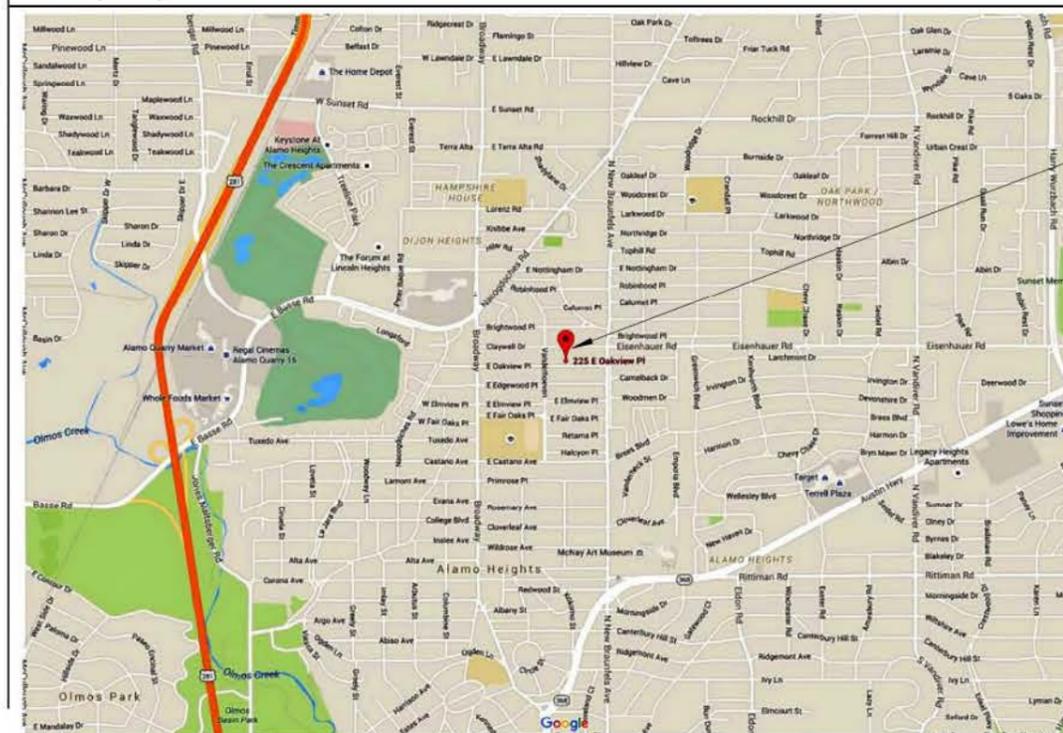
Lot: 19  
Block: 20  
NCB: n/a  
Subdivision: Oak Woods  
Acreage: 0.2



### Drawing Index

Sheet Number	Sheet Name	Sheet Number	Sheet Name
1. General		A106	Building Section
G000	Cover Sheet	A201	Exterior Elevation - South
G001	Isometric - Front View	A202	Exterior Elevation - North
G002	Isometric - Rear View	A203	Exterior Elevation - West
2. Architecture		A204	Exterior Elevation - East
A003	Project Code & Abbreviations	A205	Inspirational Photos - Materials
A004.1	Existing Site Plan	A502	Wall Details
A004.2	Demolition Plan	A503	Wall Details
A005	Photos of Streetscape	A504	Wall Details - Alternates
A006	Code Analysis - Basement	A601	Door Schedule & Details
A007	Code Analysis - Level 1	A602	Window Schedule & Details
A008	Code Analysis - Level 2		
A100	Site Plan/Landscape		
A101	Roof Plan		
A102.1	Basement Plan		
A102.2	Construction Plan - Level 1		
A102.2A	Dimensioned Plan - Level 1		
A102.3	Construction Plan - Level 2		

### Vicinity Map



Project Location  
225 E  
Oakview Pl, San  
Antonio, TX

Project Team	
Client/General Con.	Alex Whittington 210-846-9698 Stalwart 1927 Sable Ln San Antonio, TX 78217
Project Designer	Stephanie Brister, PM/Principal 210-274-0009 Brister Design Group 18503 Sigma Road Suite #122 San Antonio, TX 78258
MEP Engineers	HVAC Contractor 210-659-1600 TACLA 47167C Country Boy Coolin' & Heatin' 4190 Lower Seguin Road Cibolo, TX 78108
Structural Engineers	Chase Hodges, P.E. 512914.8477 CHASE HODGES PE BUILDING CONSULTING SERVICES Chase Hodges, PE 23711 Alpine Ridge San Antonio, TX 78258
Arborist	Elysia Etter 210-654-8733 ETTER TREE CARE Etter Tree Care PO Box 17748 San Antonio, TX 78217
Civil Engineer	Justin Lieck, PE 210-688-0000 Modco, LLC 10116 Stagecoach Bay San Antonio, TX 78254

**BDG**  
Brister Design Group  
2935 Thousand Oaks Dr,  
Ste. #6-281  
San Antonio, Texas  
Phone: (210) 274-0009  
www.bristerdesign.com

STAMP:  
Per TBAE & City of San Antonio, this project falls under the exemption for private, single-family dwelling exempt from the Architectural Act, 2016.

**Whittington Residence  
New Residential -  
Permit Set**  
225 E Oakview Place, San Antonio, TX

ISSUE: PERMIT SET  
City of Alamo Heights

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DRAWING TITLE:  
**Cover Sheet**

Project No. DATE:  
S1500014 09-20-2016

SHEET NUMBER:  
**G000**

**Zoning & Lot Requirements Provided: per Sec.3-22,  
City of Alamo Heights (SF-A zoning district)**

Front yard setback - 35 ft max provided  
 Front articulation - 30 ft provided  
 Side articulation - 30 ft provided  
 Side setback - 6ft provided-both sides  
 Side projections - 2ft overhang - East  
 Rear yard setbacks - min. 20ft (1st story)/30ft (2nd story) provided  
 Height - 28ft 2in provided (33ft max)  
 Height Looming - Provided - Ref. A201 elevation sheet  
 Average grade is 8.75%-9%. Average grade line for looming  
 is approximately 6ft above grade at street level.

FAR: Lot area- 10,350 SF, .39/.45 FAR ratio, House SF above Ground Floor Area:  
 4,138SF (1st/2nd combined)

Max. Impervious Surface= Less than 30% (Front Setback-approx. 1717 SF,  
 impervious is approx. 439 SF (25.5%))

Circular driveway in front setback - permitted as lot is greater than 65ft in width

Driveway min/max width (10ft min/14ft max required) - 11ft provided

**CONTRACTOR PLEASE NOTE: equipment location is 3ft minimum from property line**

**MECH, ELEC, & PLUMBING DESIGN REQUIREMENTS**

1. Contractor is responsible for the design required to obtain approvals and permits for complete installation of mechanical, electrical and plumbing systems.
2. The design and installation of mechanical, electrical and plumbing systems shall comply with state and local requirements.
3. There are no engineered HVAC drawings provided for this residence. Contractor shall be responsible for providing appropriate heating, cooling, and humidity control as applicable in all spaces. Coordinate any conflicts that may arise in the field with Designer or Owner. Provide HVAC Testing and Balance Report at the project completion for all areas affected by new construction.
4. There are no engineered plumbing/sprinkler drawings provided for this project. Contractor to field verify existing systems including piping, valves, fixture locations and sizes. Sprinkler contractor will be responsible for providing adequate sprinkler layout in all spaces. Coordinate with Designer and Owner any conflicts that may arise in the field.
5. There are no engineered electrical drawings provided for this project. Design drawings have been provided to show intended use of the space. Contractor shall be responsible for wiring new light fixtures, switches, outlets and miscellaneous devices as required, including existing miscellaneous devices outside the scope of this project that are re-configured by the new construction. All circuits are to be labeled at the panel in a clear/legible manor. Coordinate with Designer any additional required work not shown here, or any conflicts that may arise in the field. All abandoned raceway and wiring systems shall be removed in accordance with local code amendments.
6. Design drawings shall take precedence over other trades' drawings when conflicts arise. Bring Conflicts or inconsistencies between design drawings of other disciplines to the attention of the designer.

**International Residential Code Review 2009**

**Code Requirements & Sections:  
SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS**

Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening.

**R310.1.1 Minimum Opening Area.**

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet.

**R310.1.2 Minimum Opening Height.**

The minimum net clear opening height shall be 24 inches.

**R310.1.3 Minimum Opening Width.**

The minimum net clear opening width shall be 20 inches

**R310.1.4 Window Wells**

The minimum horizontal area of the window well shall be 9 square feet (0.9 m<sup>2</sup>), with a minimum horizontal projection and width of 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

**Emergency Escapes Provided, per level:**

Basement - 1 Fully Operable Window Well provided, reference window schedule for details, design sheet A102.1 & structural plans  
 Level 1 - Living room/dining area provided with 2 door exits, and 1 additional exit is provided in the Master Bedroom  
 Level 2 - Each bedroom and children play area are provided with at least one emergency escape, easy operable window. Reference sheet A102.3 for details.

**Fire Protection:**

Per IRC, section R314.3, locations for smoke alarms are included at: the basement, and each floor (including all sleeping rooms and adjacent spaces) and they are provided with 1 smoke detector.

**Project Residential Building Code Summary Notes**

**\*This project does not involve a change of Use or Occupancy Classification for new residential building.**

Building Total Area: 4,138 GSF (Levels 1 & 2 only)  
 Building Height: 28'-2"

Min # of Exits Required: 1 for each dwelling, with 32" min door width and 78" clear height. Residence is provided with 3 exits on Level 1, 1 emergency escape window per room on Level 2, and 1 emergency escape on Basement Level.

Energy Code Information - Thermal Envelope Criteria (climate zone 2)  
 R-Value Req./Provided  
 Framed Walls: R13+3.8 ci or R-20 (R13+3.8 ci provided)  
 Roof: Above roof deck R-25ci, Attic R-38 (R-25ci provided)  
 Glazing: U-Factor - Fixed 0.5, Operable 0.65, Entrance 0.83  
 SHGC - SEW 0.30 N 0.37



**Brister Design Group**  
 2935 Thousand Oaks Dr.  
 Ste. #6-281  
 San Antonio, TX 78247

www.bristerdesign.com

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**New Residential - Permit Set**  
 225 E Oakview Place, San Antonio, TX

ISSUE: PERMIT SET  
 City of Alamo Heights

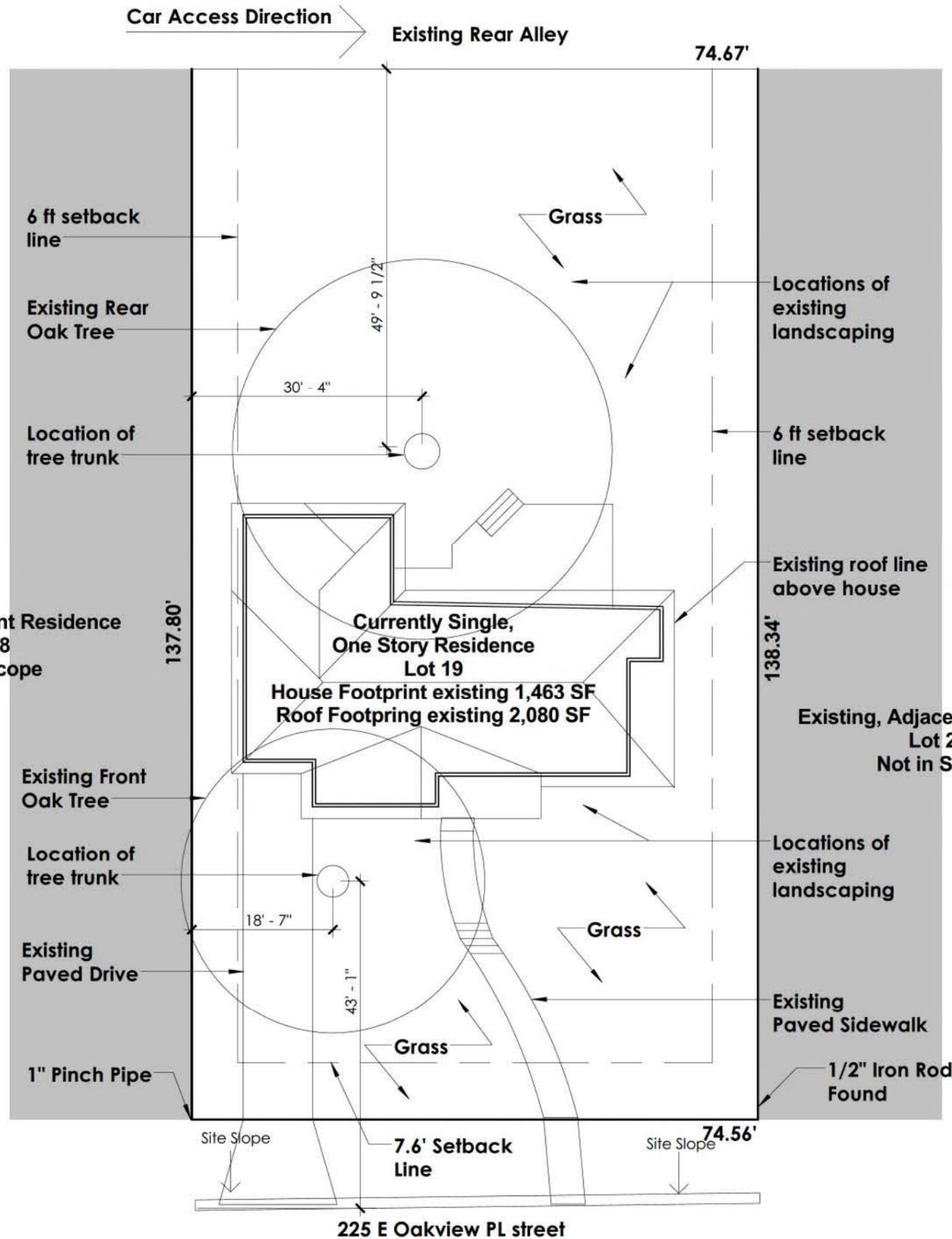
**Project Code & Abbreviations**

Project No. DATE  
 S1500014 09-20-2016

SHEET NUMBER

**A003**

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Existing Building - Front View



Existing Building - Rear View

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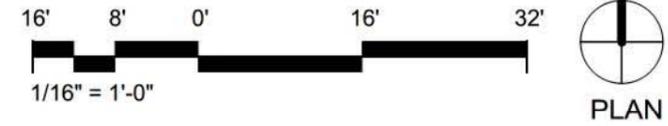
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DRAWING TITLE:  
**Existing Site Plan**

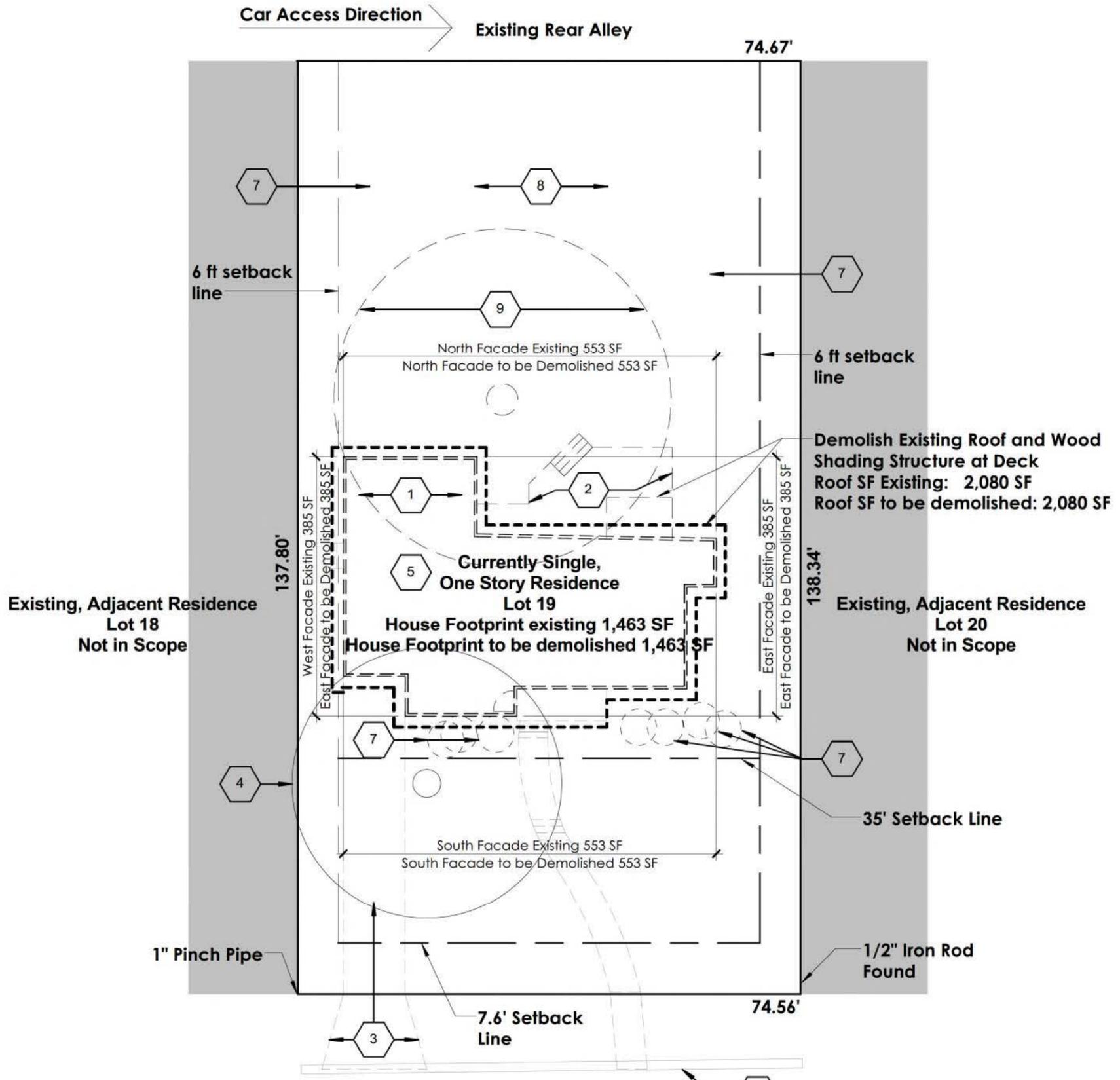
Project No. DATE:  
SI1500014 09-20-2016

SHEET NUMBER:  
**A004.I**

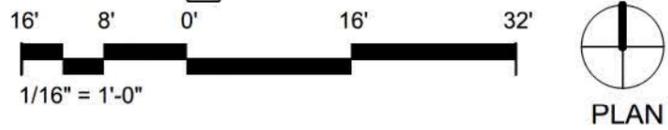
**1 Existing Site Plan**  
1/16" = 1'-0"



Car Access Direction → Existing Rear Alley



**1 DEMOLITION FLOOR PLAN**  
1/16" = 1'-0"



**GENERAL NOTES - DEMOLITION**

- A. Refer to general notes and reference specifications on sheet A003 regarding project demolition, existing conditions, and new construction.
- B. Dashed lines indicate existing items to be removed unless otherwise indicated. Contractor shall be responsible for the off-site disposal of all demolition items.
- C. If applicable, refer to structural, mechanical, electrical, and plumbing documents for additional demolition information.
- D. Refer to Demolition Plan for additional notes and demolition information.
- E. Dimensions shown for existing construction to be demolished are approximate and are intended to give a general scope of work to be removed or temporarily removed to accommodate new construction. Coordinate demolition work with design intent of new construction to provide adequate area for this work.

**DEMOLITION LEGEND**

- Remove existing wall
- Remove door with frame, hardware, threshold, sidelights as indicated on demolition plan.  
Note: If door systems are re-used coordinate with building owner. Use only systems in good condition.
- Area not in Scope of Work

**DEMOLITION KEYED NOTES**

- 1 Demolish existing residential structure including exterior envelope, windows, doors, interior partitions, electrical, lighting, roof and slab.
- 2 Demolish existing wood deck along with wood steps.
- 3 Demolish existing asphalt drive.
- 4 Exact location of the front red oak tree to remain. Reference arborist survey for tree preservation and pruning during demolition of existing residence and construction of new residence.
- 5 Contractor to coordinate/verify grading and new foundation location per structural drawings.
- 6 Existing curb to remain.
- 7 Remove existing plants and landscape throughout.
- 8 Clean and prep the back area for new landscape and new construction.
- 9 Rear red oak tree to be removed per owner's request and "heritage tree mitigation agreement."



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DRAWING TITLE:

**Demolition Plan**

Project No. DATE:  
S1500014 09-20-2016

SHEET NUMBER

**A004.2**



2nd Adjacent Property - Left



Adjacent Property - Left



Whittington Existing House



Adjacent Property - Right



2nd Adjacent Property - Right



2nd Adjacent Property - Left



Adjacent Property - Left



Whittington New House



Adjacent Property - Right



2nd Adjacent Property - Right



Existing House - Front View



Existing House - Rear View



Existing tree in the rear- to be removed



Existing tree in the front- to remain

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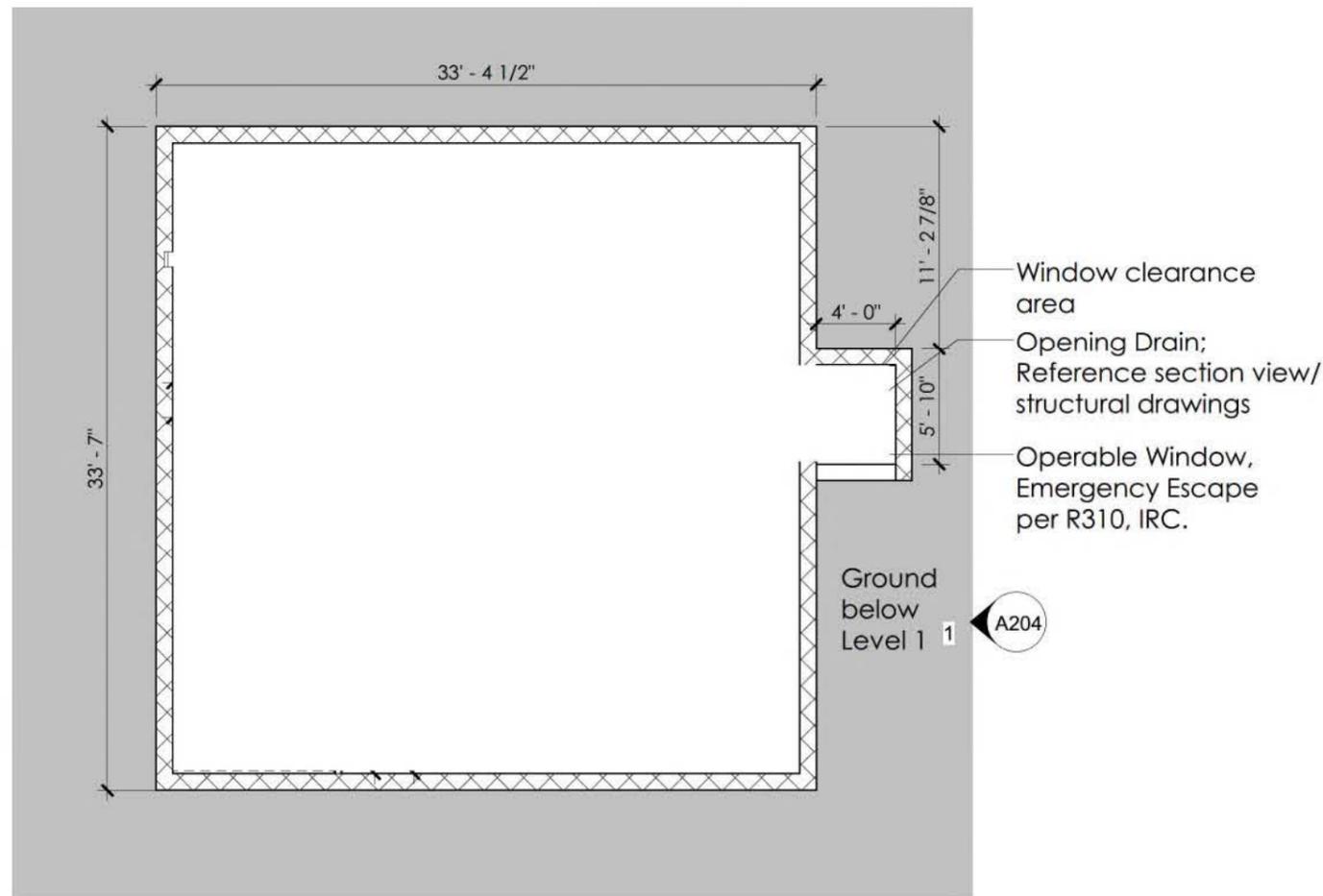
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DRAWING TITLE  
Photos of Streetscape

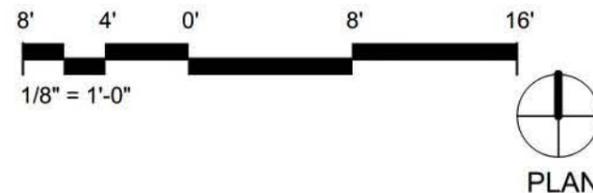
Project No. DATE  
S1500014 09-20-2016

SHEET NUMBER

A005



**1 BASEMENT PLAN**  
1/8" = 1'-0"



**Applicable Codes**

- 2015 International Residential Code (IRC) with City of Alamo Heights Amendments
- 2015 International Mechanical Code (IMC) with City of Alamo Heights Amendments
- 2015 International Plumbing Code (IPC) with City of Alamo Heights Amendments
- 2014 National Electrical Code (NEC) with City of Alamo Heights Amendments
- 2015 International Energy Conservation Code (IECC)
- 2015 International Fire Code (IFC) with City of Alamo Heights Amendments

**International Residential Code Review 2009**

**Code Requirements & Sections:**

**SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS**

Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening.

**R310.1.1 Minimum Opening Area.**

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet.

**R310.1.2 Minimum Opening Height.**

The minimum net clear opening height shall be 24 inches.

**R310.1.3 Minimum Opening Width.**

The minimum net clear opening width shall be 20 inches

**R310.1.4 Window Wells**

The minimum horizontal area of the window well shall be 9 square feet (0.9 m<sup>2</sup>), with a minimum horizontal projection and width of 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

**Emergency Escapes Provided, per level:**

- Basement - 1 Fully Operable Window Well provided, reference window schedule for details, design sheet A102.1 & structural plans
- Level 1 - Living room/dining area provided with 2 door exits, and 1 additional exit is provided in the Master Bedroom
- Level 2 - Each bedroom and children play area are provided with at least one emergency escape, easy operable window. Reference sheet A102.3 for details.

**Fire Protection:**

Per IRC, section R314.3, locations for smoke alarms are included at: the basement, and each floor (including all sleeping rooms and adjacent spaces) and they are provided with 1 smoke detector.

**Project Residential Building Code Summary Notes**

**\*This project does not involve a change of Use or Occupancy Classification for new residential building.**

Building Total Area: 4,138 GSF (Levels 1 & 2 only)  
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Energy Code Information - Thermal Envelope Criteria (climate zone 2)  
R-Value Req./Provided

Framed Walls: R13+3.8 ci or R-20 (R13+3.8 ci provided)

Roof: Above roof deck R-25ci, Attic R-38 (R-25ci provided)

Glazing: U-Factor - Fixed 0.5, Operable 0.65, Entrance 0.83  
SHGC - SEW 0.30 N 0.37

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**New Residential - Permit Set**

225 E Oakview Place, San Antonio, TX

ISSUE PERMIT SET  
City of Alamo Heights

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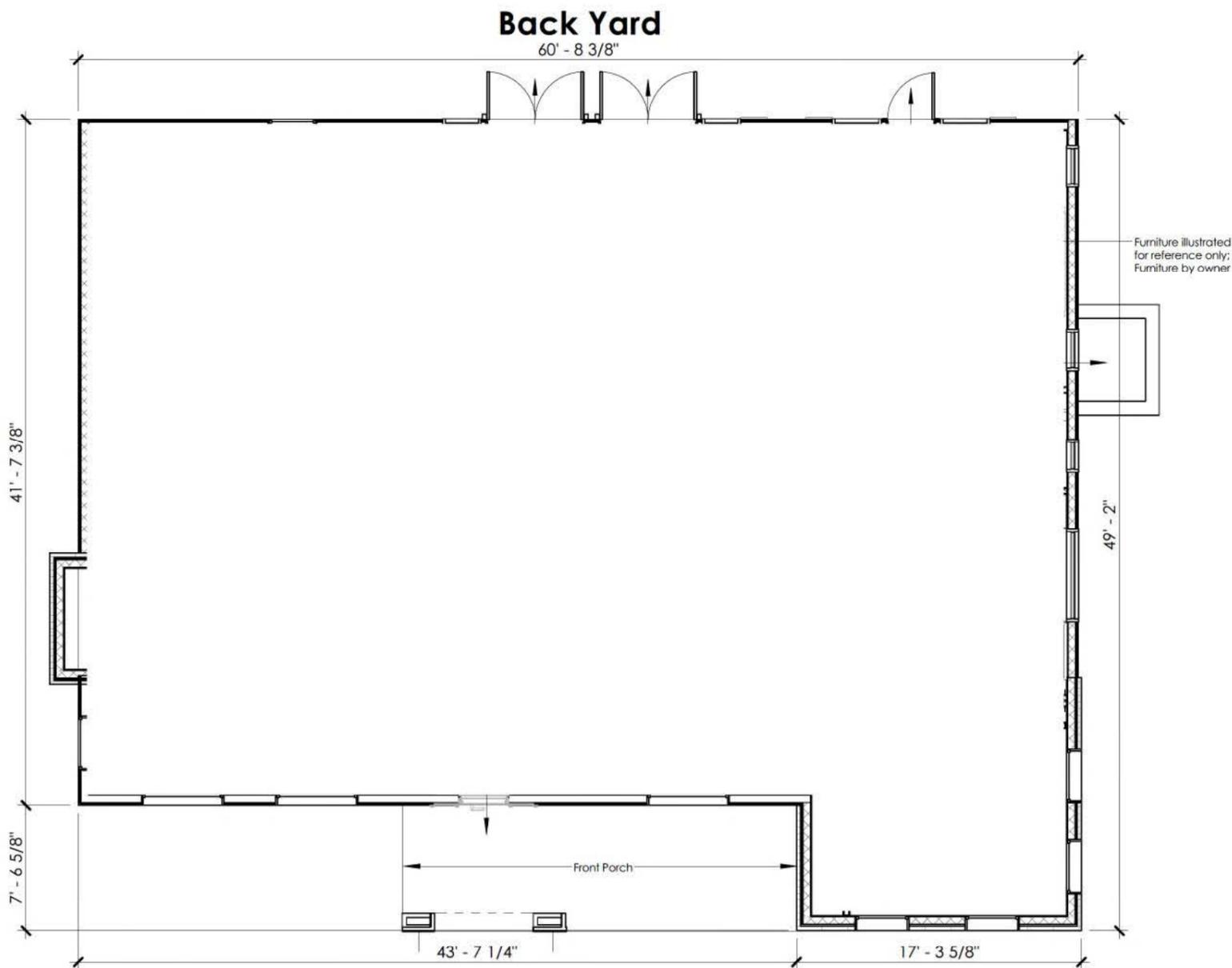
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**Code Analysis**  
**- Basement**

Project No. DATE  
S1500014 09-20-2016

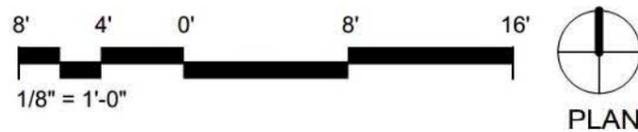
SHEET NUMBER

**A006**



**Front Entrance**

**1 LIFE SAFETY PLAN - LEVEL 1**  
1/8" = 1'-0"



**Applicable Codes**

- 2015 International Residential Code (IRC) with City of Alamo Heights Amendments
- 2015 International Mechanical Code (IMC) with City of Alamo Heights Amendments
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**International Residential Code Review 2009**

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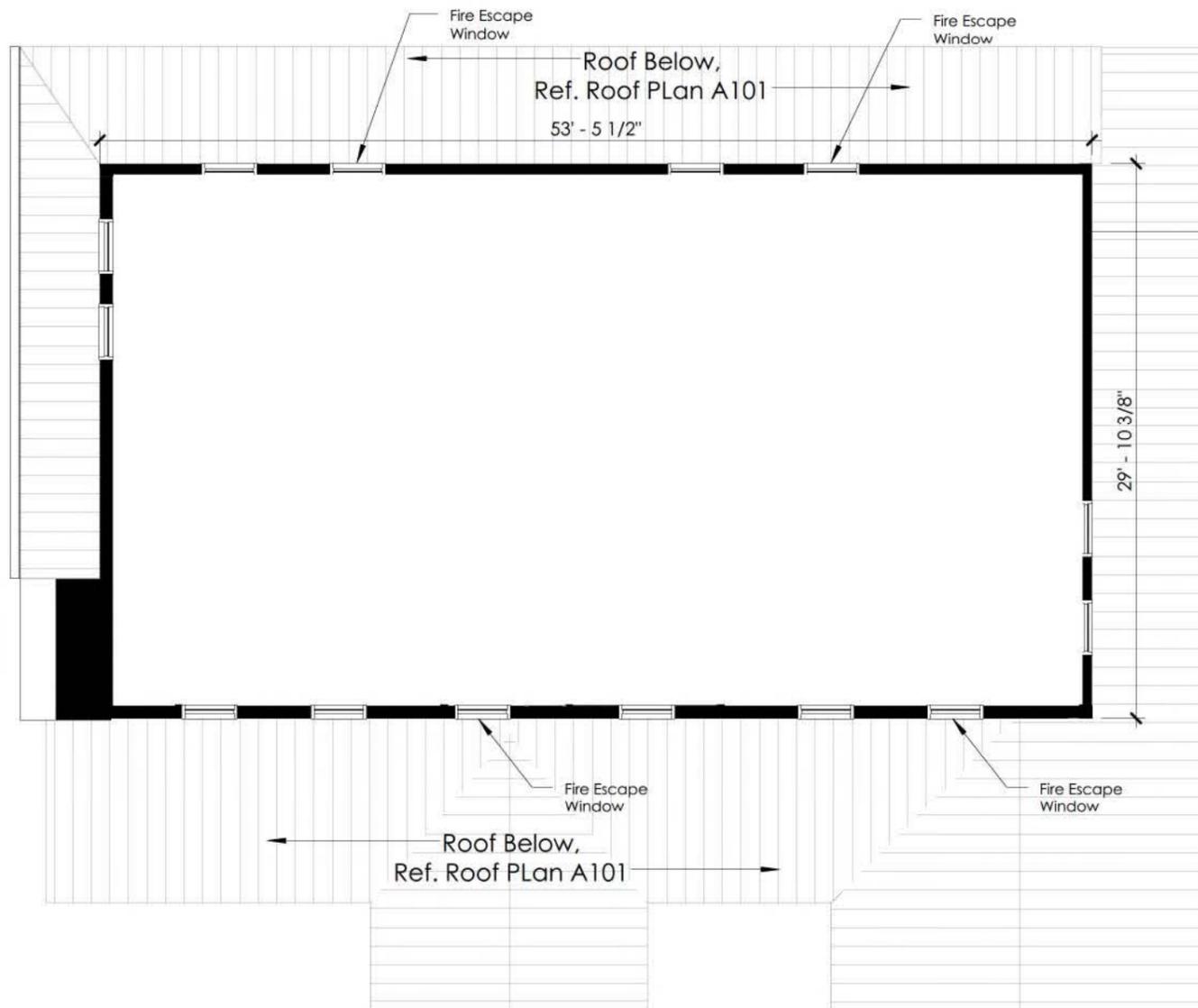
DRAWING TITLE:

**Code Analysis - Level 1**

Project No. DATE:  
S1500014 09-20-2016

SHEET NUMBER

**A007**



1 Level 2  
1/8" = 1'-0"



**Applicable Codes**

- 2015 International Residential Code (IRC) with City of Alamo Heights Amendments
- 2015 International Mechanical Code (IMC) with City of Alamo Heights Amendments
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**International Residential Code Review 2009**

**Code Requirements & Sections:**

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Min # of Exits Required: 1 for each dwelling, with 32" min door width and 78" clear height. Residence is provided with 3 exits on Level 1, 1 emergency escape window per room on Level 2, and 1 emergency escape on Basement Level.

Energy Code Information - Thermal Envelope Criteria (climate zone 2)  
R-Value Req./Provided

Framed Walls: R13+3.8 ci or R-20 (R13+3.8 ci provided)  
Roof: Above roof deck R-25ci, Attic R-38 (R-25ci provided)  
Glazing: U-Factor - Fixed 0.5, Operable 0.65, Entrance 0.83  
SHGC - SEW 0.30 N 0.37



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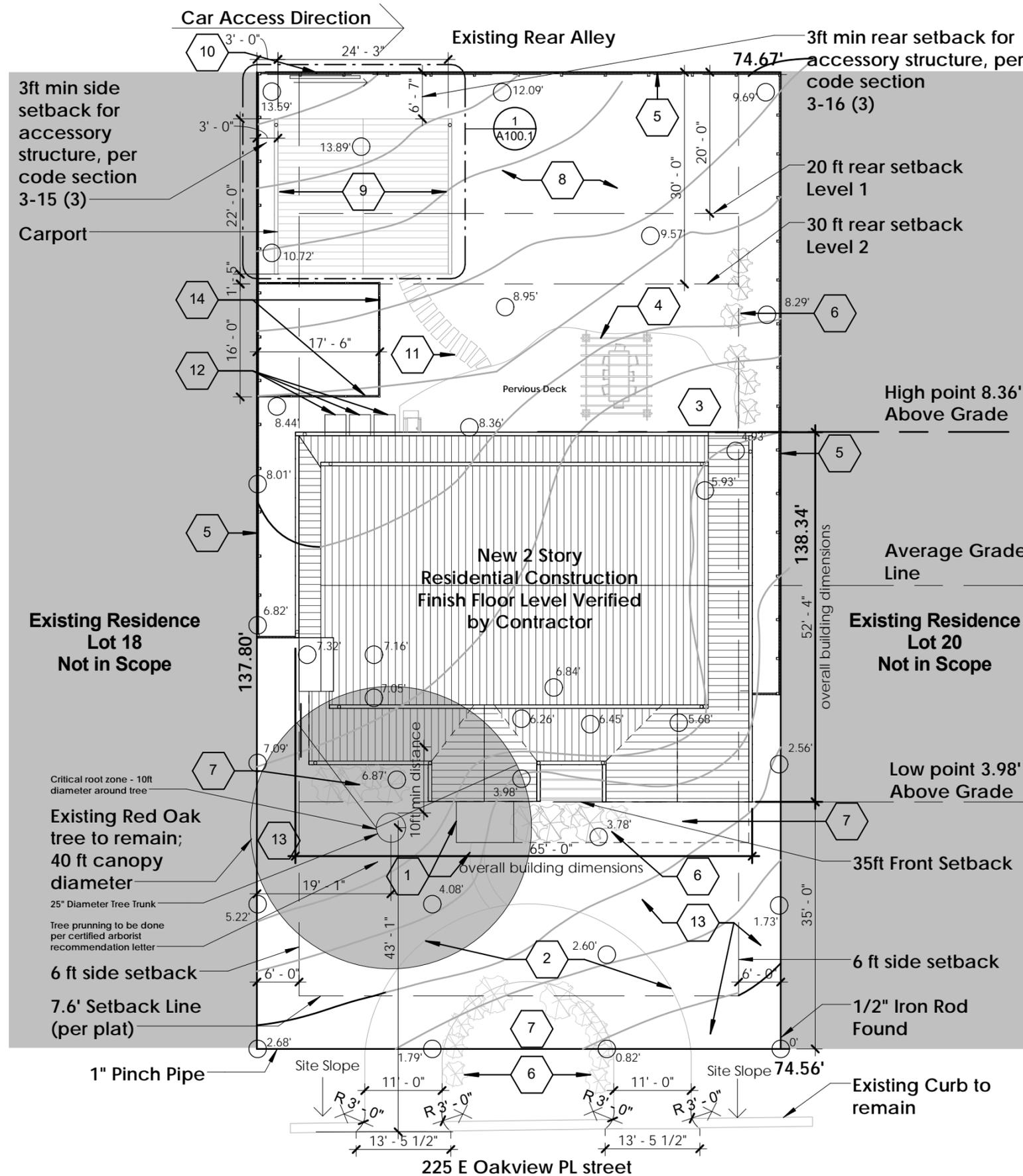
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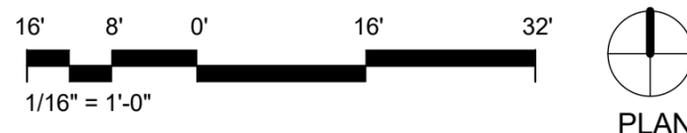
Project No. DATE:  
S1500014 09-20-2016

SHEET NUMBER

**A008**



**1** Site Plan/Landscape  
1/16" = 1'-0"



### SITE LEGEND

- Building
- Fence
- Tree with Diameter, typical
- Topographic Line
- Elevation
- Area not in Scope of Work

### KEYED NOTES - SITE

- 1 Proposed concrete steps for main entry.
- 2 Proposed asphalt driveway area. Permeable rock pavers and/or concrete design. Owner to finalize.
- 3 Proposed back porch.
- 4 Covered area for seating.
- 5 New wood fence around the property.
- 6 Proposed drought-resistant planting locations; selection by owner. Owner to provide sprinkler system.
- 7 Proposed Xeroscaping by owner.
- 8 Turf surface by owner.
- 9 New concrete pad/ carport planned for 2 vehicles. Space provided for 2 cars as per city of Alamo Heights requirement 18ftx9ft per car. 18ftx18ft min provided. Contractor to level the pad based on terrain slope.
- 10 New gate door with privacy lock.
- 11 New paved step access from car area to back porch.
- 12 New, 36"x36" housekeeping pads for new HVAC units sizes each 35"x35". Specifications provided by owner's HVAC vendor.
- 13 All grass location areas.
- 14 Fence enclosed dog area by owner.

### Zoning & Lot Requirements Provided: per Sec.3-22, City of Alamo Heights (SF-A zoning district)

Front yard setback - 35 ft max provided  
 Front articulation - 30 ft provided  
 Side articulation - 30 ft provided  
 Side setback - 6ft provided-both sides  
 Side projections - 2ft overhang - East  
 Rear yard setbacks - min. 20ft (1st story)/30ft (2nd story) provided  
 Height - 28ft 2in provided (33ft max)  
 Height Looming - Provided - Ref. A201 elevation sheet  
 Average grade is 8.75%-9%. Average grade line for looming is approximately 6ft above grade at street level.

FAR: Lot area- 10,350 SF, .39/0.45 FAR ratio, House SF above Ground Floor Area: 4,138 SF (1st/2nd combined)

Max. Impervious Surface= Less than 30% (Front Setback- approx. 1717 SF, impervious is approx. 439 SF (25.5%))

Circular driveway in front setback - permitted as lot is greater than 65ft in width

Driveway min/max width (10ft min/14ft max required) - 11ft provided

**CONTRACTOR PLEASE NOTE:** equipment location is 3ft minimum from property line

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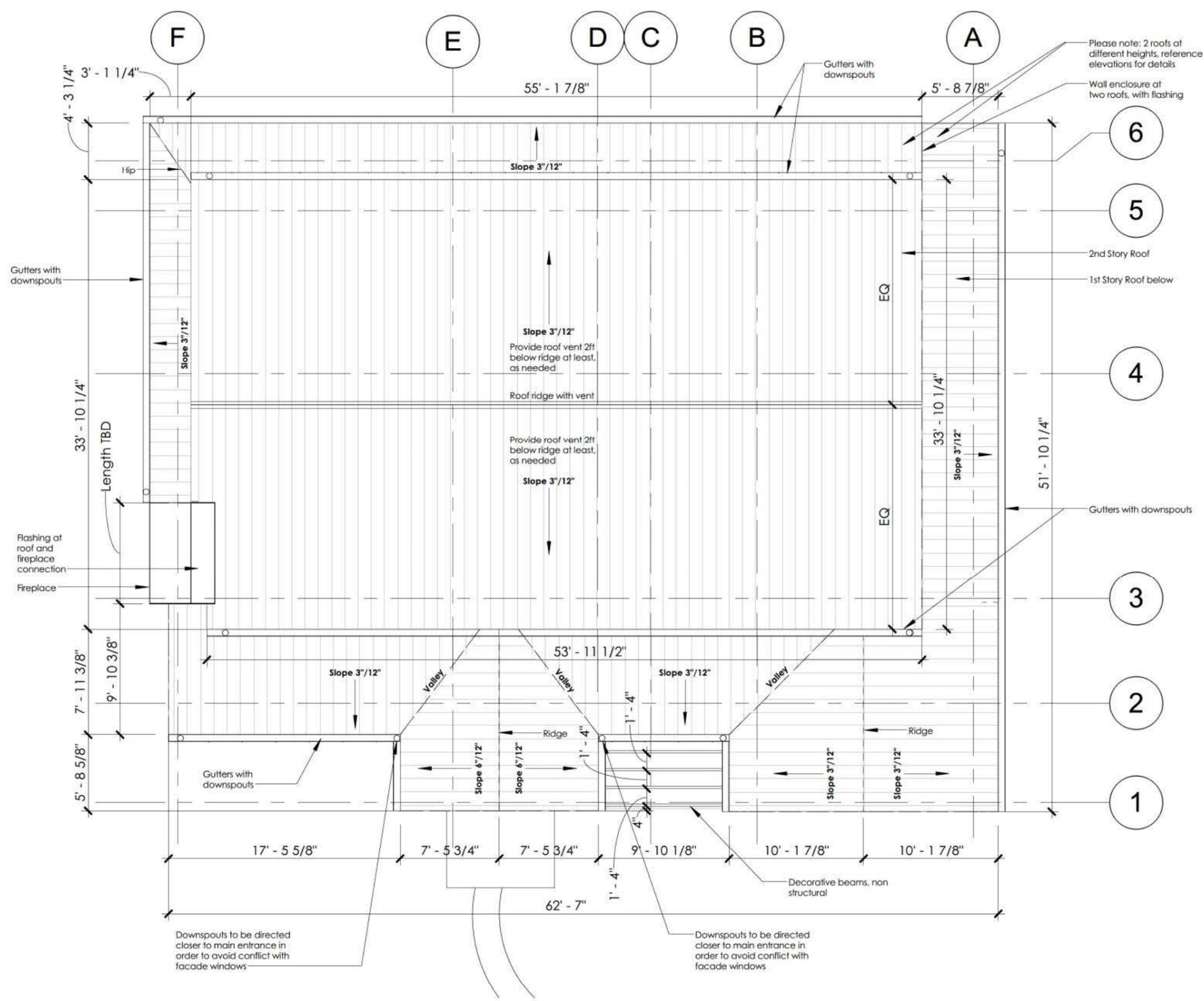
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DRAWING TITLE:  
**Site Plan/Landscape**

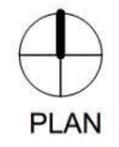
Project No. DATE  
 S1500014 09-26-2016

SHEET NUMBER

**A100**



**1 Roof Plan**  
 1/8" = 1'-0"



Please note: 2 roofs of different heights, reference elevations for details

Wall enclosure at two roofs, with flashing

Gutters with downspouts

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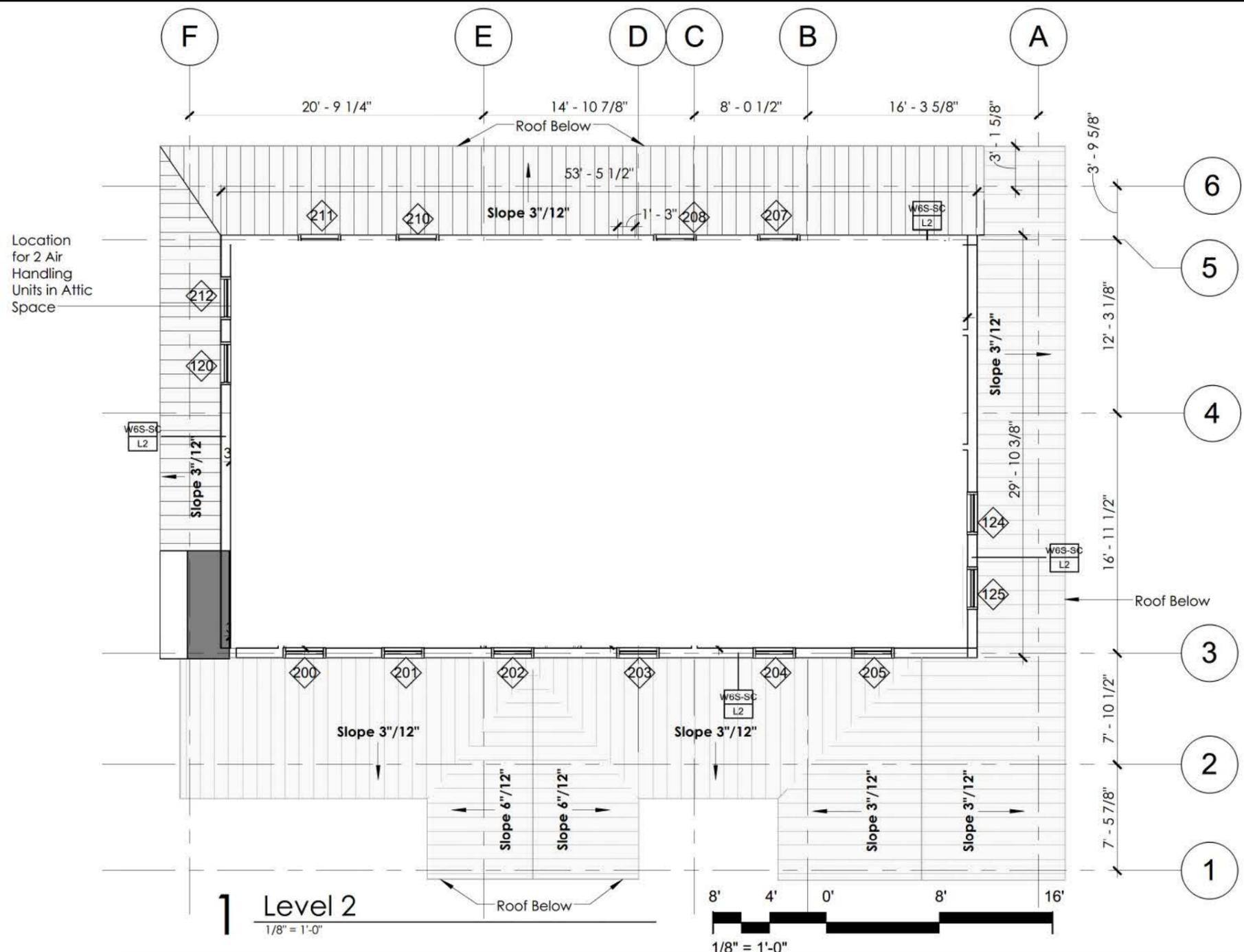
DRAWING TITLE

**Roof Plan**

Project No. DATE  
 S1500014 09-20-2016

SHEET NUMBER

**A101**



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DRAWING TITLE:  
**Construction Plan - Level 2**

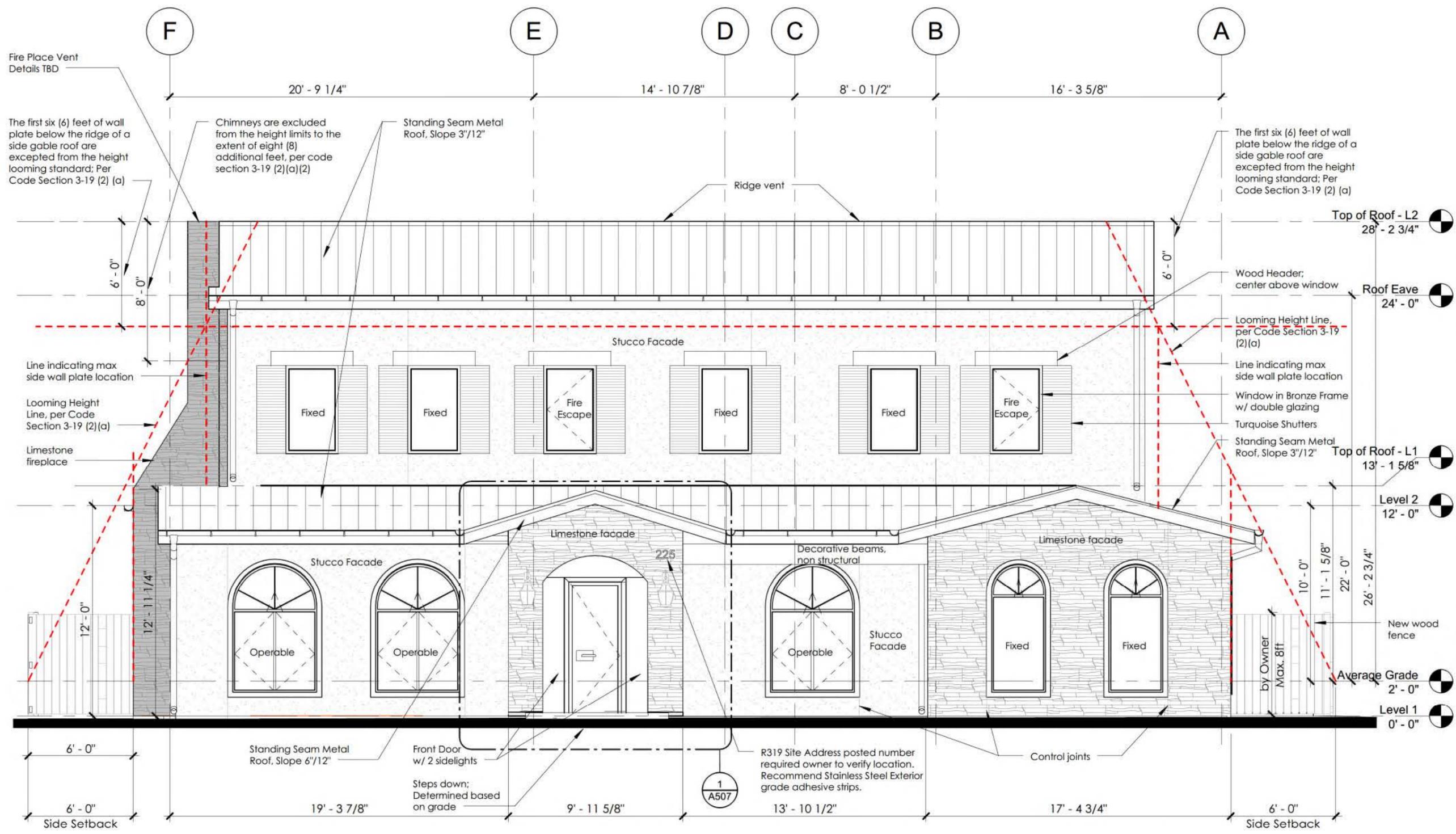
Project No. DATE  
 S1500014 09-20-2016

SHEET NUMBER

**A102.3**

WALL TYPES SCHEDULE

Wall Type	Stud Size	Insulation	Wall Construction		Top of Wall Construction	
			Description	Code	Description	
W3	0' - 2 1/2"	No	Wood studs @ 16" O.C. with (1) layer 5/8" gypsum board each side	D	Interior partition framed to deck above.	
W3	0' - 2 1/2"	No	Wood studs @ 16" O.C. with (1) layer 5/8" gypsum board each side	G	Interior partition framed to grid.	
W3-ST	0' - 2 1/2"	No	Wood studs @ 16" O.C. with (1) layer 5/8" gypsum board on one side and stone veneer	D	Interior partition framed to deck above.	
W3S	0' - 2 1/2"	Yes	Wood studs @ 16" O.C. with (1) layer 5/8" gypsum board each side, insulated.	D	Interior insulated partition framed to deck above.	
W6S-SC	0' - 5 1/2"	Yes	Wood studs @ 16" O.C. with (1) layer 5/8" gypsum board on interior side, sound batt insulation R-20, moisture barrier, exterior sheathing, air barrier and rock exterior finish.	L1	Exterior insulated, stone wall full height to Level 1 roof.	
W6S-SC	0' - 5 1/2"	Yes	Wood studs @ 16" O.C. with (1) layer 5/8" gypsum board on interior side, sound batt insulation R-20, moisture barrier, exterior sheathing, air barrier and rock exterior finish.	L2	Exterior insulated, stone wall full height to Level 2 roof. Fireplace wall.	
W6S-ST	0' - 5 1/2"	Yes	Wood studs @ 16" O.C. with (1) layer 5/8" gypsum board on interior side, sound batt insulation R-20, moisture barrier, exterior sheathing, and stucco finish coat.	L1	Exterior stucco wall to Level 1 roof.	
W6S-ST	0' - 5 1/2"	Yes	Wood studs @ 16" O.C. with (1) layer 5/8" gypsum board on interior side, sound batt insulation R-20, moisture barrier, exterior sheathing, and stucco finish coat.	L2	Exterior stucco wall to Level 2 roof.	



**1 Exterior Elevation - South View**  
 3/16" = 1'-0"



STAMP:  
 Per TBAE & City of San Antonio, this project falls under the exemption for private, single-family dwelling exempt from the architectural Act, 2016.

**Whittington Residence**  
**New Residential - Permit Set**  
 225 E Oakview Place, San Antonio, TX

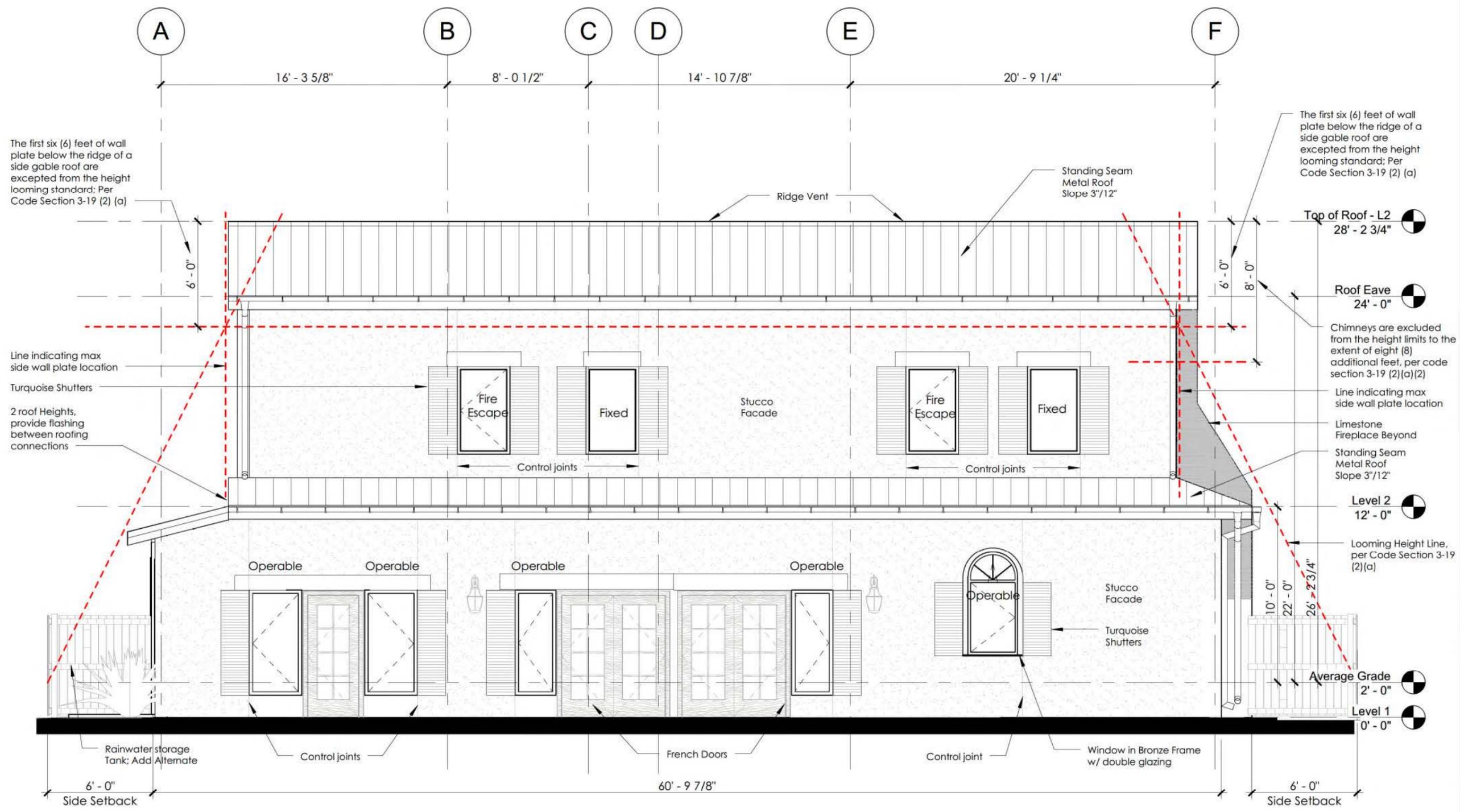
ISSUE PERMIT SET  
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**Exterior<sup>E</sup> Elevation - South**

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 S1500014 09-20-2016

SHEET NUMBER  
**A201**



**1 Exterior Elevation - North View**  
 3/16" = 1'-0"



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**New Residential - Permit Set**  
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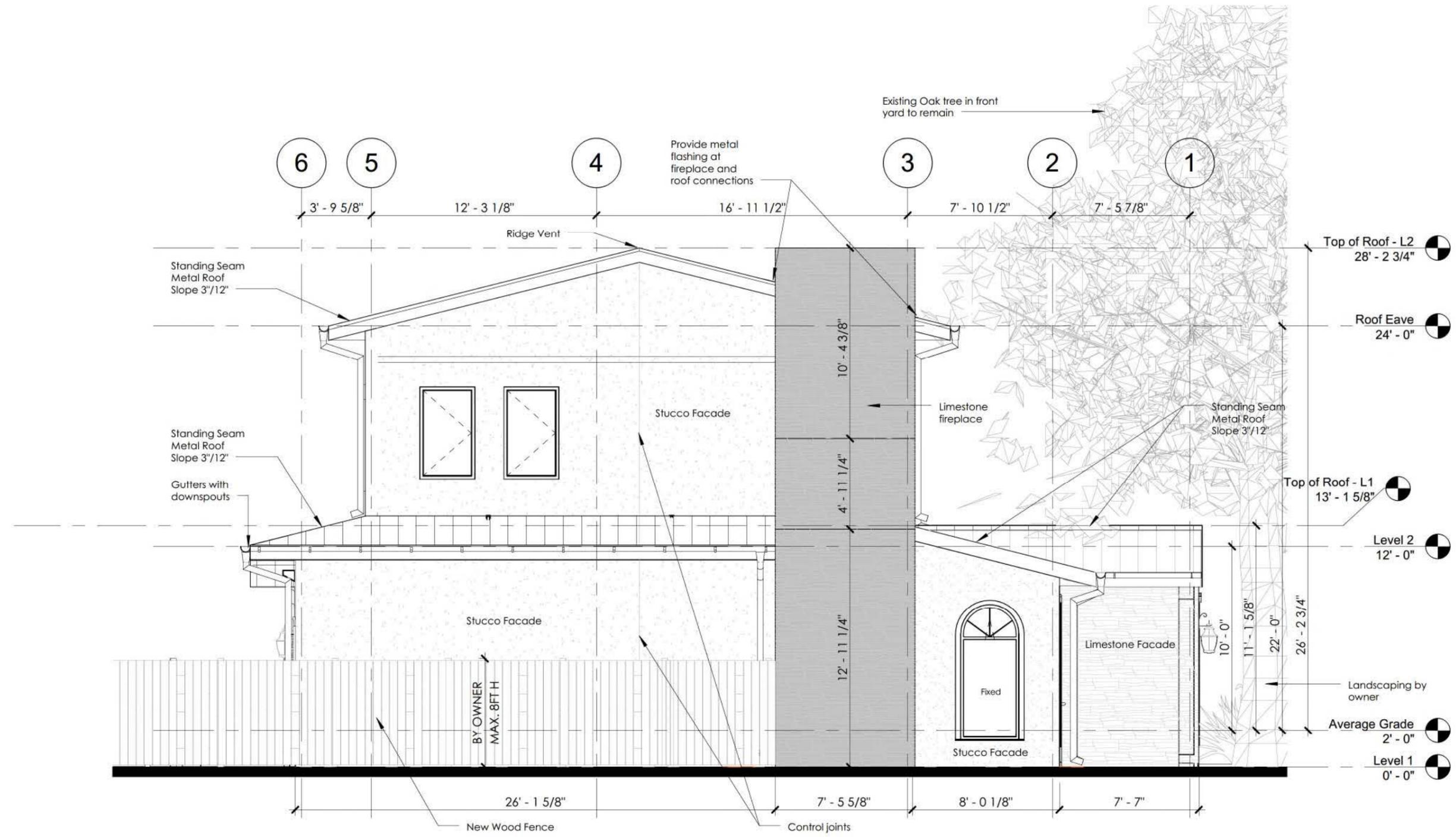
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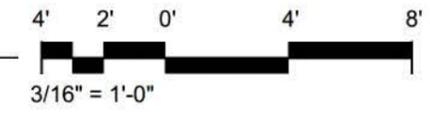
**Exterior<sup>E</sup>**  
**Elevation - North**

Project No. DATE:  
 S1500014 09-20-2016

SHEET NUMBER  
**A202**



**1** Exterior Elevation - West View  
 3/16" = 1'-0"



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Exterior<sup>E</sup>  
 Elevation -  
 West

Project No. DATE  
 S1500014 09-20-2016

SHEET NUMBER  
**A203**

STAMP:  
 Per TBAE & City of San Antonio, this project falls under the exemption for private, single-family dwelling exempt from the architectural Act, 2016.

**Whittington Residence**  
 New Residential - Permit Set  
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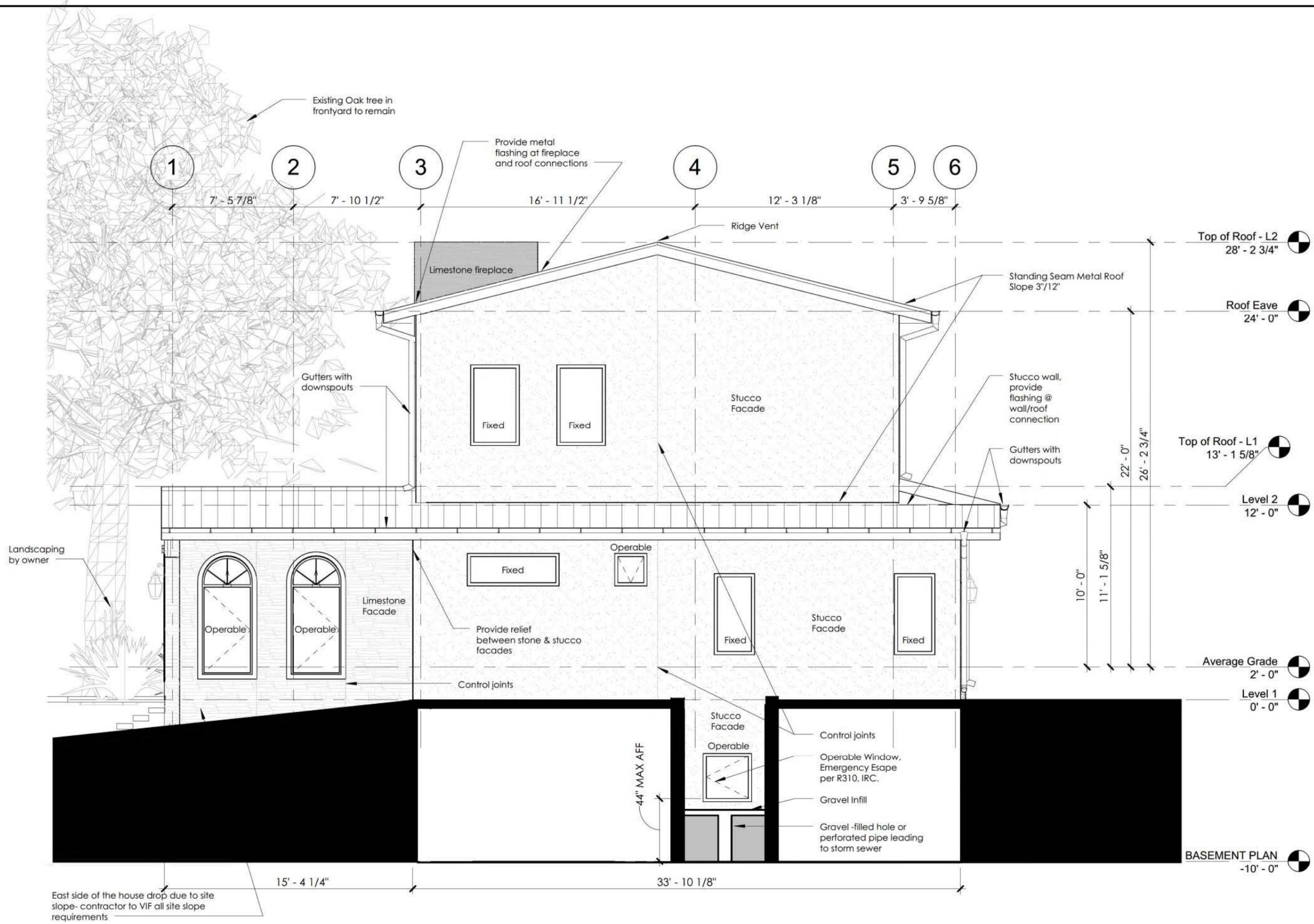
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**Exterior<sup>E</sup>**  
**Elevation - East**

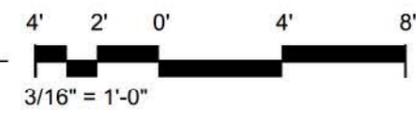
Project No. DATE:  
 S1500014 09-20-2016

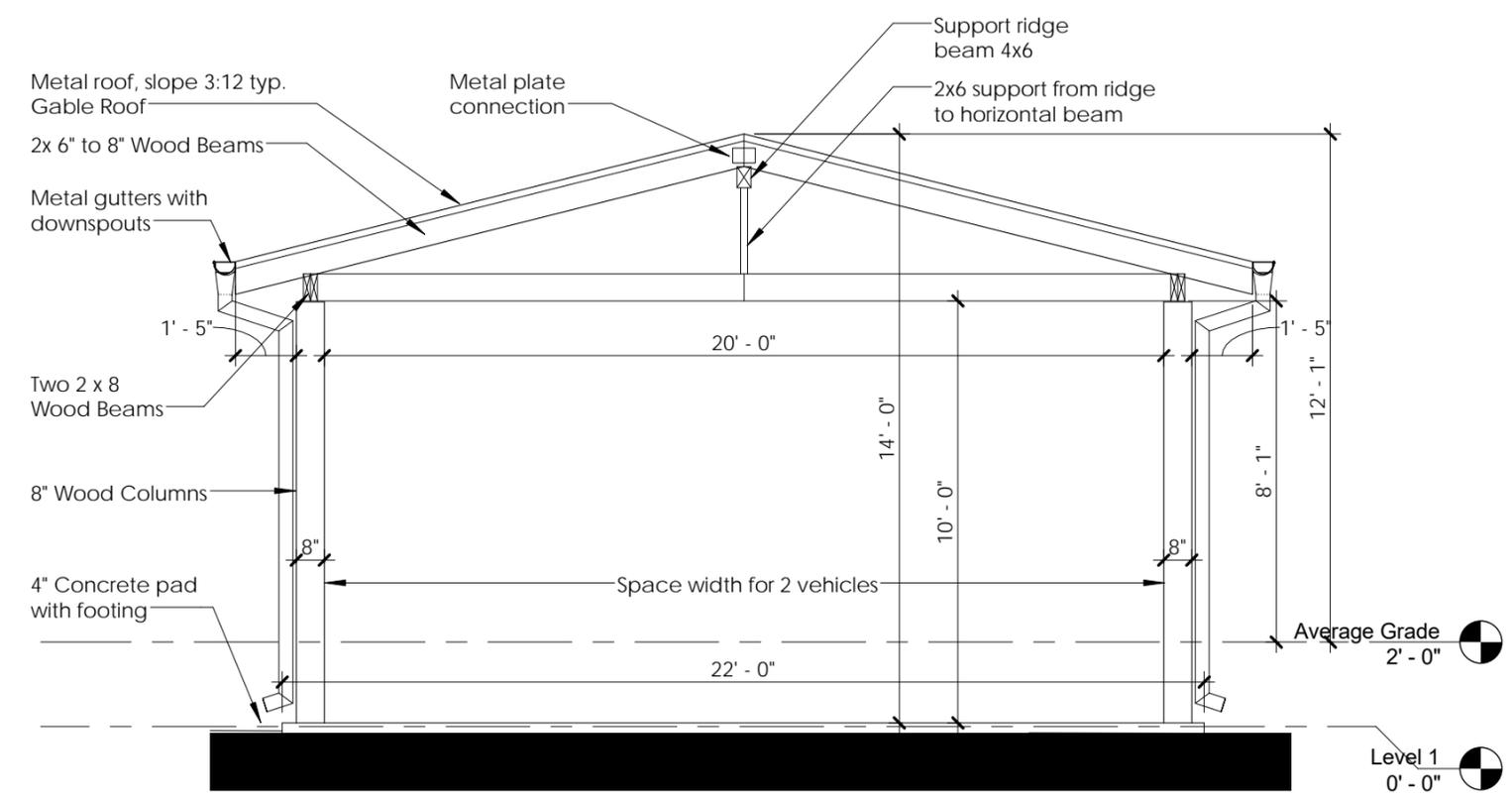
SHEET NUMBER

**A204**

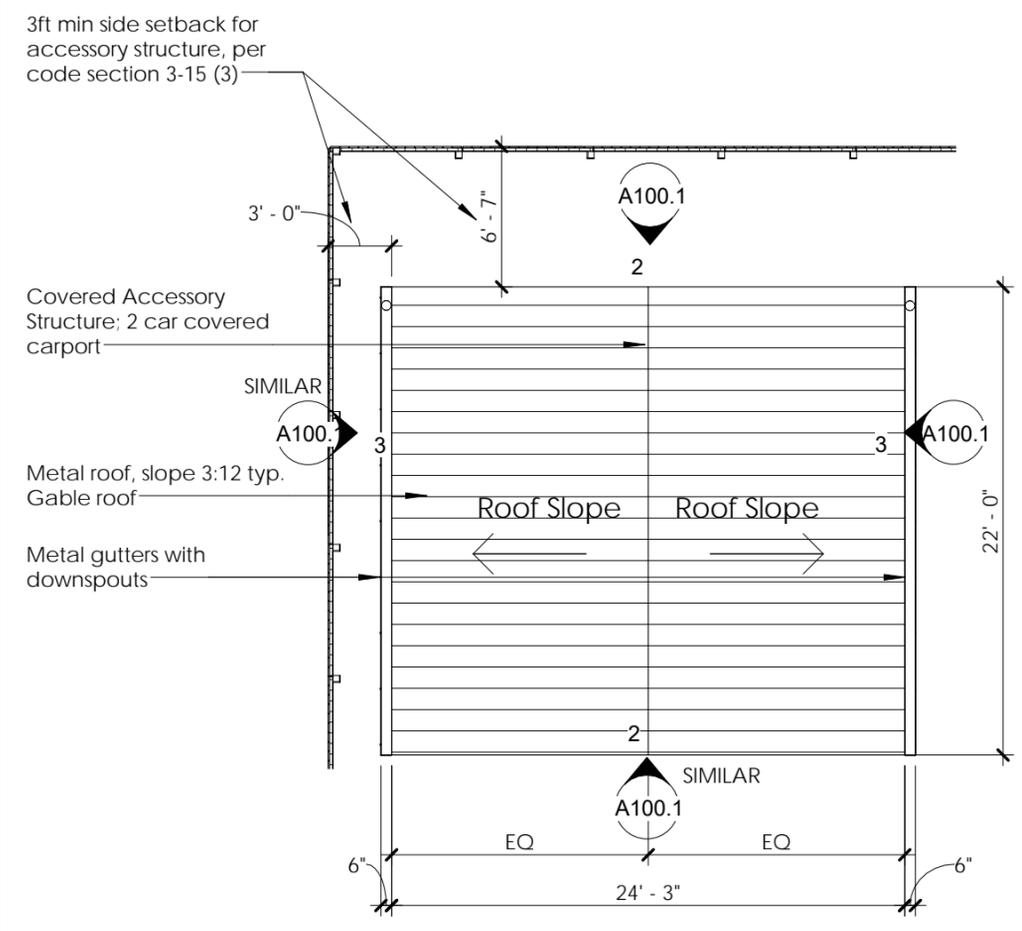


**1 Exterior Elevation - East View**  
 3/16" = 1'-0"

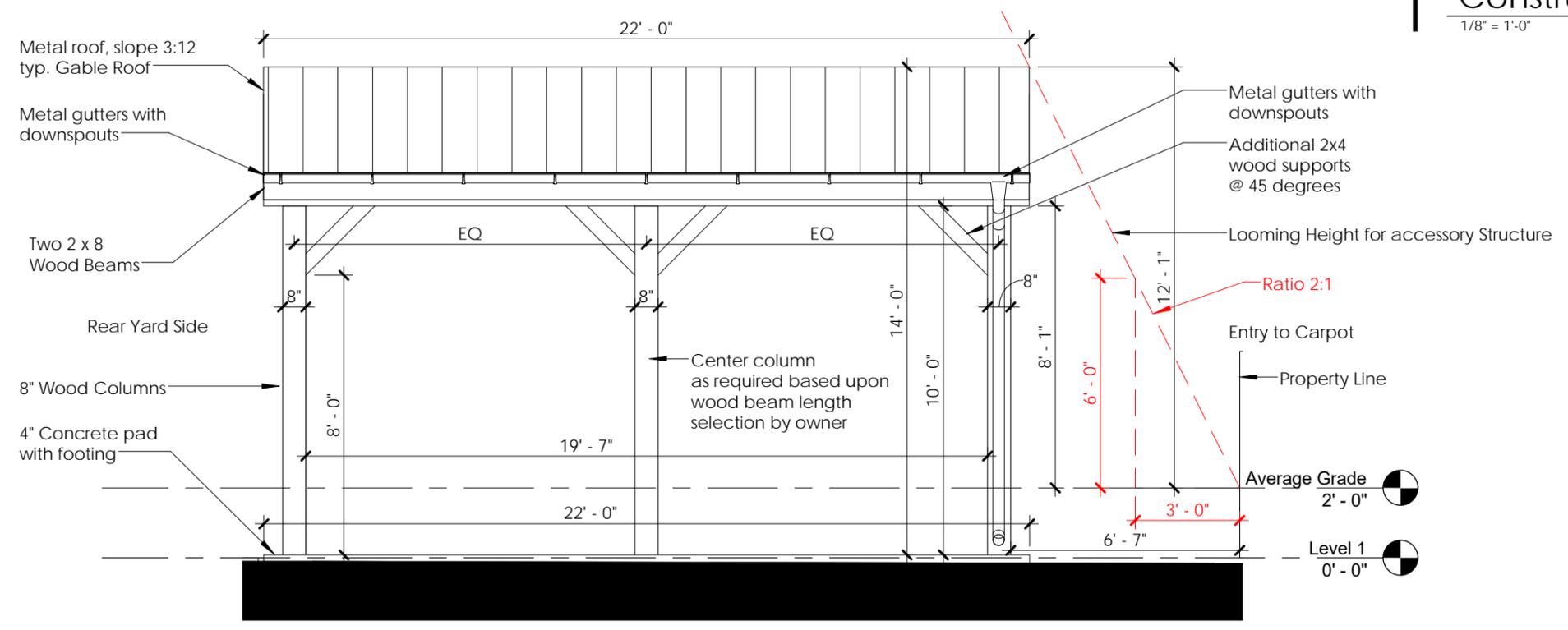




**2** North/South Carport Elevation  
1/4" = 1'-0"



**1** Construction Plan - Covered Carport  
1/8" = 1'-0"



**3** East/West Carport Elevation  
1/4" = 1'-0"

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DRAWING TITLE:  
**Carport Details**

Project No. DATE  
S1500014 09-26-2016

SHEET NUMBER  
**A100.1**



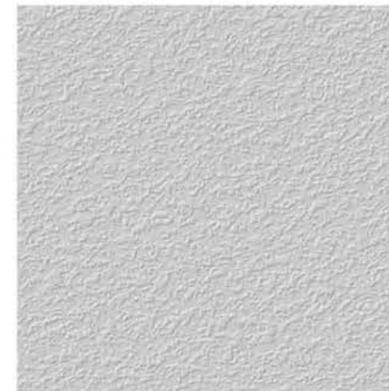
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Per TBAE & City of San Antonio, this project falls under the exemption for private, single-family dwelling exempt from the architectural Act, 2016.

Inspirational Image 1 - Mediterranean Style



Local Stone/Limestone - Selection type & color by owner



White Stucco - Exterior Walls



Standing Seam Metal Roof



Bronze Frames for Windows/Doors



Turquoise Shutters

Whittington Residence  
New Residential - Permit Set

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Inspirational Photos - Materials

Project No. DATE:  
S1500014 09-20-2016

SHEET NUMBER

**A205**